Community Planning & Permitting

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BOULDER COUNTY PLANNING COMMISSION
PUBLIC HEARING

Wednesday, April 20, 2022 at 1:30pm

Hearing to be Held Virtually due to COVID-19

PUBLIC HEARING

STAFF PLANNER: Summer Frederick, AICP

Docket SU-17-0006: Rocky Mountain Pathways Ranch

Request: **REVISED:** Special Review to expand the existing Resort Lodge/Guest Ranch use to allow for the construction of an Indoor Horse Barn, a Hay Storage Barn, and 4 Duplex Cabins, the remodel and addition to the Main Lodge and Recreational Center, and an increase in occupancy to 80 students and 40 staff during the day and 80 students and 8 staff overnight, and the rental of cabins to the public during summer months.

ORIGINAL: Special Review to expand the existing Resort Lodge/Guest Ranch use to allow for the construction of an Indoor Horse Barn, a Hay Storage Barn, and 6 Duplex Cabins, the remodel and addition to the Main Lodge and Recreational Center, and an increase in occupancy to 80 students and 40 staff during the day and 80 students and 8 staff overnight, and the rental of cabins to the public during summer months.

Location: 15747 State Highway 7, on the north side of SH 7, directly across from its northern intersection with SH 7 Business Route in Allenspark, in Section 25, Township 3N, Range 73W.

Zoning: Forestry (F) Zoning District

Applicant/ Property Owner: Rocky Mountain Pathways Inc.

PACKET CONTENTS

SUMMARY

The applicant requests approval of a modification to the previously-approved Special Review and Site-Specific Development Plan to expand the existing Resort Lodge/Guest Ranch use to allow for the construction of an Indoor Horse Barn, a Hay Storage Barn, and 4 Duplex Cabins, the remodel and addition to the Main Lodge and Recreational Center resulting in no more than 35,000 square feet of floor area on-site, an increase in occupancy to 80 students and 40 staff during the day and 80 students and 8 staff overnight, and the rental of cabins to the public during summer months on an approximately 62.5-acre parcel, located at 15474 State Highway 7, in the Forestry (F) zoning district (the "subject property"). A Resort Lodge/Guest Ranch (a Lodging Use as described in Article 4-507.D of the Boulder County Land Use Code) has previously been approved on this site, but the Director of Community Planning & Permitting has determined that the previous approval is proposed to be substantially modified, triggering the subject review per Article 4-603.A.2.

Staff has reviewed the application materials and finds that as conditioned, the application meets the criteria found in Article 4-601 and 4-602.C, and so recommends conditional approval of docket SU-17-0006: Rocky Mountain Pathways Ranch.

DISCUSSION

History of County Approvals

On June 9, 1994, Docket SU-94-1 was conditionally approved by the Boulder County Commissioners via Resolution 94-129. This conditional approval recognized the existing Resort Lodge/Guest Ranch and the existing sewage treatment facility and approved the following new structures:

- 1,800-square-foot garage and owners' quarters
- 1,900-square-foot staff housing facility
- 225-square-foot addition to the Hogan cabin

Resolution 94-129 included the following conditions of approval:

1. All necessary State and County permits be obtained prior to the issuance of building permits.
2. Defensible space be provided around all new constructions, per State Forest Service guidelines.
3. Remodeling of cabins be limited to 11% of the existing square footage.
4. Manure be removed and disposed of in accordance with all applicable County and State regulations.
5. Number of guests be limited to 57 and staff to 20.
6. Applicant be subject to the terms, conditions, and commitments of record and in the file for docket SU-94-1: Lazy H Guest Ranch.

The required Development Agreement, signed by the County on September 13, 1995, recognized the following existing structures:

- Approximately 13,000-square-foot Main Lodge
- 15'x30' swimming pool
- Pool house, pool and hot tub mechanics and sauna included
- Large hot tub
- 14'x28' metal storage shed

- 15’x15’ frame storage shed
- 100’x27’ recreation building
- Four one-story cabins – Hogan: 850 square feet, Sundance 690 square feet, Ute 485 square feet, and Cheyenne: 870 square feet
- Approximately three-acres of corrals
- Three 10’x30’ hay sheds
- Round pen, approximately 53’ diameter
- Riding arena, approximately 150’x300’
- Two 3,000-gallon septic tanks

And allowed for the following:

- 19’x47’ staff quarters building
- 40’x60’ barn
- Seven horse shelters
- 1,800-square-foot garage with owners’ quarters above

The Development Agreement also included a site plan illustrating existing structures as well as approved new development and elevations for approved new structures.

In 2014, the four existing cabins were deconstructed and remodeled in accordance with the requirements outlined in the 1995 Development Agreement. In 2017 a minor modification of SU-94-1 was approved to allow for the construction of a ground-mounted solar array and the installation of a 15,000-gallon cistern.

Proposal

The subject proposal seeks to amend the existing Special Use to allow for the construction of additional structures, the addition of square footage to existing structures, and an increase in the number of guests and staff on-site. Specifically, the applicants wish to modify specific limitations related to special events in the following ways:

- increase the number of students and staff on-site to allow for a maximum of 80 students and 40 staff,
- the construction of a 120’x70’ horse barn, a 32’x32’ hay storage barn, and four approximately 800-square-foot duplex cabins,
- the addition of approximately 3,354 square feet to the Main Lodge and approximately 847 square feet to the Recreation Center.

Supplemental materials submitted by the applicant indicate the anticipated monthly use of the subject property is as follows. Current activities are shown in black text, proposed new activities are shown in *red* text.

January	2 student camps
February	2 student camps
March	2 student camps
April	2 student camps
May	2 student camps
June	1 student camp / 1 small retreat or event / *1 large retreat or event*
July	1 small retreat or event / *2 large retreats or events*
August	1 small retreat or event / *1 large retreat or event / 1 student camp*
September	1 student camp / *1 large retreat or event*
October	1 student camp / *1 large retreat or event*
November	1 student camp / *1 large retreat or event*
December	1 student camp / 1 small retreat or event

The activities are described as follows:

- Student camps – Range in duration from 5 to 11 days, with approximately 80% of scheduled camps being 11-day camps.
- Retreats or events – Range in duration from 1 to 5 days. A typical retreat is described as a 3-day teacher retreat.

REFERRALS

The application was referred to the standard agencies and adjacent property owners. Copies of all responses received by the Community Planning & Permitting Department are included in Attachment D of this document. A summary of each response follows.

Boulder County Public Health – This agency reviewed the submitted application materials and indicated several onsite wastewater treatment system (OWTS) permits have been issued for the subject property, and that during a building permit review in 2015 (BP-15-1631) this agency stated that the wastewater generated must be less than 2,000-gallons-per-day. The referral response states that the proposed expansion requires state site approval from the Colorado Department of Public Health and Environment (CDPHE), and that documents of such approval is required prior to issuance of building permits. Additionally, the property owners must contact the Consumer Protection Division of BCPH-EH to determine if a change in licensing is required.

Boulder County Wildfire Mitigation Team – This division reviewed the application materials and indicated a Wildfire Mitigation Plan is required. The referral response also recommended several additional mitigation measures the property owners could implement on the subject property.

Boulder County Building Safety & Inspection Services Team – This division reviewed the submitted application materials and indicted that building permits must be obtained to ensure the proposed structures meet all building code requirements (e.g. wind and snow design loads, accessibility, minimum plumbing fixtures, etc.). The referral response also indicated the applicants should make an appointment with Building Division plan review staff when construction drawings are complete.

Boulder County Development Review – Access & Engineering – This group reviewed submitted application materials and indicated the subject property has legal access via its adjacency to State Highway 7. The referral response strongly recommended the surface of the existing driveway be repaired or replaced to ensure safe ingress/egress, and stated that any new access drives shall be built to meet the Boulder County Multimodal Transportation Standards.

Boulder County Parks and Open Space Department, Natural Resources Planner – This department reviewed the submitted application materials and confirmed the subject property has the following Boulder County Comprehensive Plan designations:

- High Biodiversity Area (HBA) – N. Sheep Mountain, ranked "B2," of very high significance, by the CSU Natural Heritage Program
- Rare Community Type – ponderosa pine scrub woodland, occurrence ranked "B" in overall quality/size, Pinus ponderosa/Purshia tridentata
- Critical Wildlife Habitat – "Lazy H Ranch willow carr and wetlands"
- County Natural Area – N. St. Vrain
- Riparian Area
- Riparian Habitat Connector
- Wetlands
- Environmental Conservation Area (ECA) – N. St. Vrain
- Adjacent to Public Lands – US Forest Service, on north

- View Protection Corridor – Peak to Peak Highway

This referral raised the following concerns:

1. The expansion of development into new areas. This concern is related to the proposed location of four new duplexes high on the ridge above the existing area of development.
2. The doubling of human use and activity. This concern is related to the expansion of time throughout the year use will take place on the subject property, as well as the request to allow for an increased number of students and staff to be on-site.
3. The massing and windows reflectance of the lodge expansion. This concern relates to the proposed elevations depicting the lodge expansion and the large percentage of various façades being made of glass.
4. The existing, and likely expansion of use in the riparian corridor. This concern relates to areas within the Riparian Corridor that are already used for various activities, and the assumption that with the increased number of people on-site activities in this area will also increase.

The referral response recommended several conditions of approval intended to address raised concerns, including the following:

- Reduction of activities within the riparian corridor of Rock Creek.
- Relocation of the proposed duplexes to locations close to the existing development.
- A Revegetation Plan be required with building permit applications.

Adjacent Property Owners – Staff received comments from two adjacent property owners via phone. These comments primarily requested additional information about the application in general, as well as expressing concerns about the number of windows proposed for the Lodge and Recreation Center.

Agencies Responding with No Concern – ***Xcel, Boulder County Historic Review staff, Boulder Valley and Longmont Conservation Districts, Town of Estes Park Utilities***

CRITERIA REVIEW AND ANALYSIS

Community Planning & Permitting staff has reviewed the conditions and standards for approval of a Special Review per Section 4-601.A and Article 4-602.C.2 of the Boulder County Land Use Code, and finds the following:

Article 4-602.A Standards

A use will be permitted by special review or limited impact special review only if the Board finds that the proposed use meets the following criteria as applicable:

1. Except as otherwise noted, the use will comply with the minimum zoning requirements of the zoning district in which the use is to be established, and will also comply with all other applicable requirements;

Resort Lodge/Guest Ranches (as defined in Article 4-507.D of the Land Use Code) are permitted by Special Review in the Forestry zoning district. All proposed structures and site development are required to apply for and obtain the appropriate permits, including building permits, grading permits, and onsite wastewater treatment system permits. Additionally, proposed uses and construction are required to comply with all applicable Standards and Codes, including but not limited to Multimodal Transportation Standards, the Building Code, the appropriate Fire Safety Code, and any state licensing regulations. Any proposed signage must meet the requirements of the sign code in Article 13 of the Land Use Code and receive a permit before installation.

Staff also notes that this application is subject to Article 4-602.C: Special Provisions – Special Review for Community Uses and Lodging Uses (see below for analysis). This section of the Land Use Code establishes maximum allowable square footage for a parcel where Community Uses and Lodging Uses are located. The maximum allowable square footage is dictated by the acreage of the parcel. For this approximately 62-acre parcel the maximum allowed square footage is 35,000 with the purchase of Transfer Development Credits, and the proposal indicates that the developed square footage will not exceed 35,000 square feet. The County adopted these provisions as recognition that while Community and Lodging Uses will develop in the County, specific limits to the development of those uses are necessary in order to help define the extent of the impacts of the proposed development, and ensure the proposed development is in keeping with the goals set forth in the Comprehensive Plan; such as protecting rural lands, establishing community buffers, and maintaining significant viewsheds.

Staff finds that, as conditioned, this criterion can be met.

2. ***The use will be compatible with the surrounding area. In determining compatibility, the Board should consider the location of structures and other improvements on the site; the size, height and massing of the structures; the number and arrangement of structures; the design of structures and other site features; the proposed removal or addition of vegetation; the extent of site disturbance, including, but not limited to, any grading and changes to natural topography; and the nature and intensity of the activities that will take place on the site. In determining the surrounding area, the Board should consider the unique location and environment of the proposed use; assess the relevant area that the use is expected to impact; and take note of important features in the area including, but not limited to, scenic vistas, historic townsites and rural communities, mountainous terrain, agricultural lands and activities, sensitive environmental areas, and the characteristics of nearby development and neighborhoods;***

The subject property has been historically used as a Resort Lodge/Guest Ranch, with that established use being formally recognized by the County via the 1994 conditional approval of docket SU-94-1: Lazy H Guest Ranch. A camp owned and operated by The Presbytery of Plains & Peaks and approved as a Resort Lodge/Guest Ranch via docket SU-88-0017 is located directly across State Highway 7 to the south of the subject property. The larger area of Allenspark is known for recreational and camp uses throughout the year and includes the Meeker Park Lodge Historic District which is comprised of a number of seasonal and year-round cabins as well as a larger lodge and associated buildings.

The proposed modifications to the number of allowed guests and staff will increase the amount of traffic traveling to and from the subject property. However, the Applicant has stated that the majority of guests travel to and from the site via shuttles owned by Rocky Mountain Pathways Ranch or the Town of Estes Shuttle Service.

To ensure that onsite activities and traffic to and from the site remain compatible with the surrounding area and historic use of the subject property, Staff recommends conditions of approval limiting onsite activities to the proposed schedule submitted by the Applicant and requiring the majority of guests travel to and from the subject property via shuttle service.

The physical configuration and construction of the proposed development is similar in nature to the existing structures and development patterns on the subject property, and the application does not propose to significantly alter the historic use of the subject property; therefore, Staff finds the proposal is compatible with the surrounding area.

Therefore, as conditioned, Staff finds this criterion can be met.

3. The use will be in accordance with the Boulder County Comprehensive Plan;

The subject property contains the following Comprehensive Plan designations:

- High Biodiversity Area (HBA) – N. Sheep Mountain, ranked "B2," of very high significance, by the CSU Natural Heritage Program
- Rare Community Type – ponderosa pine scrub woodland, occurrence ranked "B" in overall quality/size, Pinus ponderosa/Purshia tridentata
- Critical Wildlife Habitat – "Lazy H Ranch willow carr and wetlands"
- County Natural Area – N. St. Vrain
- Riparian Area
- Riparian Habitat Connector
- Wetlands
- Environmental Conservation Area (ECA) – N. St. Vrain
- Adjacent to Public Lands – US Forest Service, on north
- View Protection Corridor – Peak to Peak Highway

Referral comments from the Parks & Open Space Natural Resource Planner raised concerns related to activities that are taking place with the Rock Creek Riparian Corridor, as well as the proposed location of the new duplexes. These concerns have largely been addressed through the recommended condition of approval requiring the relocation of the duplexes to an area closer to the existing development. This will cluster the development and associated site disturbance which will reduce the overall impact of the proposed development on the natural resources identified on the subject property.

Therefore, as conditioned, staff finds this criterion can be met.

4. The use will not result in an over-intensive use of land or excessive depletion of natural resources. In evaluating the intensity of the use, the Board should consider the extent of the proposed development in relation to parcel size and the natural landscape/topography; the area of impermeable surface; the amount of blasting, grading, or other alteration of the natural topography; the elimination or disruption of agricultural lands; the effect on significant natural areas and environmental resources; the disturbance of plant and animal habitat, and wildlife migration corridors; the relationship of the proposed development to natural hazards; and available mitigation measures such as the preservation of open lands, the addition or restoration of natural features and screening, the reduction or rearrangement of structures and land disturbance, and the use of sustainable construction techniques, resource use, and transportation management;

The majority of the proposed development will be located in an area of the subject property where existing structures are located and where outdoor activities have taken place since before the 1990s. However, the proposed four duplexes are proposed on a ridge above the area of existing development (Figure 1). Because staff finds that this location would create a new node of development and necessitate a significant amount of site disturbance to allow for the construction of the duplexes, as well as to create an adequate access drive, staff has recommended a condition of approval requiring the proposed duplex cabins be relocated to sites close to the existing structures.

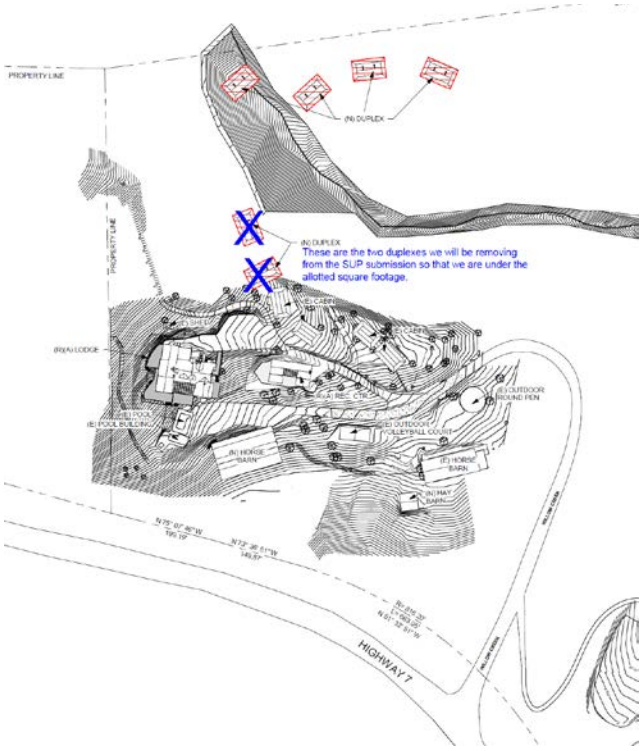


Figure 1: Proposed site plan

Staff also considered the overall area of development in relation to the parcel size, and specifically notes that existing and proposed development is clustered in an area that is a relatively small portion of the approximately 62-acre parcel.

Staff has recommended other conditions of approval to discourage the over-intensive use of land or the excessive depletion of natural resources, including but not limited to requiring the submission of a Revegetation Plan.

Therefore, staff finds that as conditioned, this criterion can be met.

5. The use will not have a material adverse effect on community capital improvement programs;

No adverse effects have been identified on capital improvement programs, therefore, staff finds this criterion can be met.

6. The use will not require a level of community facilities and services greater than that, which is available;

Conditions have been recommended to ensure the proposed development will meet all requirements of the appropriate Fire Protection District's Fire Code, have adequate water supply, and an appropriately sized onsite wastewater treatment system; therefore, as conditioned, staff finds this criterion can be met.

7. The use will support a multimodal transportation system and not result in significant negative impacts to the transportation system or traffic hazards;

Application materials indicate that the applicant owns and operates four 16-passenger vans that are used to shuttle guests to and from the subject property. During subsequent discussions, the

applicant also stated that they contract with the Town of Estes Park shuttle service when additional capacity is needed to transport guests.

In order to ensure this practice continues and to prevent negative impacts to the transportation network, staff has recommended a condition of approval requiring shuttles be used to transport the majority of guests to and from the subject property.

Therefore, as conditioned, Staff finds this criterion can be met.

8. The use will not cause significant air, odor, water, or noise pollution;

Staff has not identified any potential air, odor, water, or noise pollution, and has recommended conditions of approval requiring any necessary permits for onsite wastewater treatment facilities and wells.

Therefore, as conditioned, staff finds this criterion can be met.

9. The use will be adequately buffered or screened to mitigate any undue visual impacts of the use;

The majority of the proposed development is to be located in the area of existing development, which is in the area of the subject parcels closest to State Highway 7. Some of the existing structures, such as the Main Lodge, are currently visible from State Highway 7 as well as from locations in the neighborhood located on the southern side of the roadway. In order to ensure the proposed development is adequately buffered and screened to mitigate visual impacts, staff recommends a condition of approval requiring a Tree Preservation Plan be incorporated into the Wildfire Mitigation Plan. Preserving the maximum number of existing trees as is feasible will help to provide screening and break-up the bulk and mass of existing and proposed structures.

Therefore, as conditioned, staff finds this criterion can be met.

10. The use will not otherwise be detrimental to the health, safety, or welfare of the present or future inhabitants of Boulder County;

Subject to the analysis provided for the other criteria and recommended conditions, no detrimental impacts have otherwise been identified by staff regarding health, safety or welfare.

Therefore, staff finds this criterion can be met.

11. The use will establish an appropriate balance between current and future economic, environmental, and societal needs by minimizing the consumption and inefficient use of energy, materials, minerals, water, land, and other finite resources.

The proposed modification is intended to allow for the continued use of the subject property as a Resort Lodge/Guest Ranch, which contributes to the mountain economy and provides some societal benefits. This, in combination with the careful development of the site and the conditions of approval, allows the use to strike an appropriate balance.

The proposed development associated with this application is primarily located in the area of existing structures and activities, and staff has recommended a condition of approval requiring the proposed duplexes be relocated to the area of existing development. By clustering future development in this area rather than constructing structures throughout the subject property, the proposal reduces the consumption and inefficient use of energy, materials, and land.

Therefore, Staff finds this criterion can be met.

12. The use will not result in unreasonable risk of harm to people or property – both onsite and in the surrounding area – from natural hazards. Development or activity associated with the use must avoid natural hazards, including those on the subject property and those originating off-site with a reasonable likelihood of affecting the subject property. Natural hazards include, without limitation, expansive soils or claystone, subsiding soils, soil creep areas, or questionable soils where the safe-sustaining power of the soils is in doubt; landslides, mudslides, mudfalls, debris fans, unstable slopes, and rockfalls; flash flooding corridors, alluvial fans, floodways, floodplains, and flood-prone areas; and avalanche corridors; all as identified in the Comprehensive Plan Geologic Hazard and Constraint Areas Map or through the Special Review or Limited Impact Special Review process using the best available information. Best available information includes, without limitation, updated topographic or geologic data, Colorado Geologic Survey landslide or earth/debris flow data, interim floodplain mapping data, and creek planning studies.

The subject property is located in an area of high wildfire risk. In order to mitigate this risk as much as possible, staff is recommending conditions of approval requiring a Wildfire Mitigation Plan, and that the proposed duplexes be located close to the area of existing development. Staff notes this area of existing development is located in close proximity to State Highway 7, allowing for ready access by emergency vehicles in the event of a fire event.

As conditioned, Staff finds that the danger from natural hazards can be mitigated to a reasonable level and this criterion can be met.

13. The proposed use shall not alter historic drainage patterns and/or flow rates unless the associated development includes acceptable mitigation measures to compensate for anticipated drainage impacts. The best available information should be used to evaluate these impacts, including without limitation the Boulder County Storm Drainage Criteria Manual, hydrologic evaluations to determine peak flows, floodplain mapping studies, updated topographic data, Colorado Geologic Survey landslide, earth/debris flow data, and creek planning studies, all as applicable given the context of the subject property and the application.

The proposal does not include significant changes to the topography that will alter existing drainage patterns on the subject property or surrounding area. The developed area of the property is not within any mapped floodplains or debris flow susceptibility.

Therefore, as conditioned, Staff finds that this criterion can be met.

Article 4-602.C.2 Special Provisions

Community Planning & Permitting staff also reviewed the conditions and standards for approval of a Special Review for Community Uses and Lodging Uses per Section 4-602.C.2 of the Boulder County Land Use Code, and finds the following:

In addition to the established criteria for Special Review and Limited Impact Special Review, Community Uses and Lodging Uses in the F, A, RR, ER, SR, MF, MH, and MI zone districts must also meet the following floor area limitations:

Existing Uses: Existing Community and Lodging uses are those legally approved or established prior to November 4, 2010. Expansions of these uses shall not cause the use to exceed the total floor area specified in the table below, based on the parcel size on which the use is located.

	Parcel Size (acres)			
	<10	***10-19.9***	***20-34.9***	***35 acres or larger***
Maximum Total Square Footage	***15,000***	***20,000***	***25,000***	***30,000 and for each additional 35 acres of parcel size and additional 5,000 square feet may be allowed but not to exceed 45,000 total square feet***

The subject property is approximately 62 acres, so is subject to the limitations for parcels 35 acres or larger. This calculates to a maximum allowable square footage of 30,000 square feet on the subject parcel. The application proposes that square footage on the subject parcel will not exceed 35,000 square feet. This amount of square footage is allowed through the purchase of one Transfer of Development Credit per 500 square feet of additional floor area, and if the additional land use impacts resulting from the expansion are offset as follows:

Increase in traffic to and from the site: through an acceptable. multimodal transportation management plan, and provisions of transportation system improvements reasonably necessitated by the expansion.

As previously discussed, the applicant has stated that the majority of guests travel to and from the subject property via shuttles. In order to ensure this practice continues, staff has recommended a condition of approval requiring the use of shuttles as the primary mode of transportation to and from the site for the majority of guests.

Therefore, as conditioned, staff finds the increase in traffic can be sufficiently offset.

Increase in water and energy usage at the site: through an acceptable plan to incorporate sustainable measures and practices, including but not limited to use of renewable energy sources, management of energy and water demands, and energy-efficient construction methods.

In 2017 a minor modification of SU-94-1 was approved to allow for the construction of a ground-mounted solar array and the installation of a 15,000-gallon cistern. This ground-mounted solar array is an incorporation of renewable energy into the daily use of the site. The installation of a larger cistern allows for a more consistent management of well water use in times of power failure and drought.

Therefore, staff finds the increase in water and energy usage is sufficiently offset.

Increase in visual impacts of the development: through a plan that substantially mitigates the visual impacts using the design, location, and number of buildings and other developed areas to screen buildings and developed areas, and through the use of natural topography, landscaping, color and materials, and below-grade construction or construction shielded by existing development.

The proposed elevations submitted with application materials show that windows make up large areas of various façades of the Main Lodge and Recreation Center. The potential reflectivity of these windows and the allowance of light transmittance at night have the potential to create a significant negative visual impact to the surrounding areas.

In order to mitigate this impact, staff recommends the following conditions of approval:

- The applicant submit revised elevations for the Main Lodge and Recreation Center showing a significant reduction in glazing to Community Planning & Permitting staff for review and

approval.

- Use of low-reflectivity and low-transmittance glass be required for all new windows on the Main Lodge and Recreation Center.

Staff also recommends a condition of approval requiring a Tree Preservation Plan be submitted in conjunction with the Wildfire Mitigation Plan to ensure the retention of the maximum amount of existing trees, as is feasible with required wildfire mitigation work.

Therefore, as conditioned, staff finds the increase in visual impacts can be sufficiently offset.

Increase in noise: through appropriate siting of, or limitations on hours of operations or types of, noise-generating activities.

A significant increase in noise is not anticipated with the proposal; therefore, staff finds this is not applicable.

RECOMMENDATION

The Community Planning & Permitting staff recommends that the Boulder County Planning Commission conditionally approve and recommend that the Board of County Commissioners **Conditionally Approve SU-17-0006: Rocky Mountain Pathways Ranch**, subject to the following conditions:

1. Within one-year of the signing of the Resolution, the applicant shall provide a Development Agreement, for review and approval by County staff, prior to the issuance of any permits by the Boulder County Land Use Department and prior to the recordation of said agreement.

2. All applicable local, state, and federal permits must be obtained and maintained.

3. No more than 35,000 square feet shall be developed on the subject property.

4. Prior to the issuance of building permits, the applicant shall submit a transportation management plan for review and approval by the Community Planning & Permitting staff that includes specifics related to the use of shuttles as the primary mode of transportation to and from the subject property for the majority of the guests.

5. All building permit applications must include the total amount of existing square footage on-site at time of application, as well as the amount of square footage that will be on-site after the structure that is the subject of the building permit is constructed.

6. Any building permit application that is submitted for a structure that will result in total site square footage over 30,000 square feet must include a Transfer Development Credit for each 500 square feet above 30,000 square feet.

7. Prior to issuance of building permits, if deemed necessary, a change in use permit shall be applied for and obtained from the Boulder County Department of Public Health – Environmental Division.

8. Prior to issuance of any permits, a Wildfire Partners or Regulatory Wildfire Mitigation assessment and defensible space marking shall be completed. Based upon the compliance path selected, either a Wildfire Partners Assessment report or a Wildfire Mitigation Plan will be created which will describe the wildfire mitigation requirements. A Tree Preservation Plan must be incorporated into the Wildfire Mitigation Plan.

9. The location of proposed new structures is approved according to site plans submitted with application materials, except for the location of the proposed duplexes.

10. Prior to submission of building permit applications, a new site plan shall be submitted showing the proposed duplexes in locations close to the existing development.

11. Prior to submission of building permits, new elevations for the Main Lodge and Recreation Center shall be submitted showing a significant reduction in glazing.

12. All new windows in the Main Lodge and Recreation Center must have low-reflectivity and low-transmittance glass.

13. The maximum occupancy on the subject property is limited to 80 guests and 40 staff during the day and 80 guests and 8 staff at night.

14. The frequency of camps, retreats, or events is limited to the chart submitted by the applicant and included in the staff recommendation document.

15. The Applicant shall be subject to the terms, conditions, and commitments of record and in the file for **Docket SU-17-0006: Rocky Mountain Pathways Ranch**.

ATTACHMENT A

Land Use

Courthouse Annex • 2045 13th Street • Boulder, Colorado 80302 • Tel: 303.441.3930
Mailing Address: P.O. Box 471 • Boulder, Colorado 80306 • **www.bouldercounty.org**

MEMO TO:	Referral Agencies
FROM:	Summer Frederick, AICP, Principal Planner
DATE:	May 29, 2019
RE:	Docket SU-17-0006

Docket SU-17-0006: Rocky Mountain Pathways Ranch

Request:	Special Review to expand the existing Resort Lodge/Guest Ranch to allow for the construction of an Indoor Horse Barn, a Hay Storage Barn, and six Duplex Cabins, the remodel and addition to the Main Lodge and Recreational Center, and an increase in occupancy to 80 students and 40 staff during the day and 80 students and 8 staff overnight, and the rental of cabins to the public during summer months.
Location:	15747 State Highway 7, on the north side of SH 7, directly across from its northern intersection with SH 7 Business Route in Allenspark, in Section 25, Township 3N, Range 73W.
Zoning:	Forestry (F) Zoning District
Applicant/Property Owner:	Rocky Mountain Pathways Inc.

Special Use Review / Site Specific Development Plan is required of uses which may have greater impacts on services, neighborhoods, or environment than those allowed with only Building Permit Review. This process will review compatibility, services, environmental impacts, and proposed site plan.

This process includes public hearings before the Boulder County Planning Commission and the Board of County Commissioners. Adjacent property owners and holders of liens, mortgages, easements or other rights in the subject property are notified of these hearings.

The Land Use staff, Planning Commission, and County Commissioners value comments from individuals and referral agencies. Please check the appropriate response below or send a letter. Late responses will be reviewed as the process permits; all comments will be made part of the public record and given to the applicant. Only a portion of the submitted documents may have been enclosed; you are welcome to review the entire file at the Land Use Department, 13th and Spruce, Boulder. If you have any questions regarding this application, please contact the Land Use Department office at 720-564-2603 or via email at sfrederick@bouldercounty.org.

Please return responses to the above address by **July 3, 2019.**

_____ We have reviewed the proposal and have no conflicts.
_____ Letter is enclosed.

Signed _____ PRINTED
Name_____
Agency or Address _____

Please note that all Land Use Department property owner's mailing lists and parcel maps are generated from the

records maintained by the County Assessor and Treasurer Office. We are required to use this list to send notices to the "property owner" of land in Boulder County. If you feel that you should not be considered a "property owner," or if the mailing address used is incorrect, please contact the County Assessor's Office at (303) 441-3530.

ATTACHMENT A

$1475.00 - Ck# 23500 $25 was MC KMB

Boulder County Land Use Department
Courthouse Annex Building
2045 13th Street • PO Box 471 • Boulder, Colorado 80302
Phone: 303-441-3930 • Fax: 303-441-4856
Email: planner@bouldercounty.org
Web: www.bouldercounty.org/lu
Office Hours: Mon., Wed., Thurs., Fri. 8 a.m. to 4:30 p.m.
Tuesday 10 a.m. to 4:30 p.m.

Shaded Areas for Staff Only

Intake Stamp PAID

OCT 16 2017

BOULDER COUNTY LAND USE

Application Form

Project Number: SU-17-0006

Project Name:

- ☐ Limited Impact Special Use
- ☐ Limited Impact Special Use Waiver
- ☐ Modification of Special Use
- ☐ Site Plan Review
- ☐ Site Plan Review Waiver
- ☐ Subdivision Exemption
- ☐ Exemption Plat
- ☐ 1041 State Interest Review
- ☐ Other:

Application Deadline: First Wednesday of the Month

- ☐ Variance
- ☐ Appeal

Application Deadline: Second Wednesday of the Month

- ☐ Sketch Plan
- ☐ Preliminary Plan
- ☐ Final Plat
- ☐ Resubdivision (Replat)
- ☒ Special Use/SSDP
- ☐ Rezoning
- ☐ Road/Easement Vacation
- ☐ Location and Extent
- ☐ Road Name Change

Location(s)/Street Address(es): 15747 STATE HWY 7 LYONS, CO 80540

Subdivision Name: See ATTACHED

Lot(s)	Block(s)	Section(s)	Township(s)	Range(s)
		29	3	72

Area in Acres	Existing Zoning	Existing Use of Property	Number of Proposed Lots
62.5	F		N/A

Proposed Water Supply	Proposed Sewage Disposal Method
Existing Well	Existing Septic System

Applicants:

Applicant/Property Owner: Rocky Mountain Pathways Ranch

Email Address: ian.pouche@lupineproperties.com

Mailing Address: 15747 STATE Hwy 7

City	State	Zip Code	Phone	Fax
Lyons	Co	80540	303.747.9001	

Applicant/Property Owner/Agent/Consultant:

Email Address:

Mailing Address:

City	State	Zip Code	Phone	Fax

Agent/Consultant:

Email Address:

Mailing Address:

City	State	Zip Code	Phone	Fax

Certification (Please refer to the Regulations and Application Submittal Package for complete application requirements.)

I certify that I am signing this Application Form as an owner of record of the property included in the Application. I certify that the information and exhibits I have submitted are true and correct to the best of my knowledge. I understand that all materials required by Boulder County must be submitted prior to having this matter processed. I understand that public hearings or meetings may be required. I understand that I must sign an Agreement of Payment for Application processing fees, and that additional fees or materials may be required as a result of considerations which may arise in the processing of this docket. I understand that the road, school, and park dedications may be required as a condition of approval.

I understand that I am consenting to allow the County Staff involved in this application or their designees to enter onto and inspect the subject property at any reasonable time, without obtaining any prior consent.

All landowners are required to sign application. If additional space is needed, attach additional sheet signed and dated.

Signature of Property Owner	Printed Name	Date
John C. Hall	John C. Hall	10/05/2017
Signature of Property Owner	Printed Name	Date

The Land Use Director may waive the landowner signature requirement for good cause, under the applicable provisions of the Land Use Code.

Form: P/01 • Rev. 04.28.16 • g:/publications/planning/P01PlanningApplicationForm.pdf

ATTACHMENT A

Boulder County Land Use Department

2045 13th Street, Boulder, CO 80302 303-441-3930 www.bouldercounty.org\lu

Vicinity

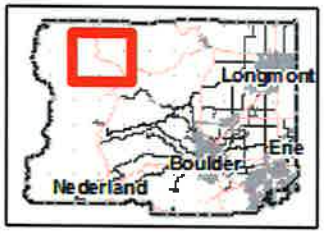
15747 HWY 7

Legend

- Subject Parcel
- Intermittent Stream
- Perennial Stream
- Subdivisions

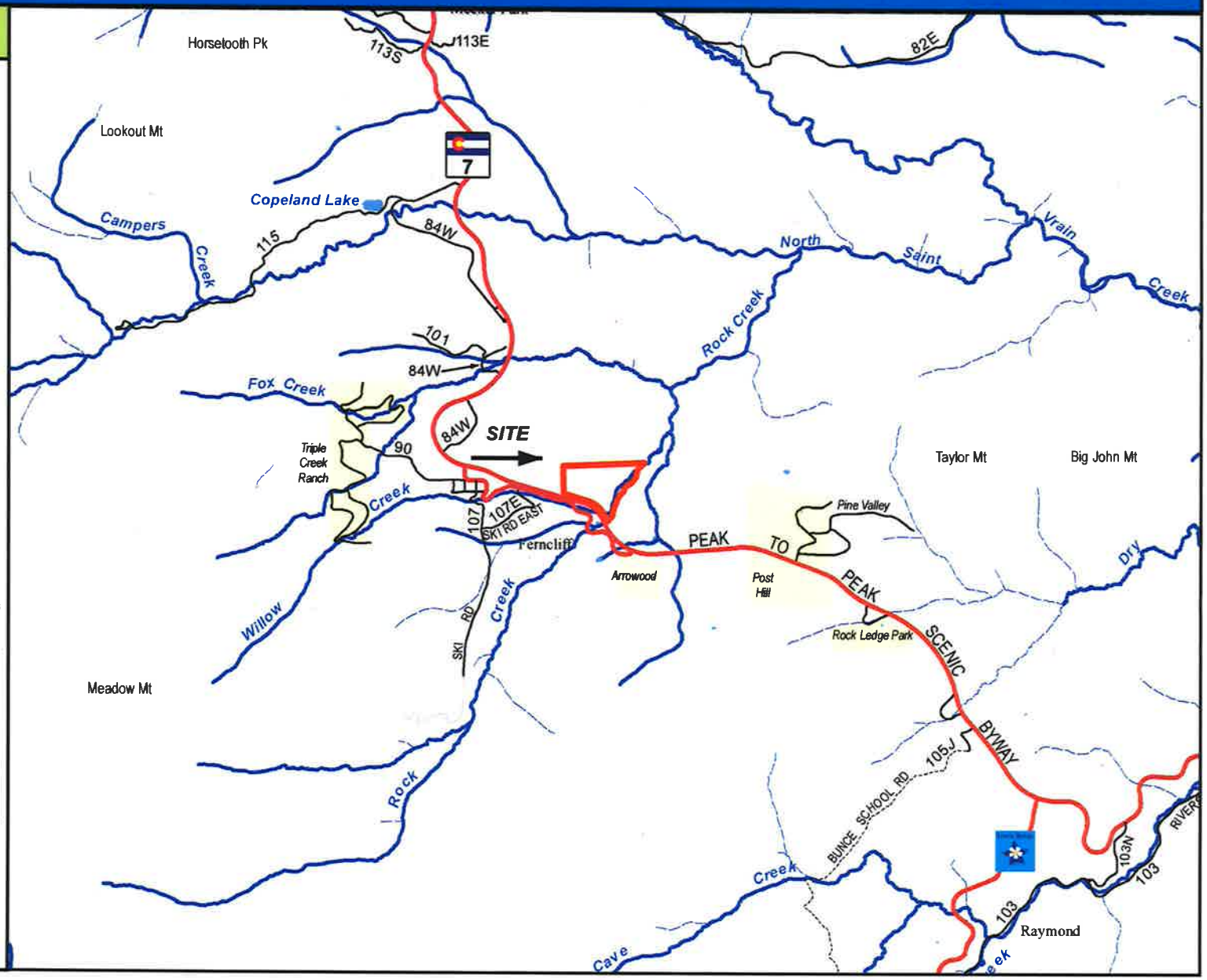
NORTH 0 1 Miles

Area of Detail Date: 5/28/2019



The user agrees to all Terms of Use set forth by Boulder County. For Terms of Use, please visit: www.bouldercounty.org/mapdisclaimer

wtodacheene



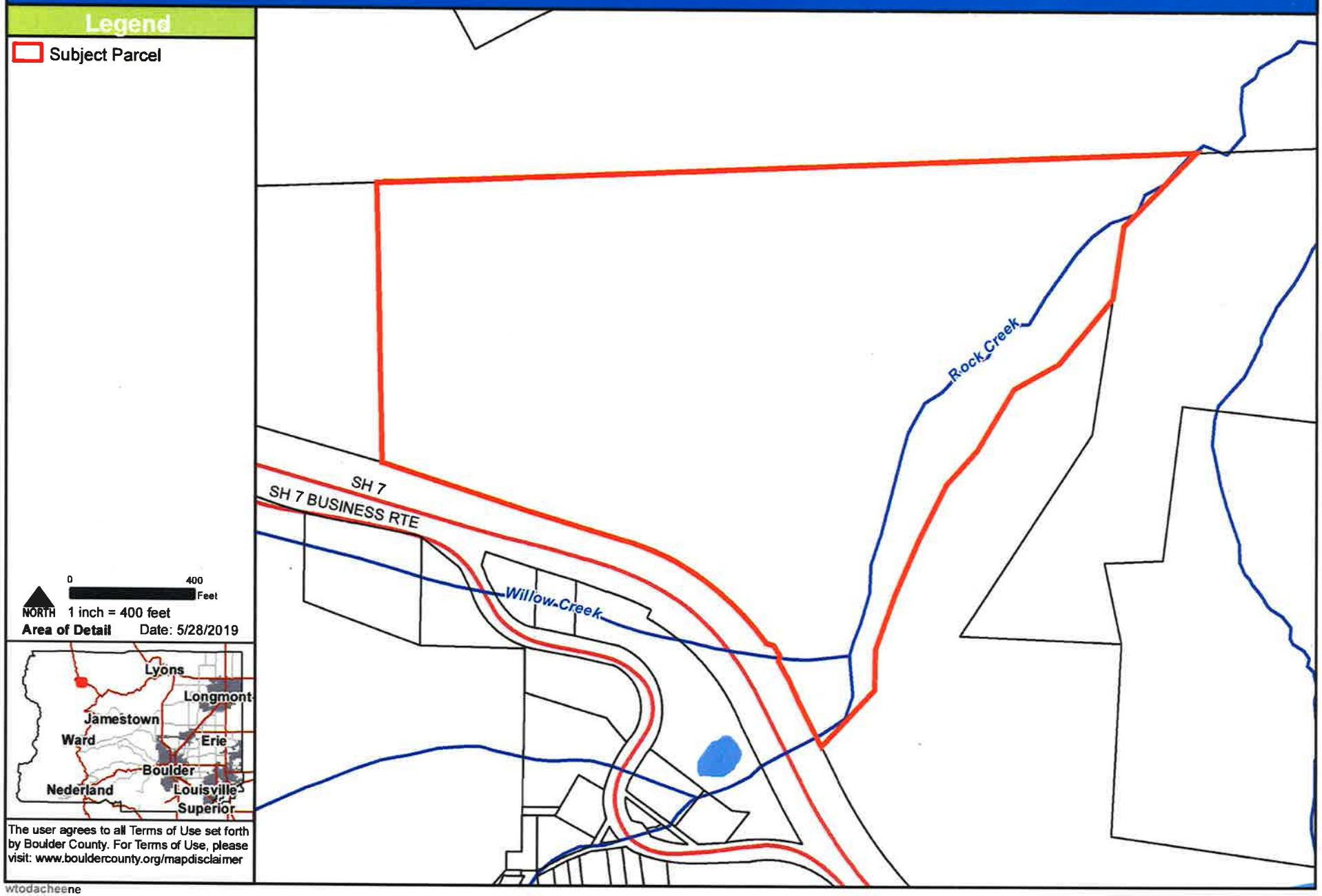
ATTACHMENT A

Boulder County Land Use Department

2045 13th Street, Boulder, CO 80302 303-441-3930 www.bouldercounty.org\lu

Location

15747 HWY 7



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ATTACHMENT A

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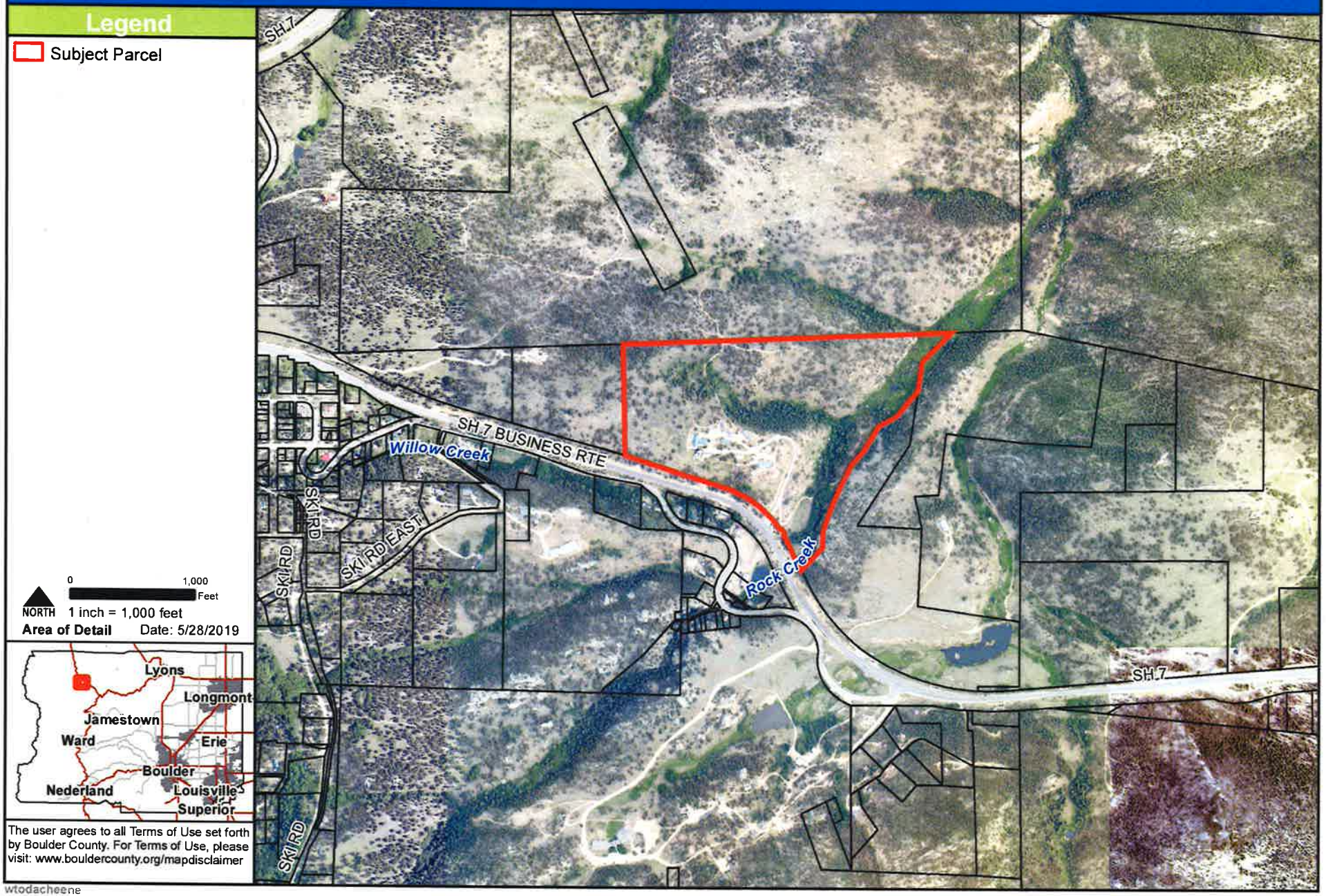
Aerial

15747 HWY 7



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ATTACHMENT A

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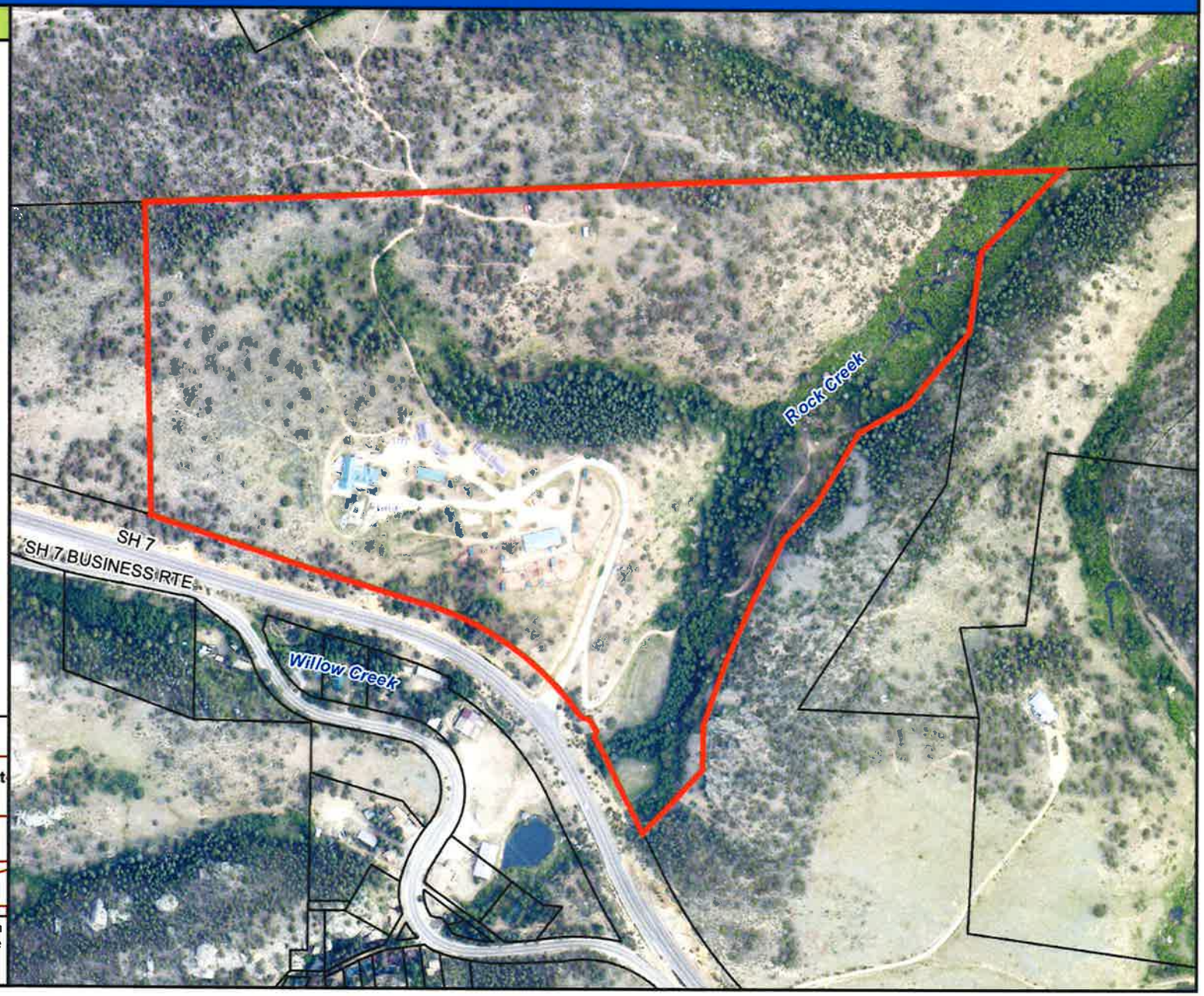
Aerial

15747 HWY 7



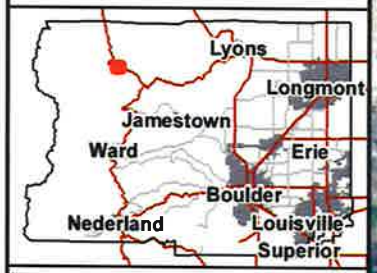
Legend

Subject Parcel

0 400 Feet

NORTH 1 inch = 400 feet

Area of Detail Date: 5/28/2019



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ATTACHMENT A

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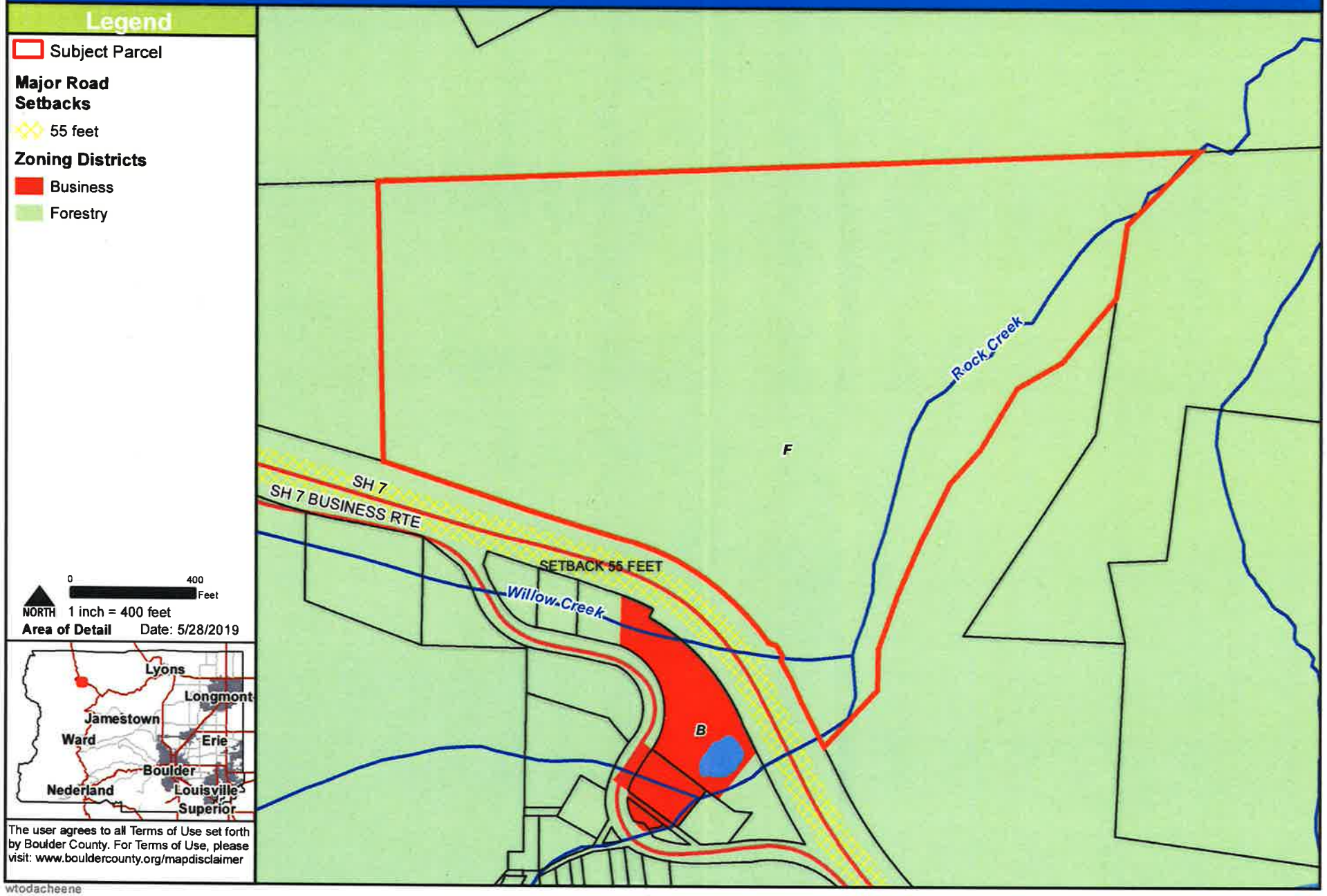
Zoning

15747 HWY 7



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ATTACHMENT A

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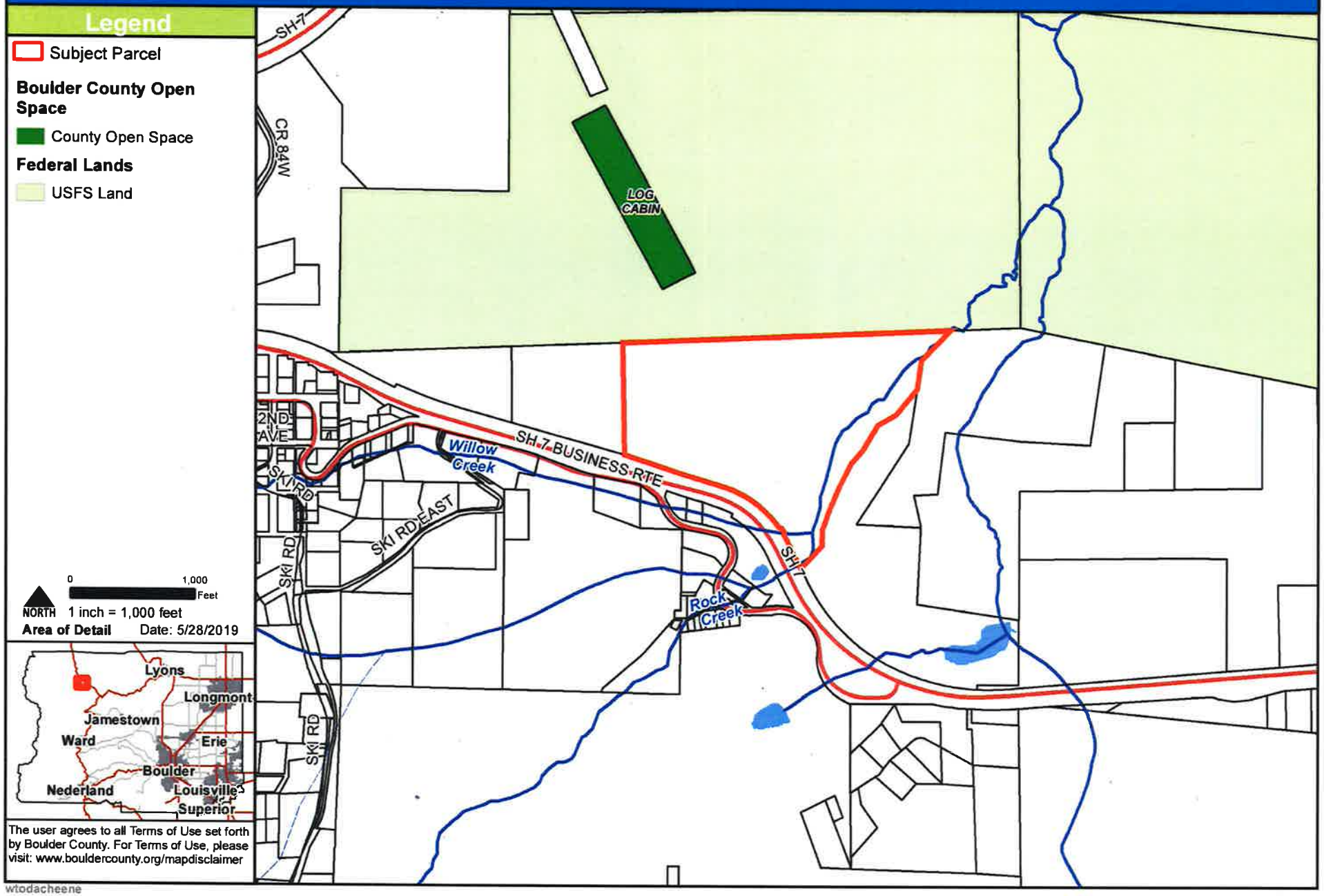
Public Lands & CE's

15747 HWY 7



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Boulder County Land Use Department

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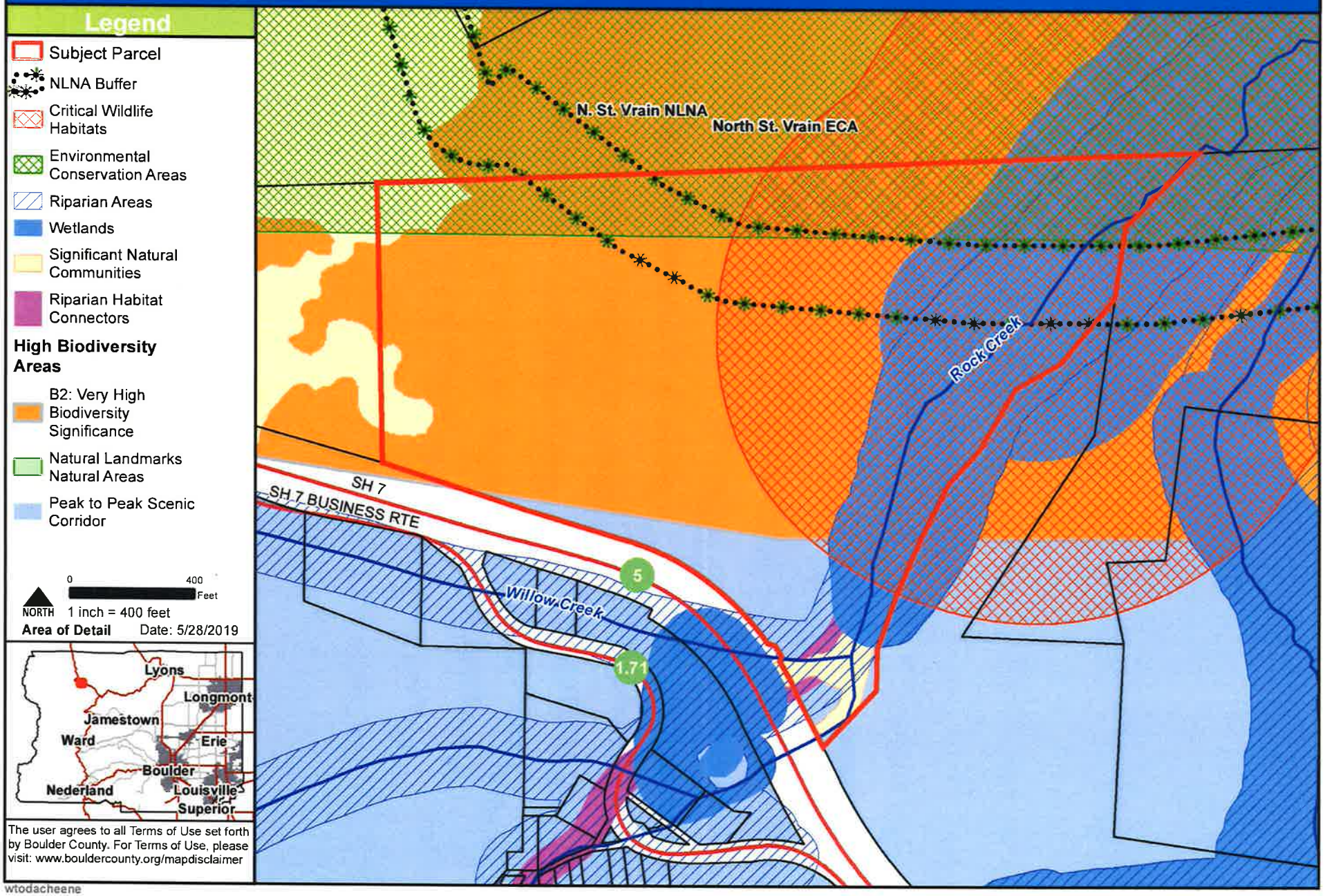
Comprehensive Plan

15747 HWY 7



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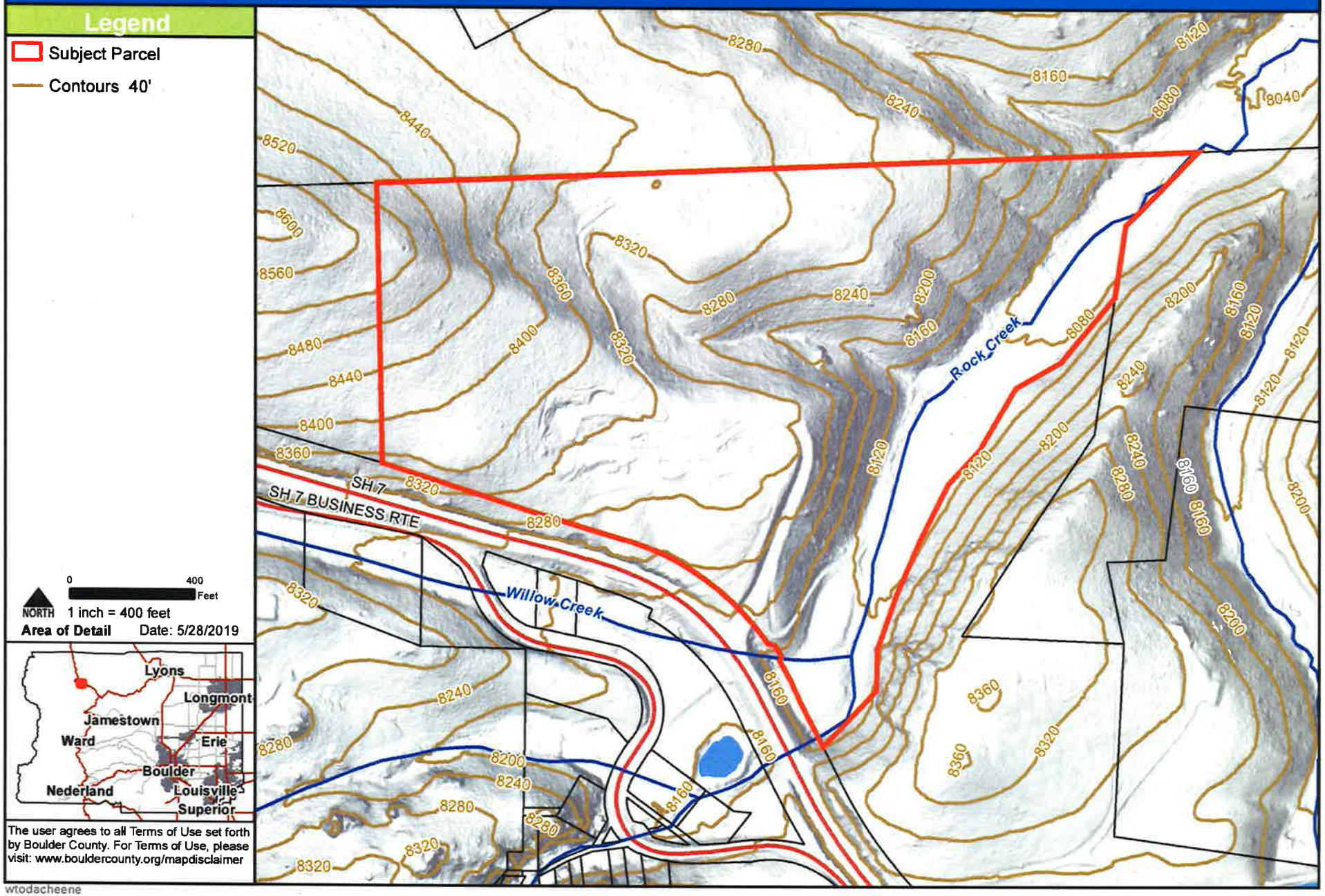
Elevation Contours

15747 HWY 7



wtodacheene

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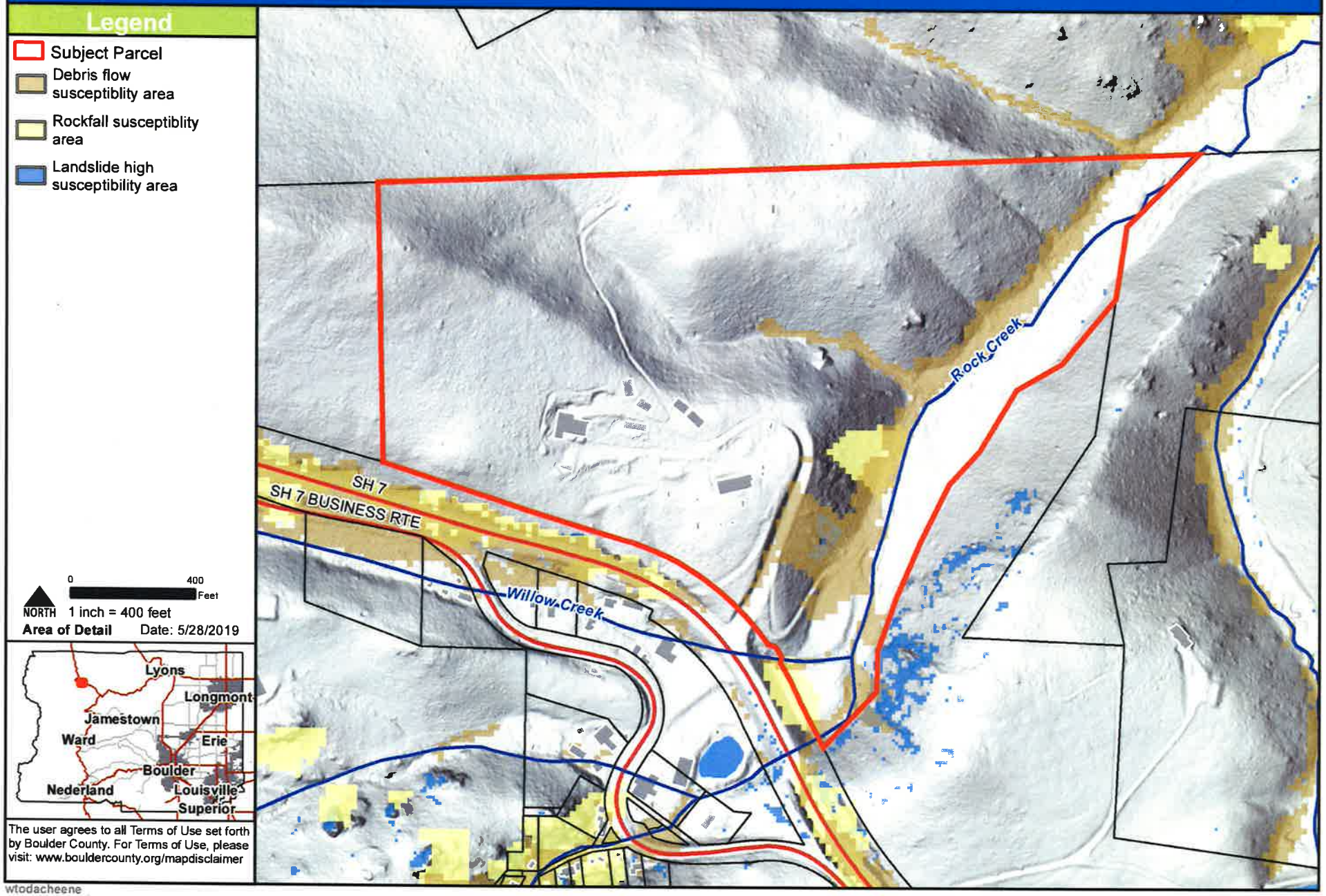
2045 13th Street, Boulder, CO 80302 303-441-3930 www.bouldercounty.org\lu

Geologic Hazards

15747 HWY 7



wtodacheene

Rocky Mountain Pathways Ranch
15747 State Hwy 7
Lyons, CO 80540
303.747.9001

Boulder County Land Use Department
2045 13th Street
Boulder, CO 80302
303.441.3930

DATE: 03/28/2018

SUBJ: Special Use Review Letter of Intent for RMPR

Rocky Mountain Pathways Ranch, Inc. ('RMPR'). RMPR is a 62.5 acre ranch located in Allenspark, Colorado. Its clients have expressed the desire to allow not only their charter school students but local school districts as well to participate in the programs offered. For the past six years, RMPR has enrolled approximately 40 urban high school students at a time for twenty-two 10-day programs every year. The school programs run from January through May and again from August through November. The programs at RMPR are based in social-emotional and experiential education and are designed to facilitate growth opportunities for school-aged youth.

While at the ranch, students are immersed in standard curriculum as well as lessons on wildlife and the Colorado wilderness. Students, some of whom have never even seen a horse in person, are taught about general horse physiology, care and basic training techniques. While participating in ranch work, they experience daily life at a dude ranch and take ownership over animal care and small building projects. Goal setting is a theme throughout the programs as students are encouraged to begin planning for their future. Many find these activities difficult initially, but throughout the camp recognize personal development and self-confidence growth. Upon leaving RMPR, they have met lifelong friends and widened their horizons.

At all Pathways programs, including RMPR, students earn academic credit toward their high school diploma through the curriculum packets developed for the program. Data shows that students who have participated in various Pathways programs are less likely to drop out of school and have improved test scores with their rededication to their education and future.

RMPR is requesting a review and approval for our operations to expand. Planned projects are:

1. 120' X 70' Indoor Horse Barn
2. 32' X 32' Hay Storage Barn
3. Main Lodge Remodel & Addition
4. Recreational Center Remodel & Addition
5. 6 Duplex Cabins

RMPR's intent of use for the projects listed above are as follows:

Indoor Horse Barn: It is our desire to allow our students the full enjoyment and involvement of horseback riding year-round. The Indoor Horse Barn allows us to accomplish this, and gives us the ability to continue our students' education with equine and other animals. The Indoor Horse Barn also provides someplace where the students will be able to remain active, even during inclement weather.

Hay Storage Barn: Was previously approved per special use review docket (SU-94-1) but has not been built. We are currently storing all of our hay in the main barn, limiting our ability to accommodate animals. With the new hay barn we will open up pens for treating and maintaining animals and minimize potential loss due to storage and location of hay.

Lodge Remodel & Addition: Will allow us to improve upon the services we offer our students. With more usable space, we will be able to offer an array of educational services that are not realistic with the current space. The lodge remodel will not only offer greater variety in student service, but will also facilitate positive change in the lives of more students, not only from schools from inner-city youth, but local schools as well.

Recreational Center Remodel & Addition: Allows RMPR to offer more activities to its students including a safe place to play games such as ping pong, shuffle board and more. The recreational center remodel will also enable RMPR to better service the community as a potential meeting hall.

Six (6) Duplex Cabins: These new cabins will enable RMPR to house more students in a diverse environment and possibly to accommodate guests.

These improvements will cause minimal increase in vehicle traffic. RMPR operates on a 10 day cycle where new students arrive on Tuesday and leave the following week on Friday. We operate four (4) 16-passenger vans. Currently the staff live off-site, but once the students arrive, some (approx. 8) of the staff stay on-site with the students. Please see Attached (PAML) traffic letter.

Currently the occupancy at RMPR is limited to 40 students. RMPR has 20 faculty members, with only 1 of those living on site full-time. Under special use review docket (SU-94-1), occupancy is allowed 20 live on-site and 57 guests. With the proposed changes to the Lodge, and the new Duplex Cabins the capacity at RMPR would expand to 120 occupants. During the day, an example of the property at full capacity would be when RMPR is having students and staff on the property = 80 students and maximum of 40 staff. Overnight lodging would be 80 students, approximately 8 staff.

RMPR business hours of operation are 8:00 am to 5:00 pm Monday through Friday. During a program, a typical student's day will begin around 7:30 am with breakfast and morning chores, course work, horse training and other activities. Lunch is normally 12:00 – 1:00 pm after which the students continue course work, go on hikes, do afternoon chores and break out into groups for more specialized training. Dinner is served between 5:00 - 6:00 pm. Afterwards there are deck activities including games, theater hour, and general discussion/interaction until bed time or lights out, which is 10:00pm. While in session, limited (approximately 8) staff and the students are on-site from the day the students arrive from the airport to the day the students return to the airport. Again, this is normally a 10-day session beginning on Tuesday through the weekend to the following Friday. At present, RMPR is not open to the public. Future plans are to make the cabins available for rental during the summer months.

Water service at RMPR are supplied from our well and septic system. Our Sewage Treatment Facility is designed to accommodate 4,875 gallons of wastewater per day which is sufficient to accommodate 98 occupants (Approved by the County Health department July 28, 1975 and noted in the special use review docket (SU-94-1) (09/14/1995)). The proposed 6 duplex cabins will be on a separate system, allowing the existing system to maintain an average usage of 72 occupants, which is less than the current allowable occupant load on the system of 98.

RMPR holds the safety of its Students, Employees and Guests in the highest regard. The facility is maintained to be accessible - even during inclement weather conditions. Emergency response personnel have full access via the main entrance of the property. This includes the already existing access to the proposed 6 duplex cabins. No cut and fill will be required to gain access to the proposed sites given access already exists (as shown on the Boulder County Easement Agreement).

Impact Mitigation:

RMPR foresees minimal to no noise, light or odor impact to our property or surrounding properties. . We are not planning on adding to our Livestock. Additionally, RMPR will be inviting all interested neighborhood guests to come and visit our facility to discuss the changes we are proposing. This will give the neighborhood a chance to learn about and see our operations.

All landscape will be put back to natural scape with native fescue and plants. The design will match existing structure elements and the natural flow of landscape, making it hard for the unknowing eye to distinguish new from existing.

RMPR is an academic organization that educates youth in a school environment while offering experiential learning programs to enhance their social, emotional and academic skills. We partner with schools and other organizations to provide students with experiences and skills that allow them to achieve their academic, career, and life goals. As the ranch continues to evolve and change, RMPR would like to be able to consider the use of the property at some point, not only for students but for outside guests and more community events as well. Future use could include the recreational hall being used by Allenspark for meetings or using our cabins for Air BnB.

Sincerely,

John Walker
Lupine Properties,
RMPR

DELICH ASSOCIATES Traffic & Transportation Engineering
2272 Glen Haven Drive Loveland, Colorado 80538
Phone: (970) 669-2061 Fax: (970) 669-5034

September 20, 2017

Ms. Anita Riley, Senior Planner
Boulder County Transportation Department
2525 13th Street, P.O. Box 471
Boulder, CO 80304

Dear Anita:

This Transportation Pre-Application Methodology Letter (TP-AML) addresses the proposed methodology for the transportation system impact analysis per the Boulder County Multimodal Transportation Standards for an increase in the use at 1574 State Highway 7 (SH7) in Boulder County. This TP-AML addresses the difference in the trip generation, as well as other elements.

The site location aerial and the parcel site plan are provided in the Appendix. The subject parcel is east of SH7, approximately at milepost 15.7. State Highway 7 is a state highway under the administrative control of CDOT. The property (Rocky Mountain Pathways Ranch [RMPR]) is served by a paved driveway called Willow Creek. The RMPR parcel has a number of buildings that are used for housing and activities. RMPR serves students that can be categorized as 'at risk' youth, primarily from urban areas in the United States. The purpose is to provide an outdoor experience (horseback riding, camping, hiking, and other activities) for these youth. The current RMPR program is on a 10-day cycle with new students arriving on a Tuesday and departing in the following week on a Friday. The students arrive and depart by van (four 16-passenger vans). The RMPR teachers remain on-site while the students are there. The current allowed student population is 57, plus 20 staff. Of the 20 staff, 16 are teachers and 4 are administration. Both students and teachers remain on site in a given 10-day period.

This type of land use is not contained in **Trip Generation, 9th Edition**, ITE, the conventional reference document. Therefore, information provided by the operator was used to calculate the daily trip generation for the allowed/approved operation at the RMPR. The following are termed as non-student trips: 1) There is food delivery once a week; 2) Private parcel service (FedEx, UPS) occurs twice a week; 3) There is US Postal Service every day; 4) Trash collection occurs once a week; 5) There are occasional vendors (e.g. propane) that might occur every few weeks; 6) RMPR maintenance staff may leave/return a few times per week; and 7) The administration staff (4) utilize private automobiles on a daily basis (8 daily trip ends). Since students are from out of state, they do not have visitors/family to/from the site. On Tuesday and Friday (change-over days), the teaching staff (16) would arrive on a Tuesday and then depart on a Friday by private automobile. This results in 16 teacher trip ends on each of those days. The above, along with the van trips on Tuesdays and Fridays (8 trip ends on each day), are the extent of the current traffic. If all of the non-student trips occurred on the same day (not likely), there would be 20 non-student daily trip ends. On a change-over day, there would be 8 van trip ends and 16 teacher trip ends (total 24). If the non-student trips occurred on a Tuesday or Friday, there would be 44 daily trip ends (20 plus 24). It is not likely that this would occur on the same day, but it represents the highest number of daily trip ends possible. Therefore, there could be 44 daily trip ends for the current condition. These are the daily trips related to the allowed/approved operation at RMPR.

The proposal is to serve more 'at risk' youth at this site. The maximum occupancy would be 231 persons. The administration staff (4) would remain the same. The non-student daily trips would

remain the same. It is expected that there would be 227 youth and teachers (231 minus 4). At a 5:1 youth to teacher ratio, there would be 38 teachers. There would be 190 youth served. The intent is to have three 10-day cycles (Monday to the following week Thursday; Tuesday to the following week Friday; and Wednesday to the following week Saturday). Assuming equal youth/teacher population in each 10-day cycle, results in 64 youth and 13 teachers in each period. This youth population can be served by the existing vans. On any given change-over day, there would be 8 daily van trip ends and 13 teacher trip ends (total 21). Given this, if all of the non-student trips (20) occurred on a change-over day, there would be 41 (20 plus 21) daily trip ends. This would be less than that which could occur now under the same circumstances described earlier.

Current available daily traffic data on SH7 is 4954 vehicles, approximately 0.3 miles south of the site. The trip distribution for this use is likely to be close to 100 percent to/from the south (Front Range). Future background traffic forecasts, if necessary, should be obtained from sources provided by Boulder County Transportation or agreed upon growth rates on the key roads.

The primary travel mode will be a mix of private automobile, vendor vehicles (FedEx UPS, etc.), and the vans. Given its location, it is not likely that there would be many/any bicycle trips. There are no transit routes near this site. State Highway 7 is a road with modest paved shoulders.

The calculated daily trip ends would be less than that which currently exists. Therefore, the new daily traffic will be less than the 30 daily vehicle trips that would require additional transportation system impact analyses. It is respectfully requested that no additional transportation analyses be required for the RMPR proposal.

There is a possibility that the RMPR operator may desire to have limited events, tent camping, or other activities at the site. However, this is not part of this proposal. If that were proposed in the future, another TP-AML would be required.

Do not hesitate to contact me if you have questions or desire additional information.

Sincerely,

Matthew J. Delich, P.E., PTOE

File: 1776LT01

ATTACHMENT A

Frederick, Summer

From: Levaufre, Helene
Sent: Thursday, April 05, 2018 3:24 PM
To: Matt Delich
Cc: Thomas, Mike
Subject: RE: PAMS Rocky Mountain Pathways Ranch 15747 SH 7

Dear Matt,

The Transportation Department has completed the review for the Pre Application Methodology Statement for Rocky Mountains Pathways Ranch at 15747 SH 7.
We agree that the trip generation for the proposed use will not exceed 30 ADT, and that no additional transportation system analysis will be required.

Please let me know if you have any questions,

Thank you,

Hélène Levaufre | Development Review Engineer
Boulder County Transportation Department
Email: hlevaufre@bouldercounty.org
Phone: 720.564.2663

From: Matt Delich [mailto:matt@delichassoc.com]
Sent: Tuesday, April 03, 2018 3:05 PM
To: Levaufre, Helene
Subject: Re: PAMS Rocky Mountain Pathways Ranch 15747 SH 7

Helene,

In my opinion, no increase. While the quantity of food and trash may increase, I believe it will be handled with larger loads per vehicle. I was told the maintenance staff is a constant number.

Matt

On 4/3/2018 2:09 PM, Levaufre, Helene wrote:

> Dear Matt,
>
> I am reviewing the PAMS for Rocky Mountain Pathways Ranch at 15747 SH 7.
> I agree with the number of trips generated by the student and teachers, however I have a question regarding the non-student trips. Given that the number of students will triple, won't the number of food deliveries, trash collection and maintenance/cleaning staff trips increase accordingly?
>
> Let me know if you have any questions,
>
> Thank you,

ATTACHMENT A

Hélène Levaufre | Development Review Engineer
Boulder County Transportation Department
Email: hlevaufre@bouldercounty.org
Phone: 720.564.2663

--
Matthew J. Delich, P.E., PTOE
DELICH ASSOCIATES
2272 Glen Haven Drive
Loveland, CO 80538
Phone: 970-669-2061
FAX: 970-669-5034
EMAIL: matt@delichassoc.com

1 SITE
1" = 100'-0"

2 VICINITY MAP
1" = 800'-0"

OCCUPANCY CALCULATIONS FOR LIFE SAFETY CODE REQUIREMENTS

AREA	LOAD FUNCTION	LOAD FACTOR	SQ FT (E)	OCC (E)	NEW SQ FT	NEW OCC
MAIN LODGE						
CELLAR LEVEL	STORAGE	300 gross	0	0	831	3
LOWER LEVEL	RESIDENTIAL	200 gross	2228	12	3994	20
MAIN LEVEL	RESIDENTIAL	200 gross	6184	31	6941	35
UPPER LEVEL	DORMITORY	50 gross	3410	69	3410	69
RECREATION CENTER	ASSEMBLY	15 net	750	50	1597	107
EXISTING HORSE BARN	AG BUILDING	300 gross	4800	16	4800	16
NEW HORSE BARN	AG BUILDING	300 gross	0	0	8024	27
HAY BARN	AG BUILDING	300 gross	0	0	900	3
NEW DUPLEX CABINS TOTAL						
(6) ea. (12 units inc. loft)	RESIDENTIAL	200 gross	0	0	875 ea.	60
EXISTING CABINS						
(4) ea.	RESIDENTIAL	200 gross	800 ea.	16 tot.	800 ea.	16 tot.
		200 gross				
TOTAL FOR SITE				194		356

SITE BUILDINGS WILL NOT ALL BE OCCUPIED SIMULTANEOUSLY. FOR SAFETY PURPOSES THESE NUMBERS WILL BE USED TO CALCULATE NUMBER OF EXITS, SIZE OF HALLWAYS AND EXITS, ETC.

OCCUPANCY CALCULATIONS FOR WATER AND SEWER CAPACITY

AREA	LOAD FUNCTION	LOAD FACTOR	SQ FT (E)	OCC (E)	NEW SQ FT	NEW OCC
MAIN LODGE						
CELLAR LEVEL	STORAGE	300 gross	0	0	831	3
LOWER LEVEL	RESIDENTIAL	200 gross	2228	12	3994	20
MAIN LEVEL	RESIDENTIAL	200 gross	6184	31	6941	35
UPPER LEVEL	RESIDENTIAL	200 gross	3410	18	3410	18
RECREATION CENTER	RESIDENTIAL	200 gross	824	5	1846	10
EXISTING HORSE BARN	AG BUILDING	300 gross	4800	16	4800	16
NEW HORSE BARN	AG BUILDING	300 gross	0	0	8024	27
HAY BARN	AG BUILDING	300 gross	0	0	900	3
EXISTING CABINS						
(4) ea.	RESIDENTIAL	200 gross	800 ea.	16 tot.	800 ea.	16 tot.
TOTAL FOR EXISTING WELL & SEPTIC SYSTEM				98		148

SITE BUILDINGS WILL NOT ALL BE OCCUPIED SIMULTANEOUSLY. MAXIMUM OF 88 PEOPLE WILL BE IN THESE EXISTING AND NEW BUILDINGS AT ANY GIVEN TIME. WHILE THE MAIN LODGE IS FULL, THE HORSE BARNS WILL BE EMPTY. THE NUMBER OF OCCUPANTS ON THIS SYSTEM WILL NOT INCREASE. THE ADDITIONAL BUILDINGS AND EXPANSIONS ARE FOR EXTRA AMENITIES.

AREA	LOAD FUNCTION	LOAD FACTOR	SQ FT (E)	OCC (E)	NEW SQ FT	NEW OCC
NEW DUPLEX CABINS TOTAL	RESIDENTIAL	200 gross	0	0	875 ea.	60 tot.
(6 cabins)(12 units incl. loft)						

THESE NEW CABINS WILL BE ON A NEW WELL AND SEPTIC SYSTEM.

ABBREVIATIONS

(E) EXISTING
(N) NEW CONSTRUCTION
(R) REMODEL
(A) ADDITION

"Concept 2 Design"

Date Printed: 03/28/2018 8:33:51 AM

C2D Architects, LLC
"Concept 2 Design"
P.O. Box 337733
Greeley, CO 80633
(970) 515-6075

Project Status: SUR SUBMITTAL

ROCKY MOUNTAIN PATHWAYS RANCH

MAIN LODGE
15747 CO-7, LYONS, CO. 80540

Drawn By: RDW

ARCHITECTURAL SITE PLAN

Issues / Revisions

#	Date	Information
	03/07/18	Design Review
	03/27/18	SUP Resubmittal

PROJECT #: 18-01-101

SHEET #: AS1.10

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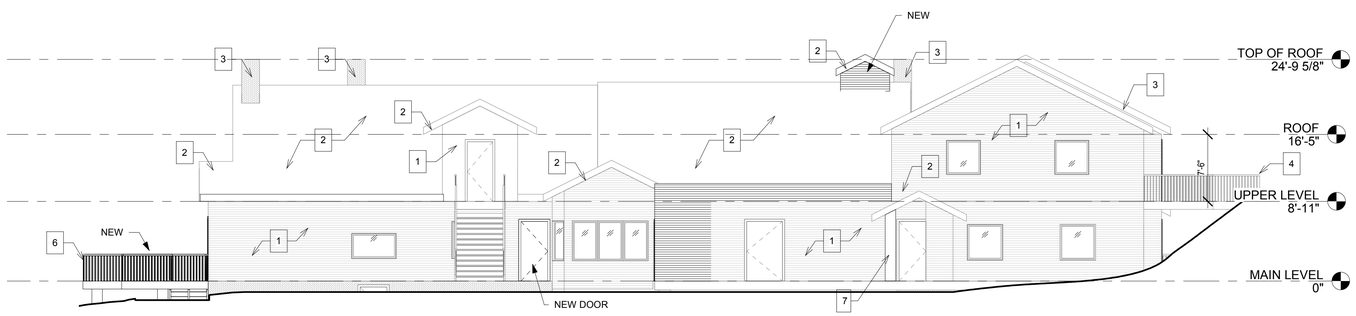
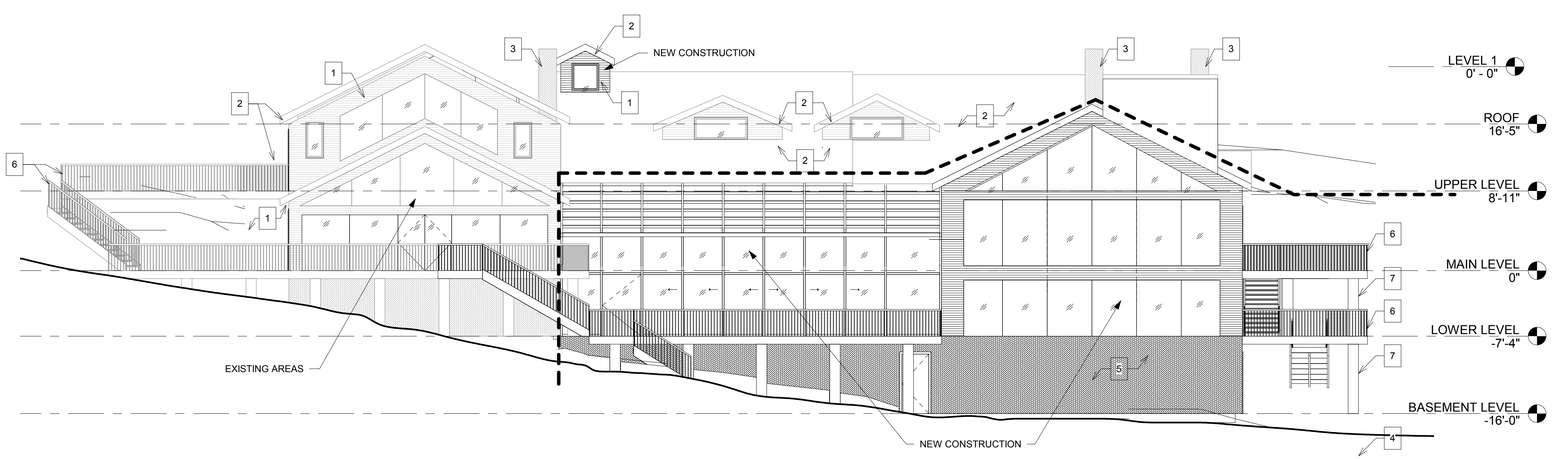


2 NORTH ELEVATION (REAR)
1/8" = 1'-0"

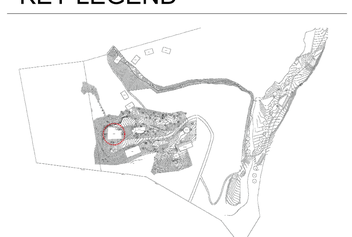


1 SOUTH ELEVATION (FRONT)
1/8" = 1'-0"

KEY NOTES

1	FIRE RETARDANT SPLIT LOG SIDING TO MATCH (E) LODGE
2	METAL ROOFING TO MATCH (E) LODGE
3	(E) MASONRY CHIMNEY
4	EXISTING AND NEW GRADE
5	EXISTING AND NEW STONE
6	WOODEN RAILING
7	WOOD COLUMN

KEY LEGEND



"Concept 2 Design"

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C2D Architects, LLC
"Concept 2 Design"
P.O. Box 337733
Greeley, CO 80633
(970) 515-6675

Project Status: SUR SUBMITTAL

ROCKY MOUNTAIN PATHWAYS RANCH

MAIN LODGE
15747 CO-7, LYONS, CO, 80540

Drawn By: RDW

MAIN LODGE ELEVATIONS

Issues / Revisions

#	Date	Information
	03/27/18	SUP Resubmittal

PROJECT #: 18-01-101

SHEET #: A2.10

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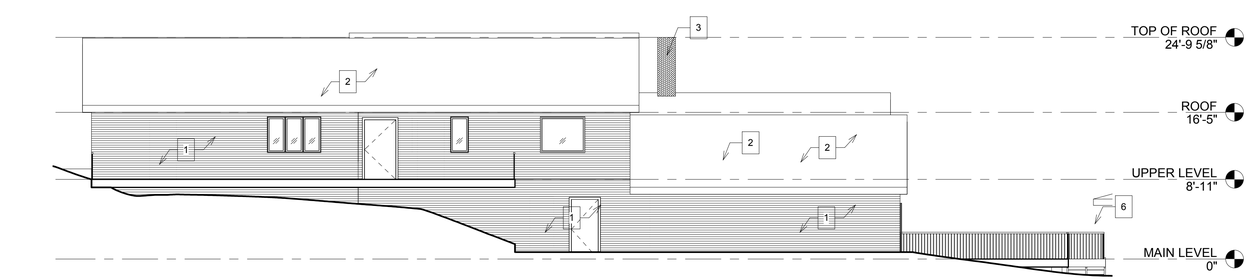
KEY NOTES

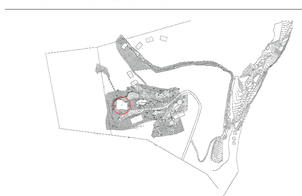
1	FIRE RETARDANT SPLIT LOG SIDING TO MATCH (E) LODGE
2	METAL ROOFING TO MATCH (E) LODGE
3	(E) MASONRY CHIMNEY
4	EXISTING AND NEW GRADE
5	EXISTING AND NEW STONE
6	WOODEN RAILING
7	WOOD COLUMN

2 EAST ELEVATION
1/8" = 1'-0"



1 WEST ELEVATION
1/8" = 1'-0"

KEY LEGEND



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C2D Architects, LLC
"Concept 2 Design"
P.O. Box 337733
Greeley, CO 80633
(970) 515-6075

Project Status: SUR SUBMITTAL

ROCKY MOUNTAIN PATHWAYS RANCH

MAIN LODGE
15747 CO-7, LYONS, CO, 80540

Drawn By: JH

MAIN LODGE ELEVATIONS

Issues / Revisions

#	Date	Information
	03/27/18	SUP Resubmittal

PROJECT #: 18-01-101

SHEET #: A2.11

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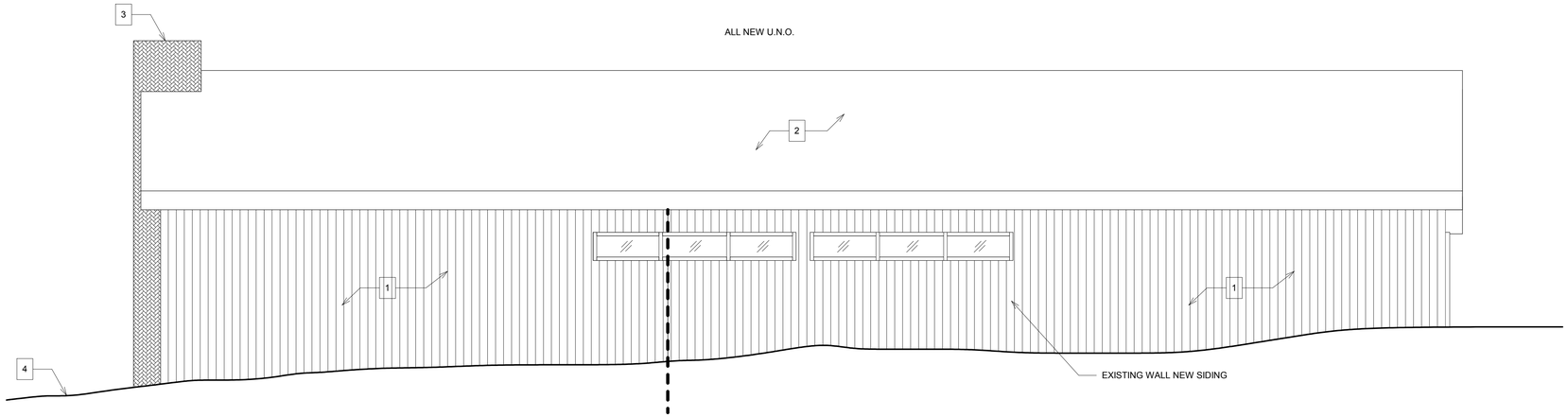
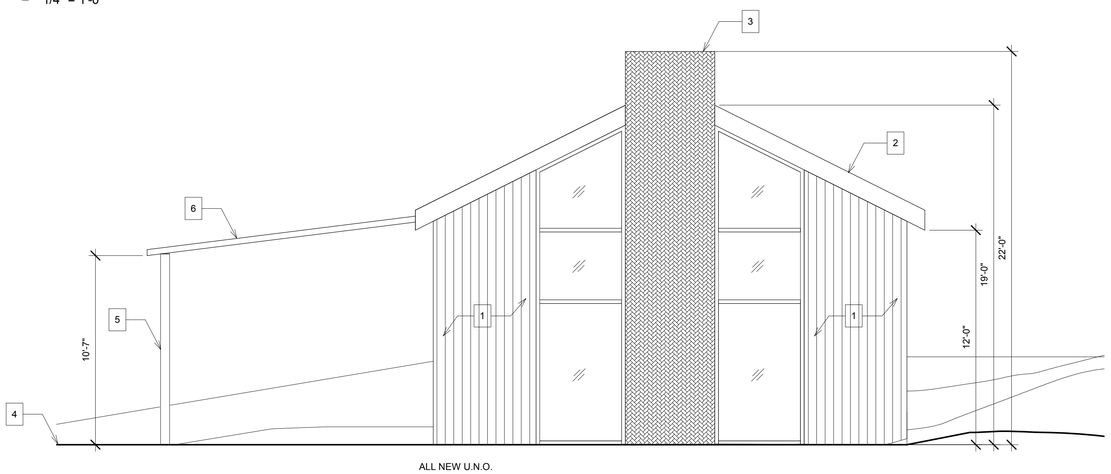
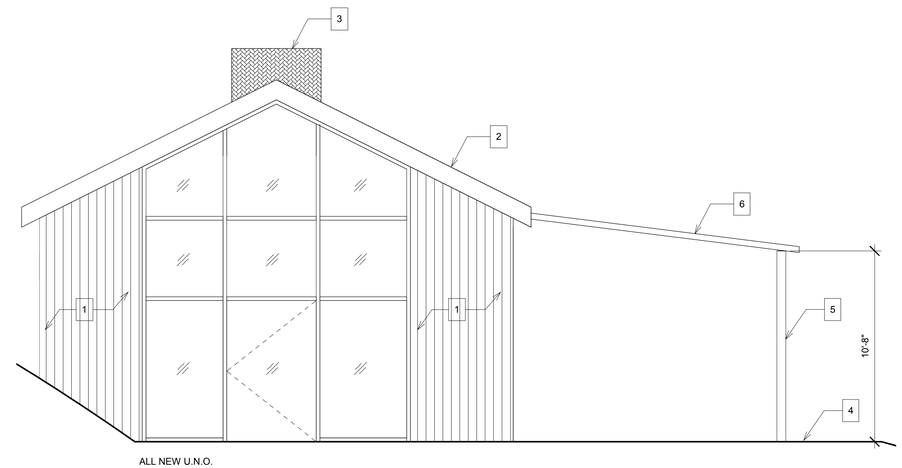


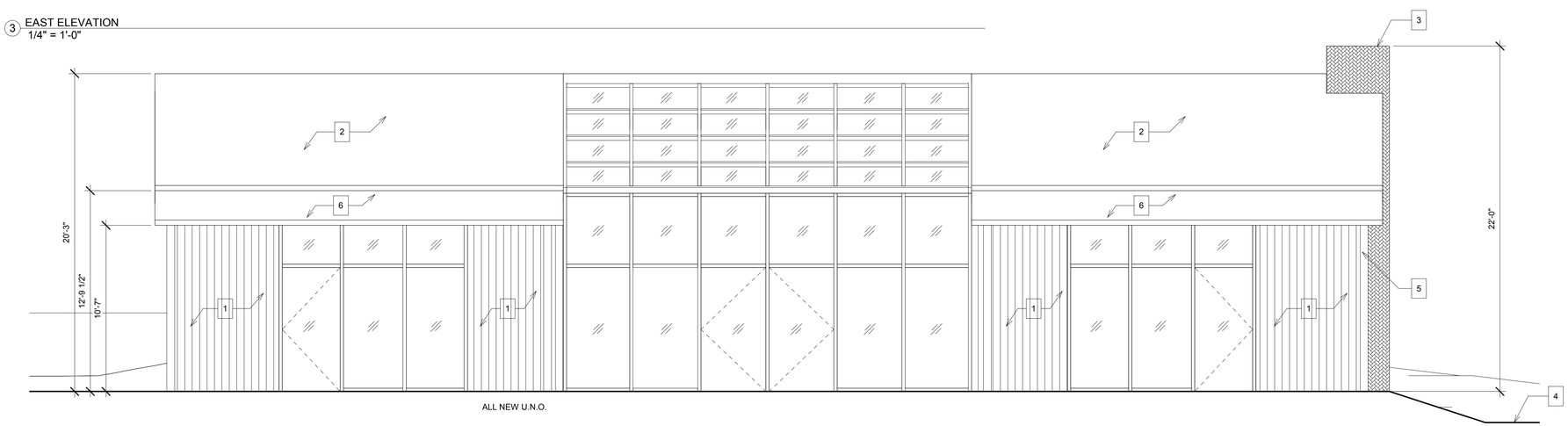
4 NORTH ELEVATION
1/4" = 1'-0"



3 EAST ELEVATION
1/4" = 1'-0"



2 WEST ELEVATION
1/4" = 1'-0"

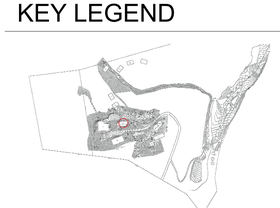


1 SOUTH ELEVATION
1/4" = 1'-0"

KEY NOTES

1. FIRE RETARDANT T1-11 SIDING (FIBER CEMENT OR ALTERNATE)
2. METAL ROOFING TO MATCH (E) LODGE
3. MASONRY CHIMNEY
4. EXISTING AND NEW GRADE
5. COLUMN
6. RETRACTABLE ROOF

KEY LEGEND



"Concept 2 Design"

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C2D Architects, LLC
"Concept 2 Design"
P.O. Box 337733
Greeley, CO 80633
(970) 515-6075

Project Status: SUR SUBMITTAL

RMPR

RECREATIONAL CENTER
15747 CO-7, LYONS, CO 80540

Drawn By: RDW

RECREATION CENTER ELEVATIONS

Issues / Revisions

#	Date	Information
	03/27/18	SUP Resubmital

PROJECT #: 18-01-101

SHEET #: A2.12

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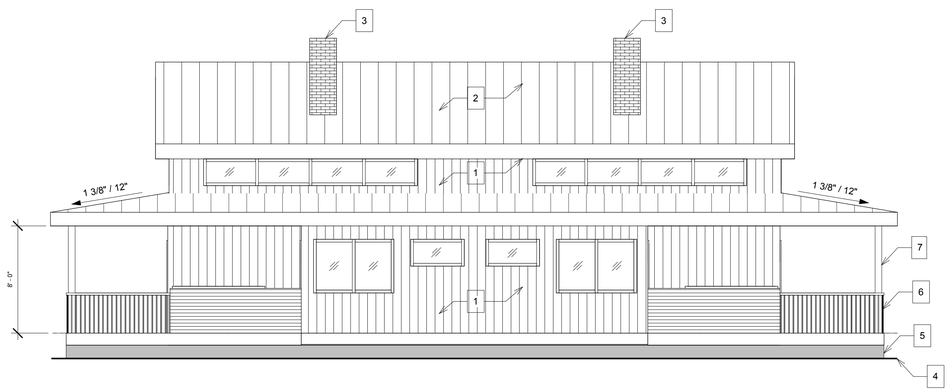
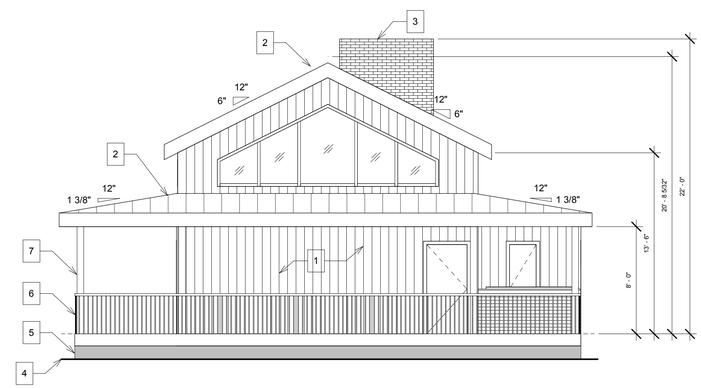
KEY NOTES

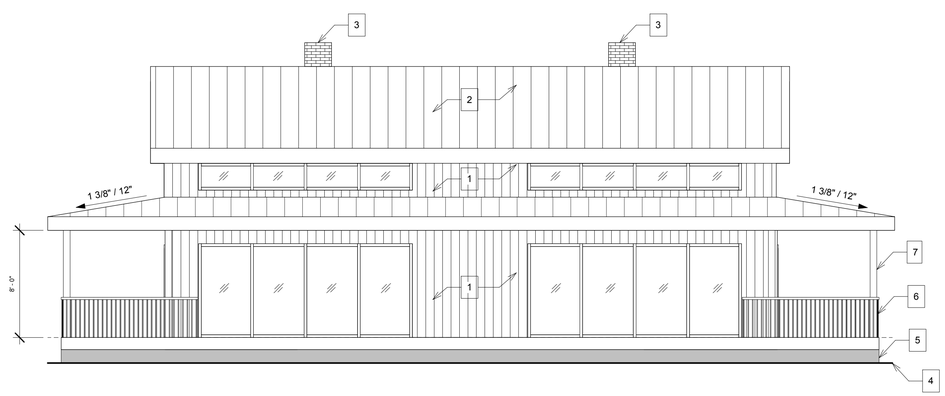
1. FIRE RESISTANT T1-11 SIDING (FIBER CEMENT OR ALTERNATE)
2. METAL ROOFING TO MATCH (E) LODGE
3. MASONRY CHIMNEY
4. EXISTING AND NEW GRADE
5. STONE VENEER
6. WOODEN RAILING
7. WOOD COLUMN



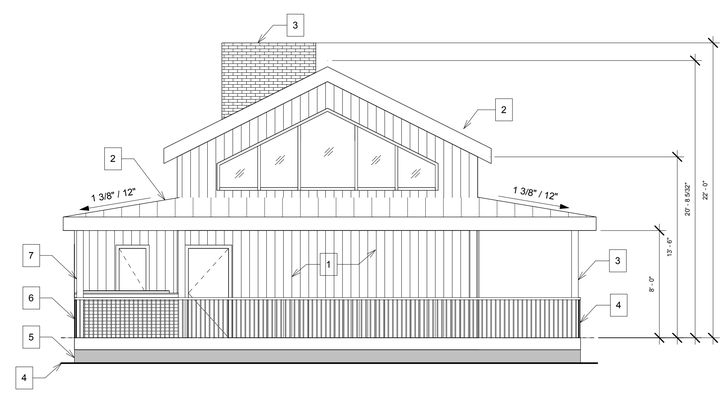
4 NORTH
3/16" = 1'-0"



3 EAST
3/16" = 1'-0"

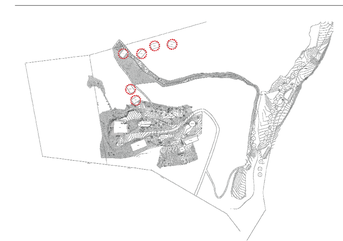


2 SOUTH
3/16" = 1'-0"



1 WEST
3/16" = 1'-0"

KEY LEGEND



"Concept 2 Design"

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"Concept 2 Design"
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Greeley, CO 80633
(970) 515-6075

Project Status: SUR SUBMITTAL

RMPR

DUPLEX CABIN
15747 CO-7, LYONS, CO 80540

Drawn By: RDW

DUPLEX CABIN ELEVATIONS

Issues / Revisions

#	Date	Information
	03/27/18	SUP Resubmittal

PROJECT #: 18-01-101

SHEET #: A2.13

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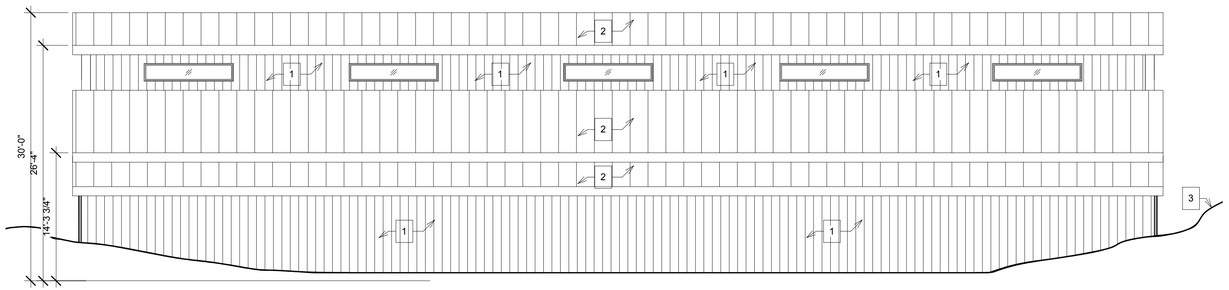
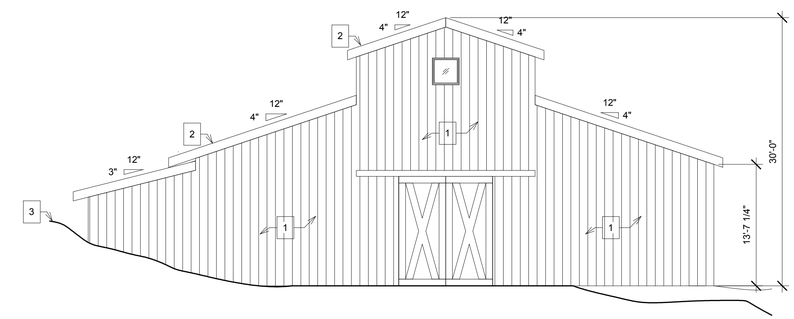
KEY NOTES

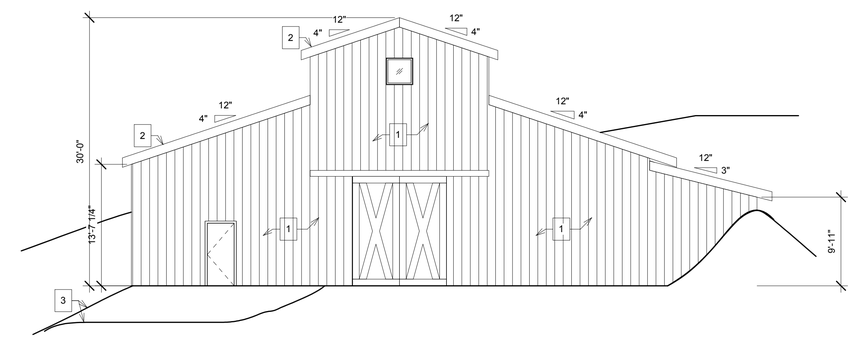
1. T1-11 WOOD SIDING 12" O.C.
2. METAL ROOFING TO MATCH (E) LODGE
3. EXISTING AND NEW GRADE



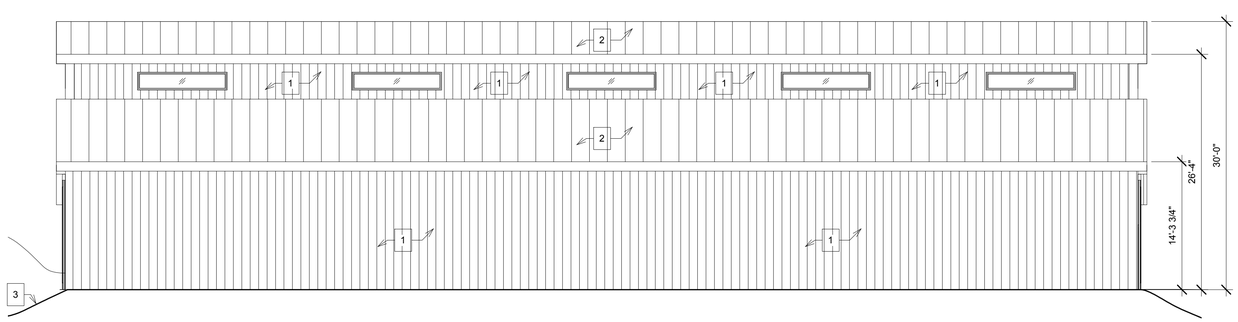
4 NORTH ELEVATION
1/8" = 1'-0"



3 WEST ELEVATION
1/8" = 1'-0"

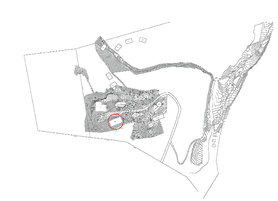


2 EAST ELEVATION
1/8" = 1'-0"



1 SOUTH ELEVATION
1/8" = 1'-0"

KEY LEGEND



"Concept 2 Design"

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C2D Architects, LLC
"Concept 2 Design"
P.O. Box 337733
Greeley, CO 80633
(970) 515-6075

Project Status: SUR SUBMITTAL

RMPR

NEW HORSE BARN
15747 C0-7, LYONS, CO 80540

Drawn By: RDW

NEW HORSE BARN ELEVATIONS

Issues / Revisions #

#	Date	Information
	03/27/18	SUP Resubmittal

PROJECT #: 18-01-101

SHEET #: A2.14

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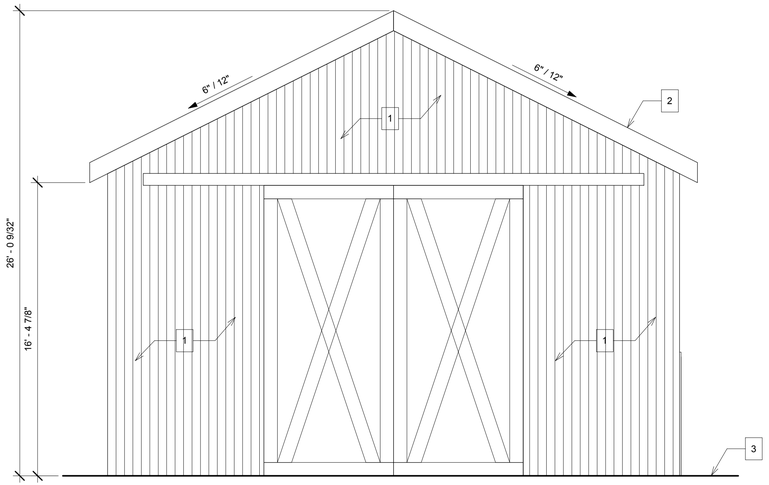
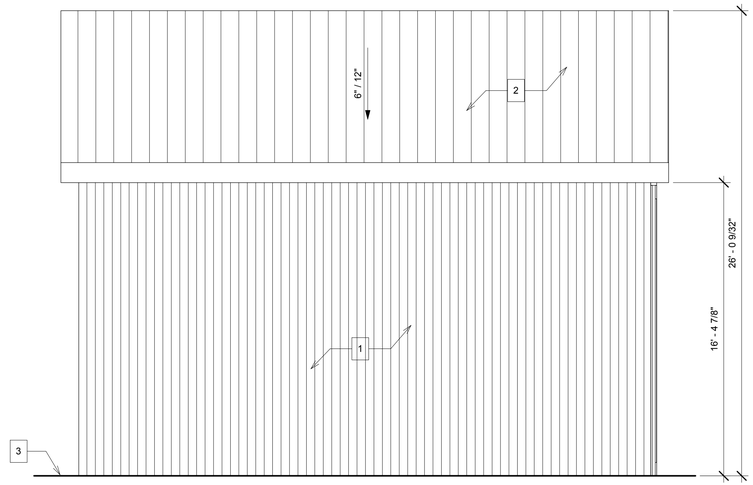
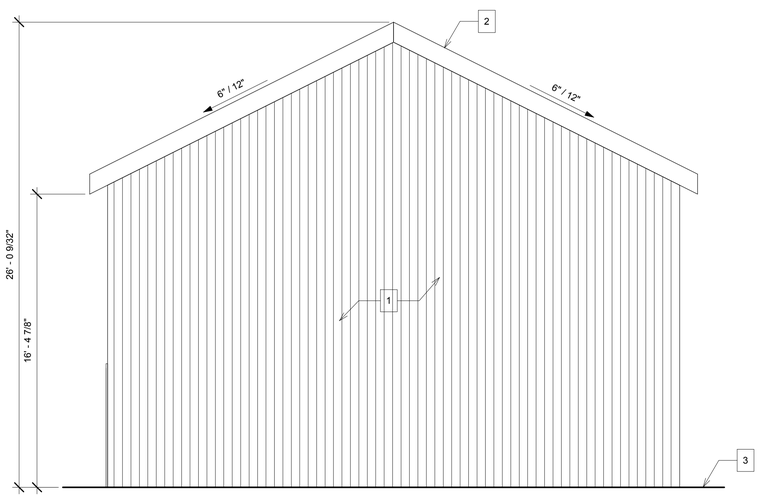


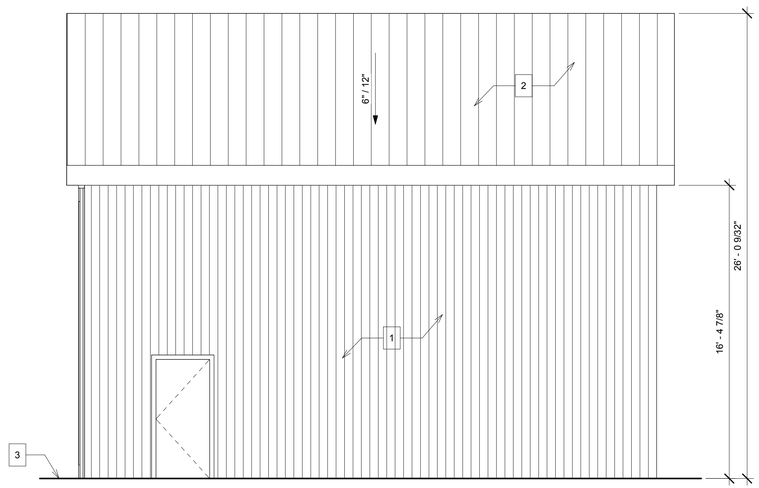
4 NORTH ELEVATION
1/4" = 1'-0"



3 EAST ELEVATION
1/4" = 1'-0"



2 SOUTH ELEVATION
1/4" = 1'-0"

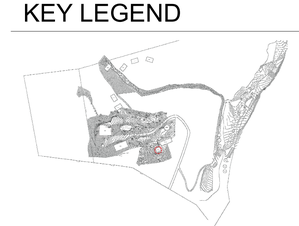


1 WEST ELEVATION
1/4" = 1'-0"

KEY NOTES

1. FIRE RETARDANT T1-11 SIDING (FIBER CEMENT OR ALTERNATE)
2. METAL ROOFING TO MATCH (E) LODGE
3. EXISTING AND NEW GRADE

KEY LEGEND



"Concept 2 Design"

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C2D Architects, LLC
"Concept 2 Design"
P.O. Box 337733
Greeley, CO 80633
(970) 515-6075

Project Status: SUR SUBMITTAL

RMPR

HAY BARN
15747 CO-7, LYONS, CO 80540

Drawn By: RDW

HAY SHED ELEVATIONS

Issues / Revisions

#	Date	Information
	03/27/18	SUP Resubmittal

PROJECT #: 18-01-101

SHEET #: A2.15

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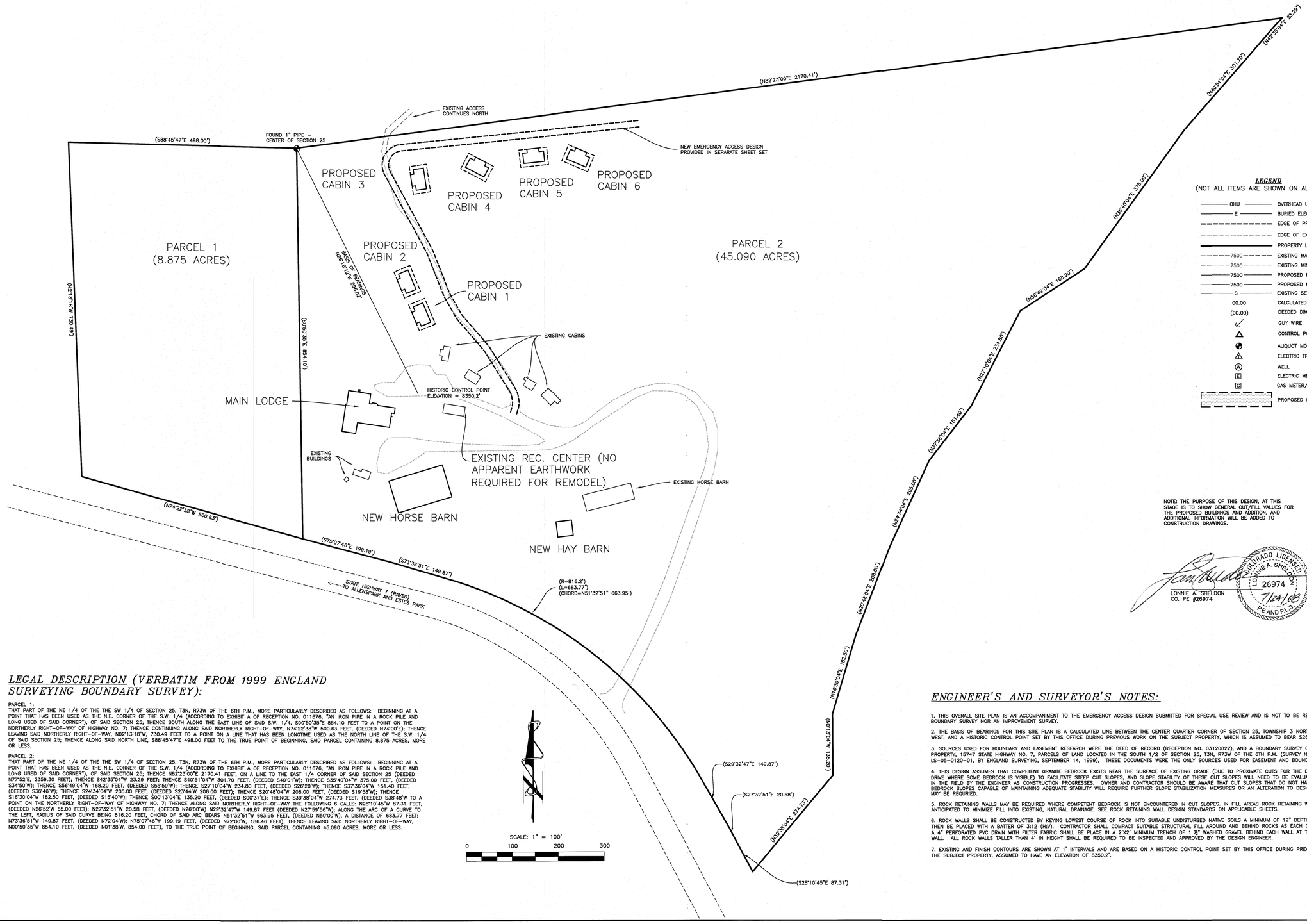
OVERALL SITE PLAN FOR NEW CONSTRUCTION – ROCKY MOUNTAIN PATHWAYS VISITOR'S CABINS AND EARTHWORK CALCULATIONS



LEGEND
(NOT ALL ITEMS ARE SHOWN ON ALL SHEETS)

OHU	OVERHEAD UTILITY LINE
E	BURIED ELECTRIC LINE
	EDGE OF PROPOSED ACCESS
	EDGE OF EXISTING ACCESS
	PROPERTY LINE
7500	EXISTING MAJOR CONTOUR
7500	EXISTING MINOR CONTOUR
7500	PROPOSED MAJOR CONTOUR
7500	PROPOSED MINOR CONTOUR
S	EXISTING SEWER LINE
00.00	CALCULATED OR MEASURED DIMENSIONS
(00.00)	DEEDED DIMENSIONS
	GUY WIRE
	CONTROL POINT
	ALIQUOT MONUMENTATION
	ELECTRIC TRANSFORMER
W	WELL
E	ELECTRIC METER/PEDESTAL
G	GAS METER/VALVE
	PROPOSED DECK

NOTE: THE PURPOSE OF THIS DESIGN, AT THIS STAGE IS TO SHOW GENERAL CUT/FILL VALUES FOR THE PROPOSED BUILDINGS AND ADDITION, AND ADDITIONAL INFORMATION WILL BE ADDED TO CONSTRUCTION DRAWINGS.

LONNIE A. SHELDON
CO. PE #26974

COLORADO LICENSED
LONNIE A. SHELDON
26974
7/24/18
PE AND PLS

LEGAL DESCRIPTION (VERBATIM FROM 1999 ENGLAND SURVEYING BOUNDARY SURVEY):

PARCEL 1:
THAT PART OF THE NE 1/4 OF THE THE SW 1/4 OF SECTION 25, T3N, R73W OF THE 6TH P.M., MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT A POINT THAT HAS BEEN USED AS THE N.E. CORNER OF THE S.W. 1/4 (ACCORDING TO EXHIBIT A OF RECEPTION NO. 011676, "AN IRON PIPE IN A ROCK PILE AND LONG USED OF SAID CORNER"), OF SAID SECTION 25; THENCE SOUTH ALONG THE EAST LINE OF SAID S.W. 1/4, S00°50'35"E 854.10 FEET TO A POINT ON THE NORTHERLY RIGHT–OF–WAY OF HIGHWAY NO. 7; THENCE CONTINUING ALONG SAID NORTHERLY RIGHT–OF–WAY, N74°22'38"W 500.63 FEET, (DEEDED N74°00'E); THENCE LEAVING SAID NORTHERLY RIGHT–OF–WAY, N02°13'18"W, 730.49 FEET TO A POINT ON A LINE THAT HAS BEEN LONGTIME USED AS THE NORTH LINE OF THE S.W. 1/4 OF SAID SECTION 25; THENCE ALONG SAID NORTH LINE, S88°45'47"E 498.00 FEET TO THE TRUE POINT OF BEGINNING, SAID PARCEL CONTAINING 8.875 ACRES, MORE OR LESS.

PARCEL 2:
THAT PART OF THE NE 1/4 OF THE THE SW 1/4 OF SECTION 25, T3N, R73W OF THE 6TH P.M., MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT A POINT THAT HAS BEEN USED AS THE N.E. CORNER OF THE S.W. 1/4 (ACCORDING TO EXHIBIT A OF RECEPTION NO. 011676, "AN IRON PIPE IN A ROCK PILE AND LONG USED OF SAID CORNER"), OF SAID SECTION 25; THENCE N82°23'00"E 2170.41 FEET, ON A LINE TO THE EAST 1/4 CORNER OF SAID SECTION 25 (DEEDED N77°52'E, 2359.30 FEET); THENCE S42°35'04"W 23.29 FEET; THENCE S40°51'04"W 301.70 FEET, (DEEDED S40°01'W); THENCE S35°40'04"W 375.00 FEET, (DEEDED S34°50'W); THENCE S56°49'04"W 168.20 FEET, (DEEDED S55°59'W); THENCE S27°10'04"W 234.80 FEET, (DEEDED S26°20'W); THENCE S37°36'04"W 151.40 FEET, (DEEDED S36°46'W); THENCE S24°34'04"W 205.00 FEET, (DEEDED S23°44'W 206.00 FEET); THENCE S20°48'04"W 208.00 FEET, (DEEDED S19°58'W); THENCE S16°30'04"W 182.50 FEET, (DEEDED S15°40'W); THENCE S00°13'04"E 135.20 FEET, (DEEDED S00°37'E); THENCE S39°38'04"W 274.73 FEET, (DEEDED S38°48'W TO A POINT ON THE NORTHERLY RIGHT–OF–WAY OF HIGHWAY NO. 7; THENCE ALONG SAID NORTHERLY RIGHT–OF–WAY THE FOLLOWING 6 CALLS: N28°10'45"W 87.31 FEET, (DEEDED N26°52'W 65.00 FEET); N27°32'51"W 20.58 FEET, (DEEDED N26°00'W) N29°32'47"W 149.87 FEET (DEEDED N27°59'56"W); ALONG THE ARC OF A CURVE TO THE LEFT, RADIUS OF SAID CURVE BEING 816.20 FEET, CHORD OF SAID ARC BEARS N51°32'51"W 663.95 FEET, (DEEDED N50°00'W), A DISTANCE OF 683.77 FEET; N73°36'51"W 149.87 FEET, (DEEDED N72°04'W); N75°07'46"W 199.19 FEET, (DEEDED N72°00'W, 186.46 FEET); THENCE LEAVING SAID NORTHERLY RIGHT–OF–WAY, N00°50'35"W 854.10 FEET, (DEEDED N01°38'W, 854.00 FEET), TO THE TRUE POINT OF BEGINNING, SAID PARCEL CONTAINING 45.090 ACRES, MORE OR LESS.

ENGINEER'S AND SURVEYOR'S NOTES:

1. THIS OVERALL SITE PLAN IS AN ACCOMPANIMENT TO THE EMERGENCY ACCESS DESIGN SUBMITTED FOR SPECIAL USE REVIEW AND IS NOT TO BE RELIED UPON AS A BOUNDARY SURVEY NOR AN IMPROVEMENT SURVEY.

2. THE BASIS OF BEARINGS FOR THIS SITE PLAN IS A CALCULATED LINE BETWEEN THE CENTER QUARTER CORNER OF SECTION 25, TOWNSHIP 3 NORTH, RANGE 73 WEST, AND A HISTORIC CONTROL POINT SET BY THIS OFFICE DURING PREVIOUS WORK ON THE SUBJECT PROPERTY, WHICH IS ASSUMED TO BEAR S26°16'12"E.

3. SOURCES USED FOR BOUNDARY AND EASEMENT RESEARCH WERE THE DEED OF RECORD (RECEPTION NO. 03120822), AND A BOUNDARY SURVEY OF THE SUBJECT PROPERTY, 15747 STATE HIGHWAY NO. 7, PARCELS OF LAND LOCATED IN THE SOUTH 1/2 OF SECTION 25, T3N, R73W OF THE 6TH P.M. (SURVEY NO. LS–05–0120–01, BY ENGLAND SURVEYING, SEPTEMBER 14, 1999). THESE DOCUMENTS WERE THE ONLY SOURCES USED FOR EASEMENT AND BOUNDARY RESEARCH.

4. THIS DESIGN ASSUMES THAT COMPETENT GRANITE BEDROCK EXISTS NEAR THE SURFACE OF EXISTING GRADE (DUE TO PROXIMATE CUTS FOR THE EXISTING ACCESS DRIVE WHERE SOME BEDROCK IS VISIBLE) TO FACILITATE STEEP CUT SLOPES, AND SLOPE STABILITY OF THESE CUT SLOPES WILL NEED TO BE EVALUATED INDIVIDUALLY IN THE FIELD BY THE ENGINEER AS CONSTRUCTION PROGRESSES. OWNER AND CONTRACTOR SHOULD BE AWARE THAT CUT SLOPES THAT DO NOT HAVE COMPETENT BEDROCK SLOPES CAPABLE OF MAINTAINING ADEQUATE STABILITY WILL REQUIRE FURTHER SLOPE STABILIZATION MEASURES OR AN ALTERATION TO DESIGN CUT SLOPES MAY BE REQUIRED.

5. ROCK RETAINING WALLS MAY BE REQUIRED WHERE COMPETENT BEDROCK IS NOT ENCOUNTERED IN CUT SLOPES. IN FILL AREAS ROCK RETAINING WALLS ARE ANTICIPATED TO MINIMIZE FILL INTO EXISTING, NATURAL DRAINAGE. SEE ROCK RETAINING WALL DESIGN STANDARDS ON APPLICABLE SHEETS.

6. ROCK WALLS SHALL BE CONSTRUCTED BY KEYING LOWEST COURSE OF ROCK INTO SUITABLE UNDISTURBED NATIVE SOILS A MINIMUM OF 12" DEPTH. ROCKS SHALL THEN BE PLACED WITH A BATTER OF 3:12 (H:V). CONTRACTOR SHALL COMPACT SUITABLE STRUCTURAL FILL AROUND AND BEHIND ROCKS AS EACH COURSE IS SET. A 4" PERFORATED PVC DRAIN WITH FILTER FABRIC SHALL BE PLACE IN A 2'X2' MINIMUM TRENCH OF 1 ½" WASHED GRAVEL BEHIND EACH WALL AT THE TOE OF THE WALL. ALL ROCK WALLS TALLER THAN 4' IN HEIGHT SHALL BE REQUIRED TO BE INSPECTED AND APPROVED BY THE DESIGN ENGINEER.

7. EXISTING AND FINISH CONTOURS ARE SHOWN AT 1' INTERVALS AND ARE BASED ON A HISTORIC CONTROL POINT SET BY THIS OFFICE DURING PREVIOUS WORK ON THE SUBJECT PROPERTY, ASSUMED TO HAVE AN ELEVATION OF 8350.2'.

DATE	REVISION	BY

VAN HORN ENGINEERING AND SURVEYING
1043 FISH CREEK RD. ESTES PARK, COLORADO 80517
PHONE: (970) 586-9398 • email: lvhe@frii.com

GRADING PLAN

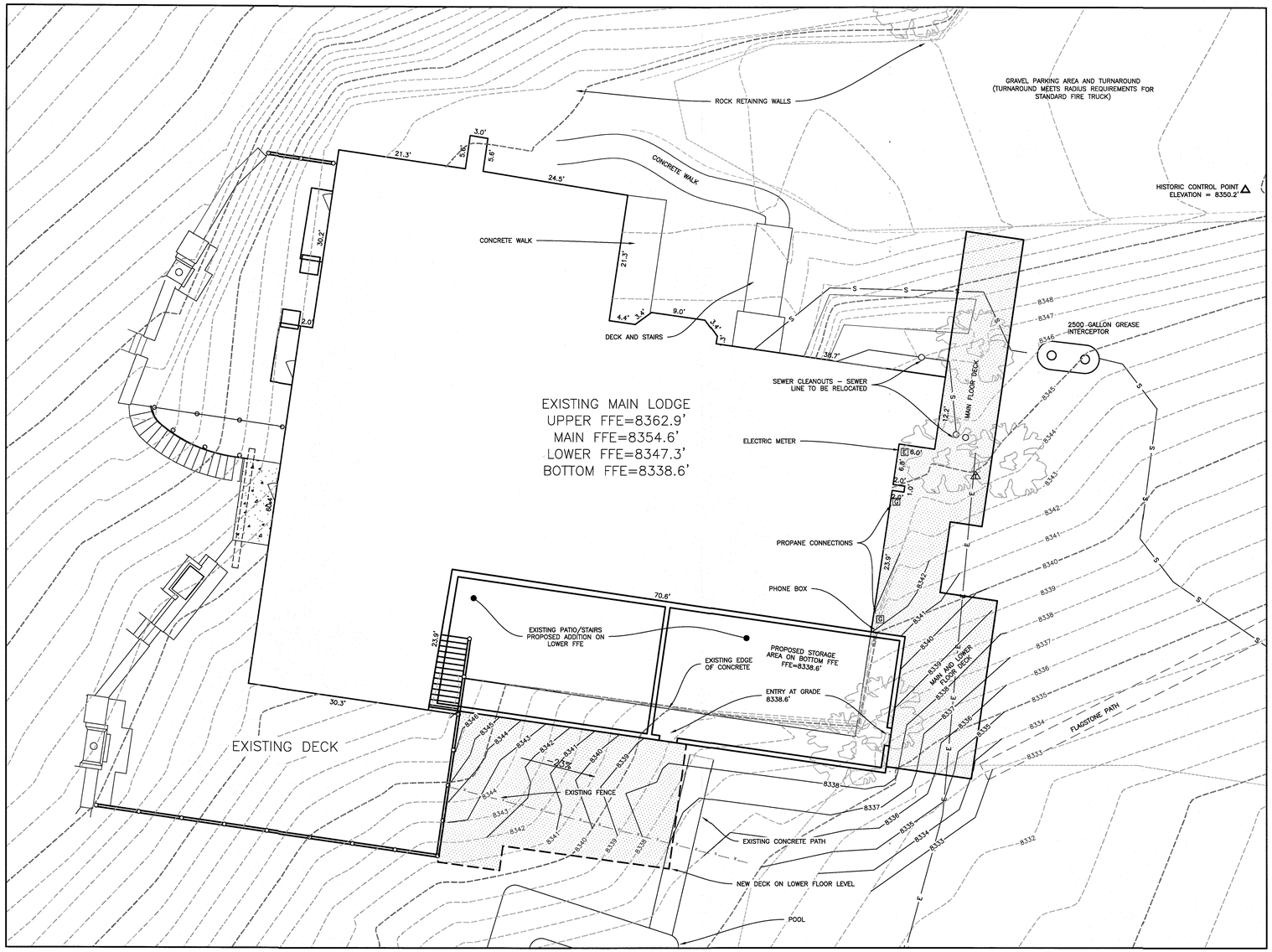
PROJECT: ROCKY MOUNTAIN PATHWAYS RANCH
15747 HIGHWAY 7, BOULDER COUNTY

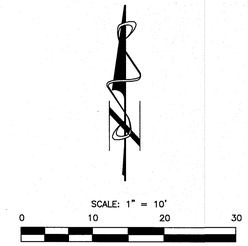
DRAWN BY:	BOR
CHECKED BY:	LAS
SCALE	1"=100'
DATE:	7/24/2018
SHEET	1
OF	5
PROJ. NO.	2010–09–09

GRADING PLAN FOR ROCKY MOUNTAIN PATHWAYS RANCH

15747 HIGHWAY 7, UNINCORPORATED BOULDER COUNTY, COLORADO

MAIN LODGE ADDITION GRADING PLAN – SCALE 1"=10'





LEGEND

(NOT ALL ITEMS ARE SHOWN ON ALL SHEETS)

OHU	OVERHEAD UTILITY LINE
E	BURIED ELECTRIC LINE
	EDGE OF PROPOSED ACCESS
	EDGE OF EXISTING ACCESS
	PROPERTY LINE
7500	EXISTING MAJOR CONTOUR
7500	EXISTING MINOR CONTOUR
7500	PROPOSED MAJOR CONTOUR
7500	PROPOSED MINOR CONTOUR
S	EXISTING SEWER LINE
00.00	CALCULATED OR MEASURED DIMENSIONS
(00.00)	DEEDED DIMENSIONS
	GUY WIRE
	CONTROL POINT
	ALIQUOT MONUMENTATION
	ELECTRIC TRANSFORMER
W	WELL
E	ELECTRIC METER/PEDESTAL
G	GAS METER/VALVE
	PROPOSED DECK

NOTE: THE PURPOSE OF THIS DESIGN, AT THIS STAGE IS TO SHOW GENERAL CUT/FILL VALUES FOR THE PROPOSED BUILDINGS AND ADDITION, AND ADDITIONAL INFORMATION WILL BE ADDED TO CONSTRUCTION DRAWINGS.

LONNIE A. SHELDON
CO. PE #26974

COLORADO LICENSED
LONNIE A. SHELDON
26974
7/24/18
P.E. AND P.L.S.

Cut/Fill Summary

Name	Cut Factor	Fill Factor	2d Area	Cut	Fill	Net
Main Lodge Volume	1.000	1.000	4012 Sq. Ft.	69 Cu. Yd.	88 Cu. Yd.	18 Cu. Yd.<Fill>

DATE	REVISION	BY

VAN HORN ENGINEERING AND SURVEYING
1043 FISH CREEK RD. • ESTES PARK, COLORADO 80517
PHONE: (970) 586-9398 • email: vhes@frpts.com

SHEET

GRADING PLAN

PROJECT

ROCKY MOUNTAIN PATHWAYS RANCH
15747 HIGHWAY 7, BOULDER COUNTY

DRAWN BY:	BOR
CHECKED BY:	LAS
SCALE	1"=10'
DATE:	7/24/2018
SHEET	2
OF	5
PROJ. NO.	2010-09-09

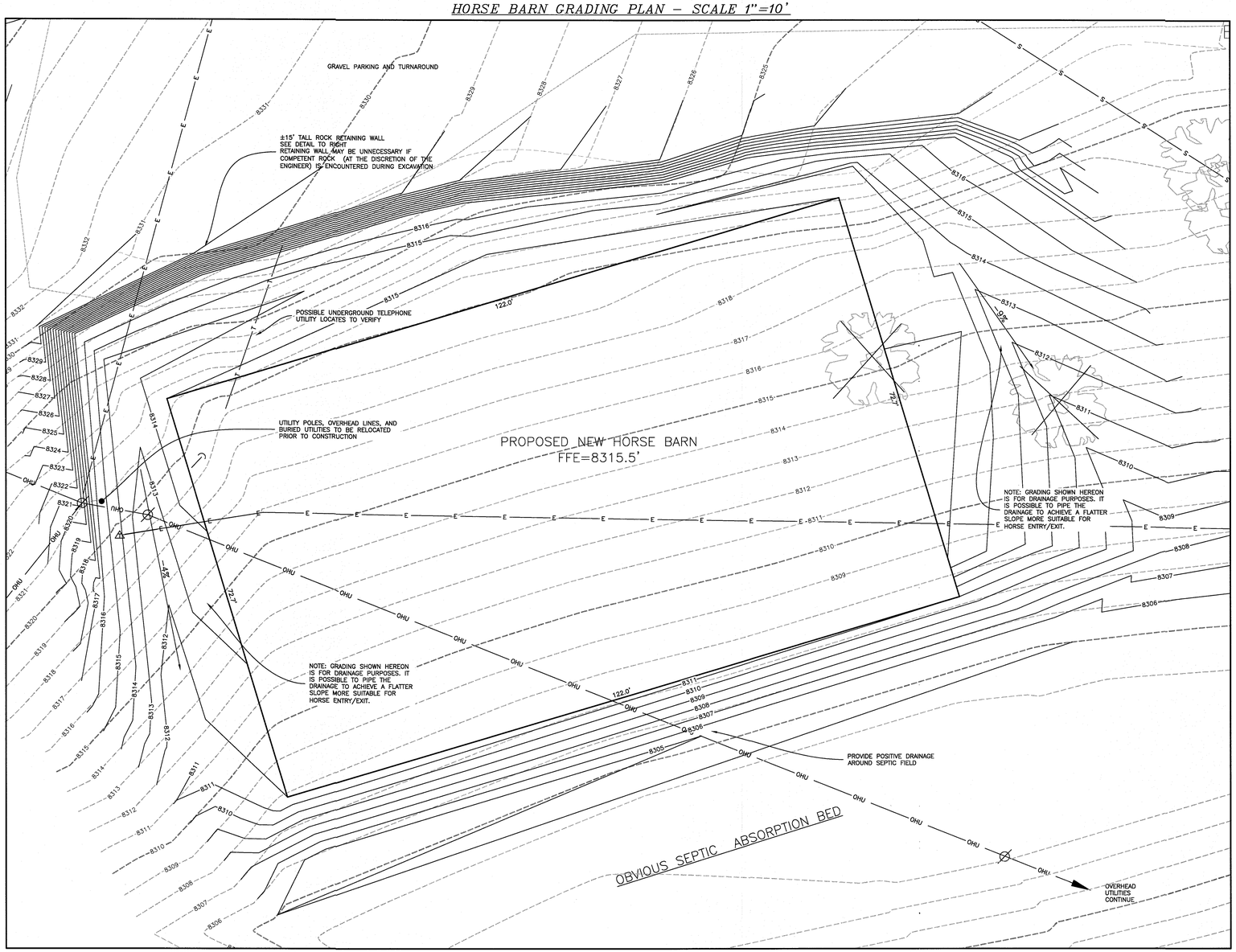
GRADING PLAN FOR ROCKY MOUNTAIN PATHWAYS RANCH

15747 HIGHWAY 7, UNINCORPORATED BOULDER COUNTY, COLORADO

Cut/Fill Summary

Name	Cut Factor	Fill Factor	2d Area	Cut	Fill	Net
Horse Barn Volume	**1.000**	**1.000**	21769 Sq. Ft.	1572 Cu. Yd.	729 Cu. Yd.	842 Cu. Yd.<Cut>

HORSE BARN GRADING PLAN – SCALE 1"=10'



SCALE: 1" = 10'

0 10 20 30

LEGEND

(NOT ALL ITEMS ARE SHOWN ON ALL SHEETS)

- OVERHEAD UTILITY LINE
- BURIED ELECTRIC LINE
- EDGE OF PROPOSED ACCESS
- EDGE OF EXISTING ACCESS
- PROPERTY LINE
- 7500 EXISTING MAJOR CONTOUR
- 7500 EXISTING MINOR CONTOUR
- 7500 PROPOSED MAJOR CONTOUR
- 7500 PROPOSED MINOR CONTOUR
- EXISTING SEWER LINE
- 00.00 CALCULATED OR MEASURED DIMENSIONS
- (00.00) DEEDED DIMENSIONS
- GUY WIRE
- CONTROL POINT
- ALIQUOT MONUMENTATION
- ELECTRIC TRANSFORMER
- WELL
- E ELECTRIC METER/PEDESTAL
- G GAS METER/VALVE
- PROPOSED DECK

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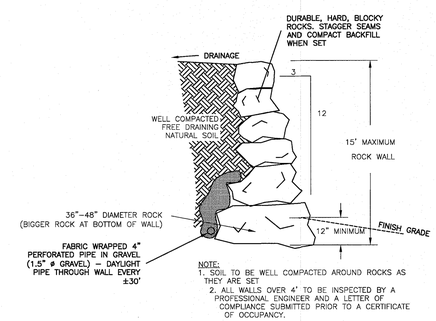
LONNIE A. SHELDON
CO. PE #26974

COLORADO LICENSED
LONNIE A. SHELDON
26974
7/24/18
PE AND PLS

ROCK RETAINING WALL DESIGN
NO SCALE



NOTE:
1. SOIL TO BE WELL COMPACTED AROUND ROCKS AS THEY ARE SET
2. ALL WALLS OVER 4' TO BE INSPECTED BY A PROFESSIONAL ENGINEER AND A LETTER OF COMPLIANCE SUBMITTED PRIOR TO A CERTIFICATE OF OCCUPANCY.

DATE	REVISION	BY

VAN HORN ENGINEERING AND SURVEYING
1043 FISH CREEK RD. ESTES PARK, COLORADO 80517
PHONE: (970) 586-9388 • eMail: vhe@qirbits.com

SHEET

GRADING PLAN

PROJECT

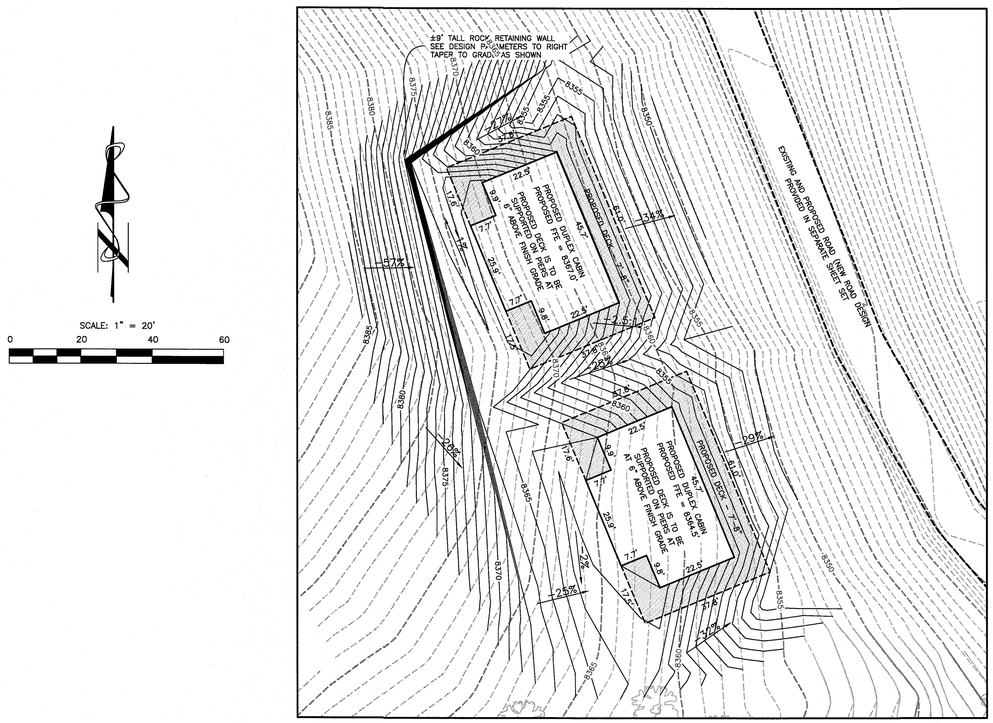
ROCKY MOUNTAIN PATHWAYS RANCH
15747 HIGHWAY 7, BOULDER COUNTY

DRAWN BY:	BOR
CHECKED BY:	LAS
SCALE	1"=10'
DATE:	7/24/2018
SHEET	3
OF	5
PROJ. NO.	2010-09-09

GRADING PLAN FOR ROCKY MOUNTAIN PATHWAYS RANCH

15747 HIGHWAY 7, UNINCORPORATED BOULDER COUNTY, COLORADO

CABINS 1 AND 2 GRADING PLAN – SCALE 1"=20'



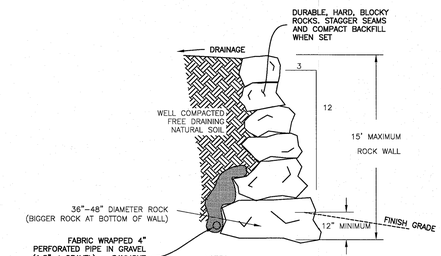
LEGEND

(NOT ALL ITEMS ARE SHOWN ON ALL SHEETS)

- OHU — OVERHEAD UTILITY LINE
- E — BURIED ELECTRIC LINE
- EDGE OF PROPOSED ACCESS
- EDGE OF EXISTING ACCESS
- PROPERTY LINE
- 7500 — EXISTING MAJOR CONTOUR
- 7500 — EXISTING MINOR CONTOUR
- 7500 — PROPOSED MAJOR CONTOUR
- 7500 — PROPOSED MINOR CONTOUR
- S — EXISTING SEWER LINE
- 00.00 — CALCULATED OR MEASURED DIMENSIONS
- (00.00) — DEEDED DIMENSIONS
- GUY WIRE
- CONTROL POINT
- ALIQUOT MONUMENTATION
- ELECTRIC TRANSFORMER
- W — WELL
- E — ELECTRIC METER/PEDESTAL
- G — GAS METER/VALVE
- PROPOSED DECK

ROCK RETAINING WALL DESIGN

NO SCALE



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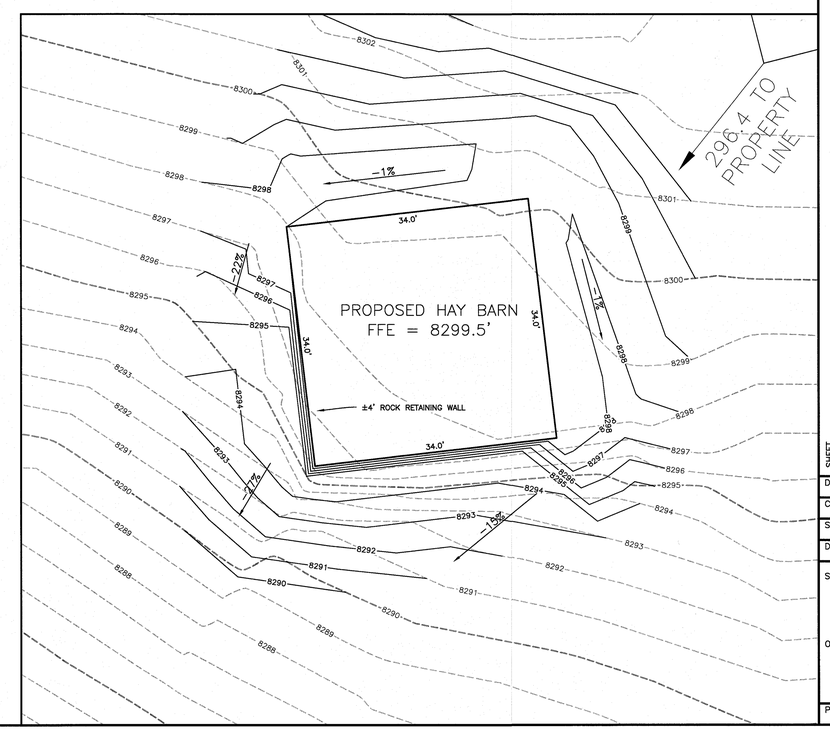
LONNIE A. SHELDON
CO. PE #26974

COLORADO LICENSED
LONNIE A. SHELDON
26974
7/24/18
PE AND PLS

SCALE: 1" = 10'
0 10 20 30

HAY BARN GRADING PLAN – SCALE 1"=10'



Cut/Fill Summary

Name	Cut Factor	Fill Factor	2d Area	Cut	Fill	Net
Cabin 1 and 2 Volume	**1.000**	**1.000**	14621 Sq. Ft.	1761 Cu. Yd.	17 Cu. Yd.	1743 Cu. Yd.<Cut>

Cut/Fill Summary

Name	Cut Factor	Fill Factor	2d Area	Cut	Fill	Net
Hay Barn Volume	**1.000**	**1.000**	4956 Sq. Ft.	111 Cu. Yd.	39 Cu. Yd.	72 Cu. Yd.<Cut>

DATE	REVISION	BY

VAN HORN ENGINEERING AND SURVEYING
104 PINE STREET, ESTES PARK, COLORADO 80517
PHONE: (970) 586-9388 • eMail: vhe@qirbits.com

SHEET
GRADING PLAN

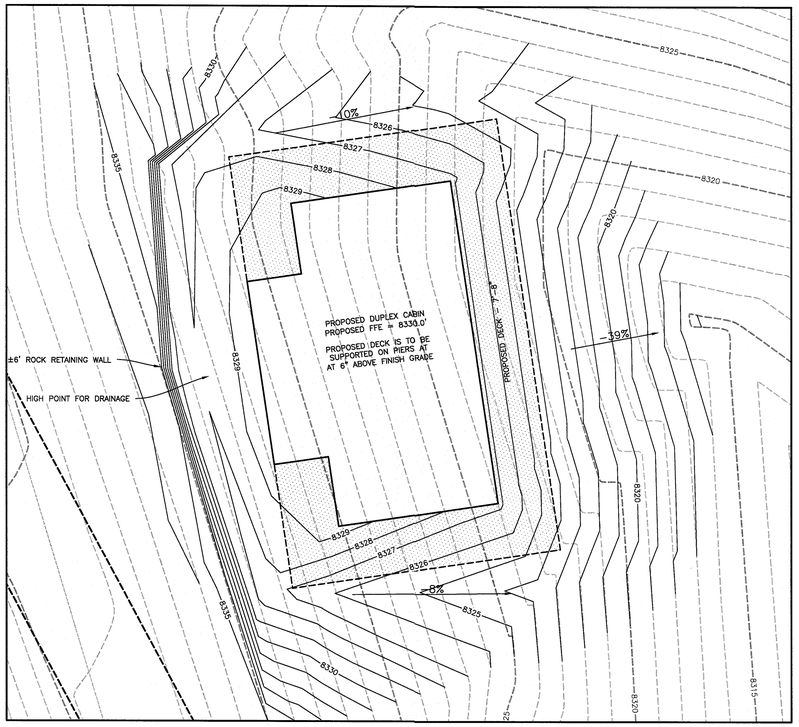
PROJECT
ROCKY MOUNTAIN PATHWAYS RANCH
15747 HIGHWAY 7, BOULDER COUNTY

DRAWN BY:	BOR
CHECKED BY:	LAS
SCALE	AS SHOWN
DATE:	7/24/2018
SHEET	4
OF	5
PROJ. NO.	2010-09-09

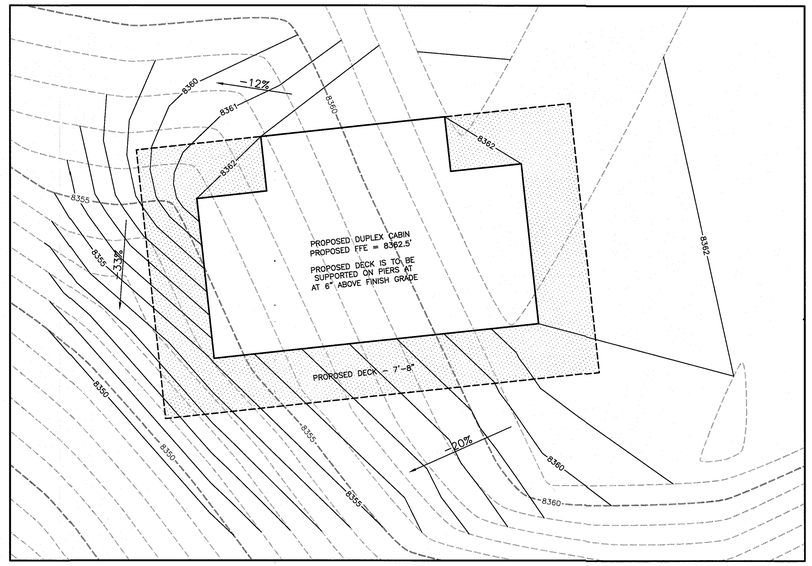
GRADING PLAN FOR ROCKY MOUNTAIN PATHWAYS RANCH

15747 HIGHWAY 7, UNINCORPORATED BOULDER COUNTY, COLORADO

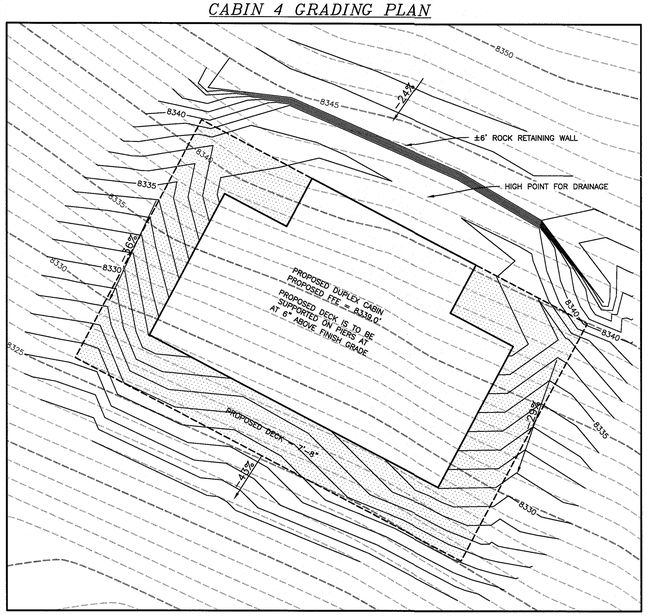
CABIN 3 GRADING PLAN



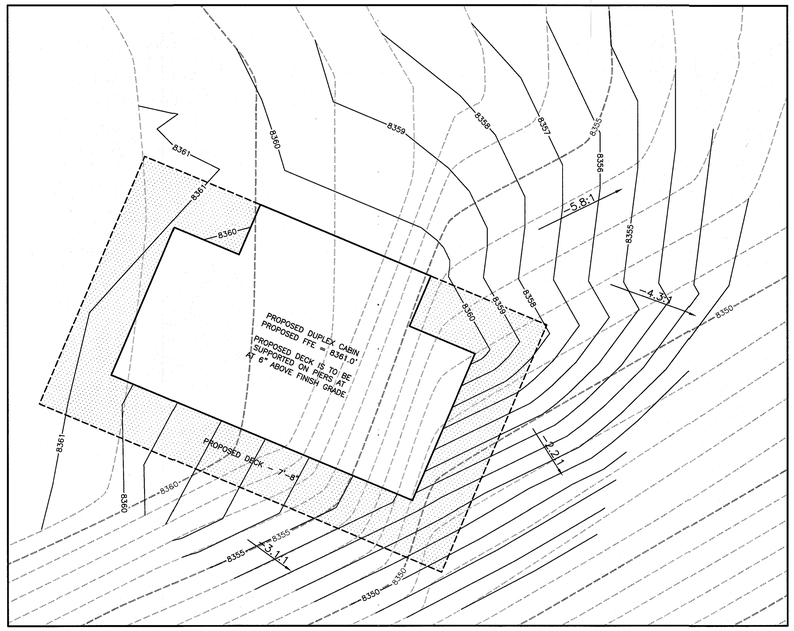
CABIN 5 GRADING PLAN



CABIN 4 GRADING PLAN



CABIN 6 GRADING PLAN



SCALE: 1" = 10'

0 10 20 30

LEGEND

(NOT ALL ITEMS ARE SHOWN ON ALL SHEETS)

- OHU — OVERHEAD UTILITY LINE
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- EDGE OF PROPOSED ACCESS
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NOTE: THE PURPOSE OF THIS DESIGN, AT THIS STAGE IS TO SHOW GENERAL CUT/FILL VALUES FOR THE PROPOSED BUILDINGS AND ADDITION, AND ADDITIONAL INFORMATION WILL BE ADDED TO CONSTRUCTION DRAWINGS.

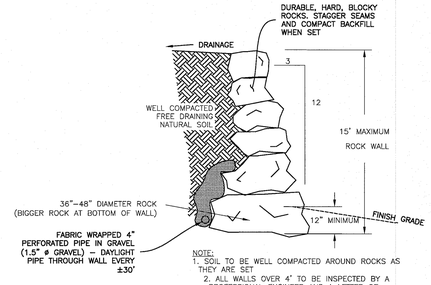
COLORADO LICENSED LONNIE A. SHELDON 26974 P.E. AND P.L.S.

7/24/18

LONNIE A. SHELDON
CO. PE #26974

ROCK RETAINING WALL DESIGN

NO SCALE



NOTE:
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Cut/Fill Summary

Name	Cut	Fill	Net
Cabin 3 Volume	196 Cu. Yd.	169 Cu. Yd.	27 Cu. Yd.<Cut>
Cabin 4 Volume	116 Cu. Yd.	83 Cu. Yd.	33 Cu. Yd.<Cut>
Cabin 5 Volume	27 Cu. Yd.	118 Cu. Yd.	91 Cu. Yd.<Fill>
Cabin 6 Volume	26 Cu. Yd.	316 Cu. Yd.	289 Cu. Yd.<Fill>

Cut Factor	Fill Factor	2d Area
1.000	1.000	5272 Sq. Ft.
1.000	1.000	4816 Sq. Ft.
1.000	1.000	4367 Sq. Ft.
1.000	1.000	5480 Sq. Ft.

DATE	REVISION	BY

VAN HORN ENGINEERING AND SURVEYING
1043 FISH CREEK RD. • ESTES PARK, COLORADO 80517
PHONE: (970) 586-9388 • eMail: vhe@qirbits.com

SHEET GRADING PLAN

PROJECT ROCKY MOUNTAIN PATHWAYS RANCH
15747 HIGHWAY 7, BOULDER COUNTY

DRAWN BY:	BOR
CHECKED BY:	LAS
SCALE	1"=10'
DATE:	7/24/2018
SHEET	5 OF 5
PROJ. NO.	2010-09-09

ATTACHMENT A

Parcel Report

Land Use Department
Courthouse Annex
2045 13th St. - 13th & Spruce Streets
P.O. Box 471 Boulder Colorado 80306-0471
www.bouldercounty.org
Planning 303-441-3930 Building 303-441-3925

Parcel Number	Section	Township	Range
119725000001	25	3N	73

Subdivision
TR, NBR 960 ALLENSPARK AREA

SITE ADDRESS (1)

R0057403 15747 HWY 7 UNINCORPORATED, 80510

OWNER INFORMATION (1)

Account	Name	Mailing Address
R0057403	ROCKY MOUNTAIN PATHWAYS INC	, 320 N HALSTEAD ST STE 210, , PASADENA, CA 91107

LOCATION INFORMATION

Note: The estimate acres will likely not match the recorded acreage of the property, please see the legal description, plat, or deed for the actual acreage.
Because of small inconsistencies in the locations of lines in the map layers, this location information searches may show information from adjacent parcels even though no overlap is visible on the screen.
View the map at an approprate scale to resolve any uncertainty.

	On or Adjacent to Parcel
Estimated Area	2,721,809 (62.48a.)
Zoning	F (62.48 Acres)
Floodplain	Boulder County: NOT PRESENT FEMA: X (62.48 Acres)
Open Space Ownership	NOT PRESENT
County Plats	NOT PRESENT
Wind and Snow Load	175 mph. 55 lbs/sqft.
Fire Protection	ALLENSPARK FIRE

LEGAL DESCRIPTION (1)

R0057403 TR 1472 8.90 ACS M/L & 48 ACS M/L IN SE 1/4 25-3N-73 TOTAL 62.6 ACS M/L PER LS-10-0220 & LESS 0.021 ACS ROW PER REC # 3703248 3/20/2019

ACRES

R0057403 62.60

PERMIT AND DOCKET HISTORY (53)

Note: Parcel numbers and addresses may change over time. Only permits/dockets with the exact same parcel number or address at the time of application are shown.

On Parcel Number: 119725000001

Permit/Docket Parcel Numbers(s)	Type Permit/Docket Address(es)	Application Name Application Date	Application Status	Status Date Permit Value
SU-17-0006	Special Use Review	Rocky Mountain Pathways Ranch		
119725000001	15747 HWY 7	10/16/2017	In Process	5/27/2019
Special Review to expand the existing Resort Lodge/Guest Ranch to allow for the construction of an Indoor Horse Barn, a Hay Storage Barn, and six Duplex Cabins, the remodel and addition to the Main Lodge and Recreational Center, and an increase in occupancy to 80 students and 40 staff during the day and 80 students and 8 staff overnight, and the rental of cabins to the public during summer months.				
PAC-17-0156	PreApplication Conference	Porche		
119725000001	15747 HWY 7	4/4/2017	PAC Held	5/5/2017
SU - new riding arena & hay barn - SO/KB				
MD-17-0010	Modification Determination - SPR	Rocky Mountain Pathways, Inc Minor Modificaiton		
119725000001	15747 HWY 7	4/4/2017	Complete	4/28/2017
Approved: Request for a minor modification to SU-94-01 approval to allow for a solar array and 15,000 gallon cistern.				
PAC-17-0066	PreApplication Conference	Rodriguez		
119725000001	15747 HWY 7	2/8/2017	PAC Not Held	3/17/2017
SU- riding arena @ existing camp- Sinead- If - email sent and phone call and no response received				
BP-16-2513	Commercial Remodel	15747 State Hwy 7		
119725000001	15747 STATE HW 7	12/1/2016	Permit Issued	12/19/2016
Replace 3 windows in Existing Openings in the Dorm Room (Commercial)				$4288.00
BP-16-1846	Window and Door Replacement	15747 State Hwy 7		
119725000001	15747 STATE HW 7	9/13/2016	Application Withdrawn	9/13/2016
Replace 2 windows in Existing Openings				$3740.00

BP-15-2469	Commercial Deconstruction	15747 State Hw 7		
119725000001	15747 State Hw 7	11/18/2015	Permit Complete	5/5/2016
Deconstruct Cabin "Hogan" (RES-14-0102)				$10000.00
BP-15-2468	Commercial Deconstruction	15747 State Hw 7		
119725000001	15747 State Hw 7	11/18/2015	Permit Complete	5/5/2016
Deconstruct Cabin "Ute" (RES-14-0102)				$10000.00
BP-15-2467	Commercial Deconstruction	15747 State Hw 7		
119725000001	15747 State Hw 7	11/18/2015	Permit Complete	5/5/2016
Deconstruct Cabin "Cheyenne" (RES-14-0102)				$10000.00
BP-15-2466	Commercial Deconstruction	15747 State Hw 7		
119725000001	15747 State Hw 7	11/18/2015	Permit Complete	5/5/2016
Deconstruct Cabin "Sundance" (RES-14-0102)				$10000.00
BP-15-2108	Commercial Addition	15747 State Hw 7		
119725000001	15747 State Hw 7	10/8/2015	Permit Complete	5/17/2017
New Cabin Rocky Mountain Pathways (Hogan Cabin) (RES-14-0102 / SU-94-01)				$175000.00
BP-15-1891	New Commercial Building	15747 State Hwy 7		
119725000001	15747 State Hw 7	9/16/2015	Permit Complete	5/17/2017
New Cabin Rocky Mountain Pathways Ranch (Ute Cabin) (RES-14-0102/SU-94-01)				$150000.00
BP-15-1890	New Commercial Building	15747 State Hwy 7		
119725000001	15747 State Hw 7	9/16/2015	Permit Complete	5/17/2017
New Cabin at Rocky Mountain Pathways Ranch (Sundance Cabin) (RES-14-0102/SU-94-01)				$150000.00
BP-15-1631	New Commercial Building	15747 State Hwy 7		
119725000001	15747 State Hw 7	8/20/2015	Permit Complete	5/17/2017
New Cabin at Rocky Mountain Pathways Ranch (Cheyenne Cabin) / (RES-14-0102 / SU-94-01)/see comment				$150000.00
BP-14-1986	Commercial Accessory Building	15747 State Hwy 7		
119725000001	15747 STATE HW 7	10/27/2014	Final Review Hold	1/9/2015
Commercial Hay Barn (RES-14-0102)				$80000.00
BP-14-1740	New Commercial Building	15747 State Hw 7		
119725000001	15747 STATE HW 7	9/22/2014	Permit Complete	8/28/2015
Accessible Restroom (RES-14-0102)				$35000.00
RES-14-0102	Research	notes Rocky Mountain Pathways		
119725000001	15747 Hwy 7	7/31/2014	Closed	7/31/2014
Notes Rocky Mountain Pathways. See Comments. Seedocuments/ comments for 10% cabin expansion.				
NWE-14-0033	Noxious Weed Enforcement	Myrtle Spurge		
119725000001	15747 STATE HW 7	4/21/2014	Closed Abated	10/23/2014
Myrtle Spurge reported on property.				
NWE-13-0127	Noxious Weed Enforcement	Myrtle Spurge		
119725000001	15747 STATE HW 7	7/30/2013	Closed Abated	4/15/2019
Myrtle Spurge reported on property.				
NWE-12-0191	Noxious Weed Enforcement	Myrtle Spurge		
119725000001	15747 STATE HW 7	8/29/2012	Closed Abated	12/19/2012
Myrtle Spurge reported on property.				
BP-11-0401	Commercial Addition	15747 State Hwy 7		
119725000001	15747 STATE HW 7	3/29/2011	Permit Complete	3/22/2016
Two Deck Additions, Install Barbeques & Fireplaces				$48000.00
LS-10-0220	Land Survey Plat	Land Survey		
119725000001	15747 STATE HW 7	12/13/2010	Application Received	12/22/2010
BOUNDARY SURVEY, TR 1472 8.90 ACS M/L & 48 ACS M/L IN SE 1/4 25-3N-73 TOTAL 56.90 ACS M/L PER 1923734 4/2/99 BCR ID 57203 COMBINED HERE 1/93, 119725000001				
ZON-10-0042	General Zoning Enforcement	Group home		
119725000001	15747 STATE HW 7	10/20/2010	No Violation Found	1/5/2011
CLOSED, NO VIOLATION. Complainant states a group home/youth care facility is being operated on-site.				
BP-10-1637	Commercial Remodel	15747 Hwy 7		
119725000001	15747 STATE HW 7	9/21/2010	Plan Check Hold	7/31/2014
Provide 2 Accessible Toilet Rooms				$18000.00
BP-10-1544	Commercial Remodel	15747 State Hwy 7		
119725000001	15747 STATE HW 7	9/10/2010	Permit Closed	10/12/2010
Replace Existing Type I Hood & Fire Supression System/New Gas Piping.				$9000.00
PAC-09-015	PreApplication Conference	PETKAVICH		
119725000001	15747 State Hwy 7	2/9/2009		
See SU-94-01. Need SU amendment for proposal to change use from Resort Lodge to Group Care facility.				

LS-06-0002	Land Survey Plat			
119725000001		1/5/2006		
BOUNDARY SURVEY 2 PARCELS CONTAINING 8.875 AND 45.09 ACRES.				
LS-05-0120	Land Survey Plat			
119725000001		8/6/2005		
BOUNDARY SURVEY TR 1472 & 48 AC M/L. 15747 HWY 7.				
BP-00-1980	Electrical Service Change			
119725000001	15747 STATE HW 7	10/24/2000		
ARIAL TO UNDERGROUND ELECT SVC-EXPIRED PER GERRY 4/24/2003-DRS				$750.00
BP-00-0977	Electrical Service Change			
119725000001	15747 STATE HW 7	6/8/2000	Final Inspection Complete	7/20/2000
ELECTRICAL / COMMERCIAL				$3500.00
BP-00-0852	Residential Remodel			
119725000001	15747 STATE HW 7	5/22/2000	Final Inspection Complete	7/21/2000
REMODEL LODGE				$25000.00
BP-00-0851	Electrical Service Change			
119725000001	15747 STATE HW 7	5/22/2000	Final Inspection Complete	6/28/2000
ELEC UPGRADE TO MAIN LODGE				$7500.00
BP-00-0396	Commercial Remodel			
119725000001	15747 STATE HW 7	3/17/2000		
REMOD INTERIOR & ENCLOSE PORCH- WITHDRAWN BY OWNER 4/15/2003-DRS				$35000.00
BP-00-0342	Commercial Remodel			
119725000001	15747 STATE HW 7	3/10/2000	Final Inspection Complete	7/18/2000
REROOF/REMODEL MAIN LODGE INTERIOR				$50000.00
BP-99-1463	Electrical Service Change			
119725000001	15747 STATE HW 7	8/18/1999	Final Inspection Complete	8/27/1999
REPAIR ELECT. SERVICE/& HOT TUB				$2900.00
BP-99-0698	Accessory Agricultural Building			
119725000001	15747 STATE HW 7	5/5/1999	Final Inspection Complete	2/1/2000
HORSE BARN				$80000.00
BP-99-0697	New Commercial Building			
119725000001	15747 STATE HW 7	5/5/1999	Final Inspection Complete	8/31/2000
DEMO SHEDS				$300.00
SU-98-15	Special Use Review	TURNING POINT CENTER		
119725000001	15747 State Hwy 7	12/2/1998	Withdrawn	12/28/2009
Application Withdrawn To Amend Docket #SU-94-1 (Lazy H Guest Ranch) from a Resort Lodge/Guest Ranch to a Group Care/Foster Home.				
BP-94-1921	New Commercial Building			
119725000001	15747 STATE HW 7	9/27/1994	Withdrawn	8/2/1995
STAFF LIVING QUARTERS				$65000.00
BP-94-0743	Commercial Remodel			
119725000001	15747 STATE HW 7	5/19/1994	Final Inspection Complete	5/14/1997
RE-ROOF PICNIC PAVILION				$1900.00
SU-94-01	Special Use Review	LAZY H Guest Ranch Renovation		
119725000001	15747 State Hwy 7	1/5/1994	BOCC Approved	6/9/1994
Special Use / Site Specific Development Plan to recognize the existing Resort Lodge / Guest Ranch with additions & sewage treatment facility, on a 561 acre parcel.				
BP-78-22879	Commercial Remodel	15747 State Hw 7		
119725000001	15747 STATE HW 7	2/27/1978		
REMODEL LODGE to Comply with LIQUOR LICENSE				
BP-77-21755	Commercial Addition			
119725000001	15747 STATE HW 7	3/3/1977		
ADD TO LODGE DININGRM				
SU-76-11	Special Use Review	ALLENSPARK WATER & SANITATION DISTR		
119725000001		6/11/1976	BOCC Approved	5/7/2012
Approval of Water Treatment Facilities in a Forestry (F) Zoning District				
BP-76-20615	New Commercial Building			
119725000001	15747 STATE HW 7	4/30/1976		
EMPLOYEE EATING AREA				
BP-72-15355	New Commercial Building			
119725000001	15747 STATE HW 7	3/22/1972		
BUILD RECREATION HALL				

BP-70-12281	Electrical Service Change		
119725000001	15747 STATE HW 7	1/26/1970	
ELEC TO LODGE & WELL HOUSE			
BP-64-7614	New Commercial Building		
119725000001	15747 STATE HW 7	7/15/1964	
RESORT CABIN			
BP-64-7505	Commercial Remodel		
119725000001	15747 STATE HW 7	6/9/1964	
REMODEL LODGE			
BP-60-4718	New Commercial Building		
119725000001	15747 STATE HW 7	7/7/1960	
RESORT CABIN			
BP-60-4717	New Commercial Building		
119725000001	15747 STATE HW 7	7/7/1960	
RESORT CABIN			
BP-82-1177	Commercial Addition		
119725000001	15747 PEAK TO PEAK	3/3/1953	
DRESSING RMS FOR POOL			$10861.00
BP-81-0078	Residential Addition		
119725000001	15747 STATE HW 7	3/3/1953	
FIRE DAMAGE REPAIR			$74718.00

RECENT DEEDS (8)

Date	Type	Reception No	Amount	Grantor	Grantee
3/12/2019	WD	3703248	$500	ROCKY MOUNTAIN PATHWAYS INC	COLORADO DEPARTMENT OF TRANSPORTATION
9/3/2010	SW	3120822	$0	CAPFINANCIAL PROPERTIES CV2 LLC	ROCKY MOUNTAIN PATHWAYS INC
9/3/2010	SW	3097911	$780,000	CAPFINANCIAL PROPERTIES CV2 LLC	ROCKY MOUNTAIN PATHWAYS INC
4/10/2009	PD	2991555	$0	MOERSCH KEVIN P	CAPFINANCIAL PROPERTIES CV2 LLC
4/2/1999	WD	1923734	$1,315,000		
3/19/1992	WD	1169070	$695,000		
12/30/1982	QD	526220	$311,000		
9/6/1978	WD	297593	$0		

ASSESSOR'S STRUCTURE INFORMATION

Account	Class	Design	Year Built	Remodeled
R0057403	LODGING-IMPROVEMENTS	LODGING	1952	2016

Building	Floor Area Description	Size	Structure Information
1	LODGING	11130	CONST - Commercial: Wood
	UNFINISHED AREA	726	EXT_WALL_PRIMARY: Log
	DECK AREA	280	FOUNDATION: Piers
			ROOF_DSN: Gable
			LAND_PERCENT: 45% LAND RATIO

Account	Class	Design	Year Built	Remodeled
R0057403	LODGING-IMPROVEMENTS	LODGING	1974	0

Building	Floor Area Description	Size	Structure Information
2	LODGING	920	CONST - Commercial: Wood
	PORCH AREA	288	EXT_WALL_PRIMARY: Log
			FOUNDATION: Piers
			ROOF_DSN: Gable
			LAND_PERCENT: 45% LAND RATIO

ATTACHMENT A

Account	Class	Design	Year Built	Remodeled
R0057403	LODGING-IMPROVEMENTS	COMMERCIAL UTILITY BUILDING	1976	0

Building	Floor Area Description	Size	Structure Information
3	COMMERCIAL UTILITY BUILDING	551	CONST - Commercial: Wood EXT_WALL_PRIMARY: Log FOUNDATION: Piers ROOF_DSN: Gable LAND_PERCENT: 45% LAND RATIO

Account	Class	Design	Year Built	Remodeled
R0057403	LODGING-IMPROVEMENTS	FARM UTILITY BUILDING	1971	0

Building	Floor Area Description	Size	Structure Information
4	FARM UTILITY BUILDING	264	

Account	Class	Design	Year Built	Remodeled
R0057403	LODGING-IMPROVEMENTS	OPEN CATTLE SHED	1976	0

Building	Floor Area Description	Size	Structure Information
5	OPEN CATTLE SHED	504	

Account	Class	Design	Year Built	Remodeled
R0057403	LODGING-IMPROVEMENTS	FARM UTILITY BUILDING	1976	0

Building	Floor Area Description	Size	Structure Information
6	FARM UTILITY BUILDING	960	

Account	Class	Design	Year Built	Remodeled
R0057403	LODGING-IMPROVEMENTS	STABLE	2000	0

Building	Floor Area Description	Size	Structure Information
7	STABLE	5280	

Account	Class	Design	Year Built	Remodeled
R0057403	LODGING-IMPROVEMENTS	FRATERNAL LODGE	2016	0

Building	Floor Area Description	Size	Structure Information
8	FRATERNAL LODGE	854	CONST - Commercial: Wood

Account	Class	Design	Year Built	Remodeled
R0057403	LODGING-IMPROVEMENTS	FRATERNAL LODGE	2016	0

Building	Floor Area Description	Size	Structure Information
9	FRATERNAL LODGE	854	CONST - Commercial: Wood

Account	Class	Design	Year Built	Remodeled
R0057403	LODGING-IMPROVEMENTS	FRATERNAL LODGE	2016	0

Building	Floor Area Description	Size	Structure Information
10	FRATERNAL LODGE	709	CONST - Commercial: Wood

Account	Class	Design	Year Built	Remodeled
R0057403	LODGING-IMPROVEMENTS	FRATERNAL LODGE	2016	0

Building	Floor Area Description	Size	Structure Information
11	FRATERNAL LODGE	709	CONST - Commercial: Wood

ESTIMATED RESIDENTIAL FLOOR AREA

Floor Area Description	Size

ROOMS

Account	Bld	Rooms	Bed	Bath	Bath 3/4	Bath 1/2
R0057403	1	2	1			

ACCOUNT ASSESSED VALUE

Account	Land	Structures	Total
R0057403	$1,350,000	$500,000	$1,850,000

TAXING DISTRICT

COUNTY
BOULDER CO TEMP HS SAFETY NET FUND
BOULDER COUNTY CAPITAL EXPEND FUND
BOULDER COUNTY CONTINGENCY FUND
BOULDER COUNTY DEVEL DISABILITY FUND
BOULDER COUNTY GENERAL OPERATING
BOULDER COUNTY HEALTH & HUMAN SERVICES
BOULDER COUNTY JUDGMENT LEVY FUND
BOULDER COUNTY PUBLIC WELFARE FUND

BOULDER COUNTY PUBLIC WORKS
BOULDER COUNTY REFUND ABATEMENT
BOULDER COUNTY RETIREMENT FUND
BOULDER COUNTY ROAD & BRIDGE
BOULDER COUNTY SELF INSURANCE FUND
BOULDER COUNTY SOLID WASTE FUND

FIRE PROTECTION DISTRICT

ALLENS PARK FIRE DIST ABATEMENT REFUND
ALLENS PARK FIRE DIST GENERAL OPERATING
ALLENS PARK FIRE DIST PENSION
ALLENS PARK FIRE DIST TAX CRED

SCHOOL DISTRICT

PARK LR-P-3J RESERVE
PARK LRP-3-J ABATEMENT REFUND
PARK LRP-3-J ASBESTOS ADA
PARK LRP-3-J BOND REDEMPTION
PARK LRP-3-J GENERAL OPERATING
PARK LRP-3-J OVERRIDE

TRANSPORTATION DISTRICT

RTD GENERAL OPERATING

UNINCORP CTY PLACE HOLDER DISTRICT

UNINCORP CTY PLACE HOLDER DISTRICT

WATER DISTRICT

ST VRAIN LEFT HAND WATER ABATE REFUND
ST VRAIN LEFT HAND WATER GENERAL OPER

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EASEMENT AGREEMENT

THIS EASEMENT AGREEMENT (the "Easement Agreement") made as of this 20th Day of December 2001 is by and between Kevin P. Moersch ("Grantor") and Alice K. Platt ("Grantee"), hereinafter collectively the Parties or individually a Party.

RECITALS

WHEREAS, Grantor is the owner of a certain driveway/roadway located in Boulder County, Colorado, as more particularly described on Exhibit A attached hereto ("Grantor's Property"). Grantor's Property begins at the ingress/egress point from Colorado State Highway 7 and terminates at the ingress/egress point to the United States Department of Agriculture's Roosevelt National Forest. This point is located approximately at the call of NO1 18'39"W, 2.87' on the USDA's boundary line that is the East-West Centerline of Sec. 25, T3N, R73W, both as shown on Exhibit A; and

WHEREAS, Grantee is the owner of certain real property located in Boulder County, Colorado, as more particularly described on Exhibit B attached hereto (Grantee's Property"); and

WHEREAS, Grantee desires to obtain a non-commercial easement from Grantor for the purpose of ingress, egress and utilities access to and from Grantee's Property. Said easement is only for the driveway/roadway that lies on the Grantor's Property from Colorado State Highway 7 (a/k/a Peak to Peak Highway) up and to the point of exit onto the United States Department of Agriculture's Roosevelt National Forest; and

WHEREAS, Grantor has agreed to grant an easement to Grantee subject to the terms and conditions set forth herein.

NOW, THEREFORE, the Parties hereby declare that their respective properties described above shall be held, sold and conveyed subject to the following covenants and promises.

TERMS OF AGREEMENT

IN CONSIDERATION of the recitals and other good and valuable consideration the receipt and sufficiency of which are hereby acknowledged, the Parties hereby agree as follows:

1. Grantor hereby grants, bargains, sells and conveys to Grantee a perpetual non-exclusive easement over, upon and across Grantor's Property for non-commercial ingress, egress and buried utilities access to and from Grantee's Property.

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2. This easement is based on and limited to the use allowed for Grantee's Property under current Boulder County zoning. Consequently, this easement is for typical non-public access and utilities (as required for the management and maintenance of Grantee's Property) to and from Grantee's Property and Grantee shall have no right to increased usage of or over Grantor's Property without the prior written approval of Grantor, which approval may be granted or withheld in Grantor's sole and unreasonable discretion.

3. Grantee shall not permanently or excessively temporarily park vehicles within the easement. Grantor shall not excessively block the driveway/roadway, however, Grantor may park vehicles within the easement area.

4. (a) Grantor shall be responsible to maintain and upkeep the easement portion of the driveway/roadway across Grantor's Property, but only to the existing level of maintenance and repair. Grantee shall reimburse Grantor for maintenance costs in proportion to Grantee's use, as invoiced by Grantor and evidenced by bona fide receipts. Grantor shall have no responsibility for snow removal or other similar types of maintenance.

   (b) Grantee shall have the right, but not the obligation, to perform any additional levels of maintenance or improvement, provided such work is done at Grantee's sole risk, expense and within the physical easement provided herein. Prior to performing any such maintenance or improvement, Grantee must have Grantor's prior written approval, such approval not to be unreasonably withheld or delayed by Grantor. Grantee shall be solely responsible for and, to the full extent permitted by law, shall defend Grantor from and against any and all demands, claims, causes of action or judgments, and all expenses (including attorneys' fees and costs) incurred in connection with the cost of any activity undertaken pursuant to this subparagraph.

5. As consideration for Grantor granting the easement to Grantee, Grantee shall pay Grantor $100.00 upon the execution of this Easement Agreement.

6. Grantor reserves the right to use Grantor's Property for any use whatsoever, including but not limited to, ingress and egress, utilities, landscaping and fencing, provided such use is not materially inconsistent with the purpose of this easement. Grantor further reserves the right to relocate all or any portion of the existing driveway/roadway on Grantor's Property, provided such relocation is not materially inconsistent with the purpose of this easement. Further, Grantor agrees not to move the point of access/egress onto the United States Department of Agriculture's Roosevelt National Forest.

7. To the full extent permitted by law, Grantee shall indemnify, defend and hold Grantor harmless from and against any and all demands, claims, causes of

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action or judgments, and all expenses (including attorneys' fees and costs) incurred in connection with any injury to person or livestock, loss of life or damage to property arising out of or associated with Grantee's use of this easement, except as caused solely by Grantor's gross negligence. Grantee shall obtain and maintain liability insurance or self-insure to cover said liability.

8. This Easement Agreement is subject to existing easements, encumbrances and/or other matters of record affecting Grantor's Property.

9. This Easement Agreement represents the entire agreement between the Parties and no oral modification shall be recognized or considered valid. Any amendments or additions to this Easement Agreement shall only be valid and enforceable if and when made in writing and signed by both Parties.

10. This Easement Agreement shall be binding upon and shall inure to the benefit of the Parties' heirs, successors and assigns and shall run with both the Grantor's Property and Grantee's Property for the purpose of protecting their respective value and desirability. The easement and this Easement Agreement can only be transferred from the Grantee in conjunction with the sale or transfer of the Grantee's Property. It cannot be used for ingress, egress or utilities access to and from any other property without Grantor's prior written approval, which approval may be granted or withheld in Grantor's sole and unreasonable discretion.

11. Grantee or its heirs, successors and/or assigns may terminate this Easement Agreement at any time by written notice. All of Grantee's rights hereunder along with all of Grantee and Grantor's obligations hereunder will terminate coincident with said notice.

12. In any litigation brought to enforce this Easement Agreement, the prevailing Party shall be entitled to a judgment against the non-prevailing Party for all reasonable expenses of such litigation including, but not limited to, court costs, deposition and other discovery expenses, expert witness fees, reasonable attorneys' fees, filing fees and any other related expenses as the court may award.

IN WITNESS WHEREOF, the Parties have executed this Easement Agreement as of the date first written above.

GRANTOR:

Kevin P. Moersch

GRANTEE:

Alice K. Platt

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STATE OF COLORADO)
) ss.
COUNTY OF BOULDER)

The foregoing instrument was acknowledged before me this 20th day of December 2001 by Kevin P. Moersch.

Witness my hand and official seal.

My commission expires: 12-27-03

Sandra K. Cottrell
Notary Public

STATE OF COLORADO)
) ss.
COUNTY OF Delta)

The foregoing instrument was acknowledged before me this 24 day of December 2001 by Alice K. Platt.

Witness my hand and official seal.

My commission expires: June 19, 2001

Deborah K. Leger
Notary Public

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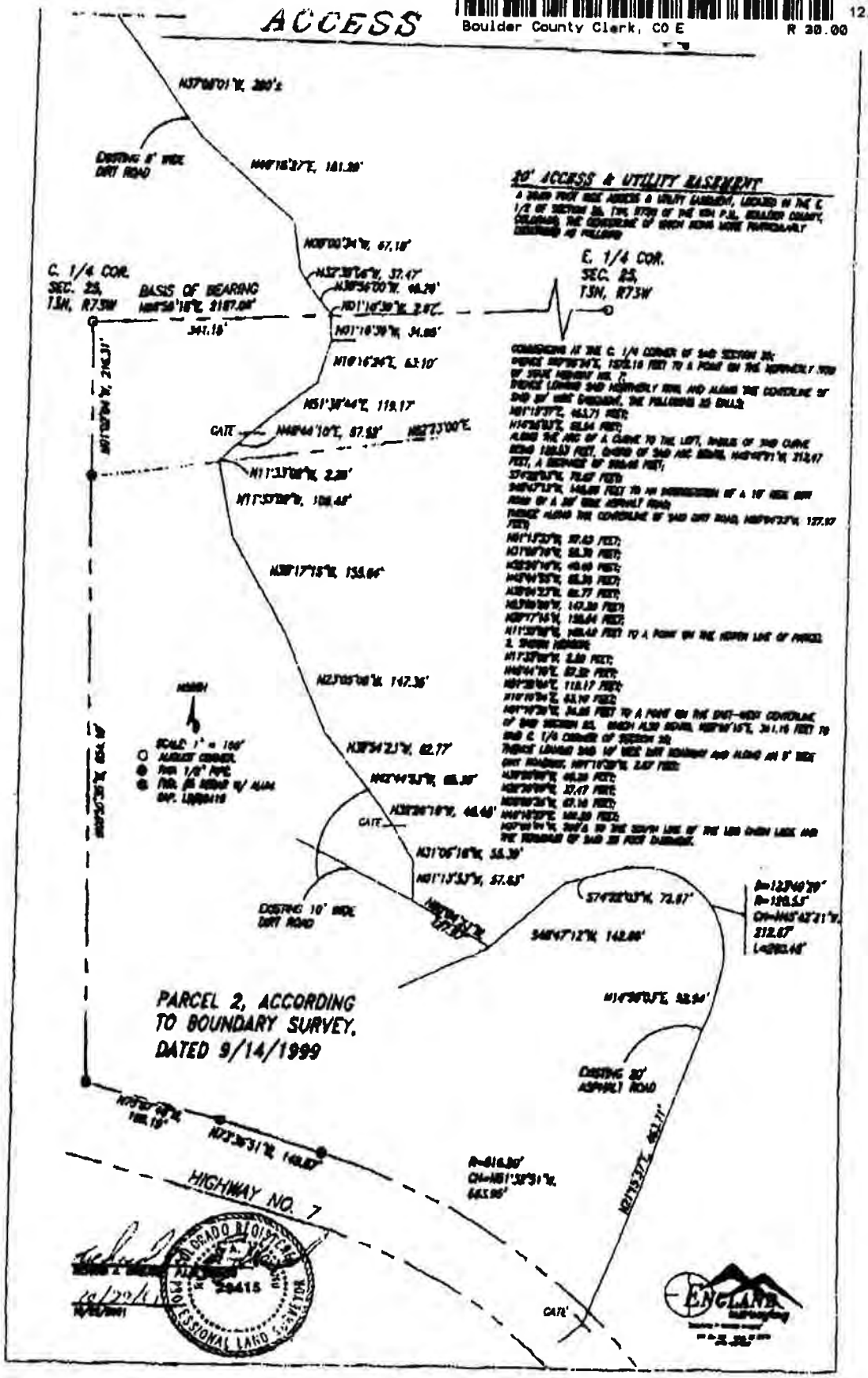

RECORDER'S NOTE:
PORTION OF DOCUMENT MAY
NOT REPRODUCE LEGIBLY

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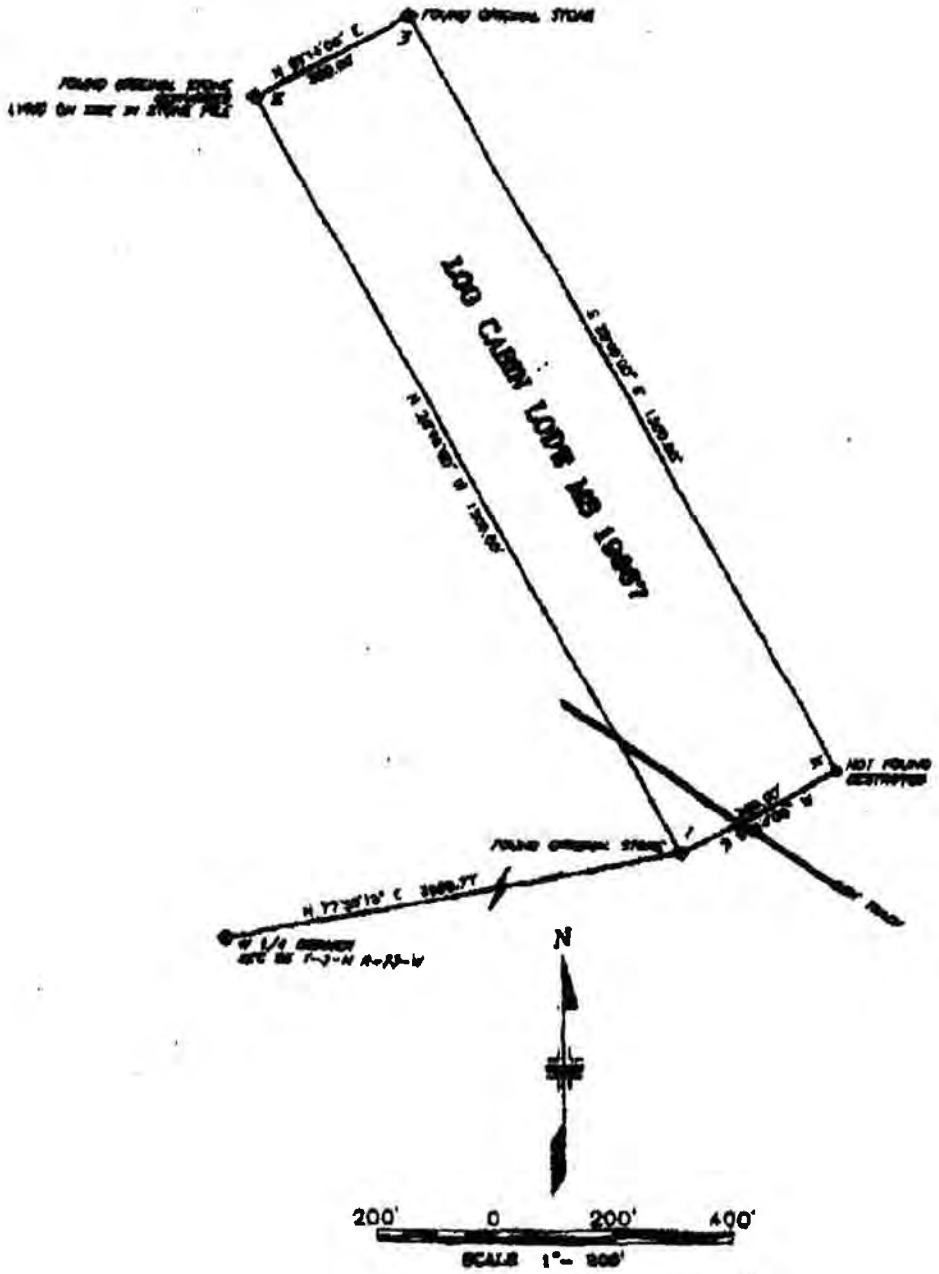
Boulder County Clerk, CO E R 30.00 D 0.00

ACCESS EXHIBIT "B"



ATTACHMENT A

well permit

Form No. GWS-25

OFFICE OF THE STATE ENGINEER
COLORADO DIVISION OF WATER RESOURCES

818 Centennial Bldg., 1313 Sherman St., Denver, Colorado 80203
(303) 866-3581

889

WELL PERMIT NUMBER 44188- .F -R
DIV. 1 WD 5 DES. BASIN MD

APPLICANT

LAZY H GUEST RANCH
BOX 248
ALLENSPARK, CO 80510-

(303) 747-2532

APPROVED WELL LOCATION
BOULDER COUNTY
NW 1/4 SE 1/4 Section 25
Township 3 N Range 73 W Sixth P.M.

DISTANCES FROM SECTION LINES
2200 Ft. from South Section Line
2350 Ft. from East Section Line

PERMIT TO CONSTRUCT A WELL

ISSUANCE OF THIS PERMIT DOES NOT CONFER A WATER RIGHT

CONDITIONS OF APPROVAL

1) This well shall be used in such a way as to cause no material injury to existing water rights. The issuance of this permit does not assure the applicant that no injury will occur to another vested water right or preclude another owner of a vested water right from seeking relief in a civil court action.
2) The construction of this well shall be in compliance with the Water Well Construction Rules 2 CCR 402-2, unless approval of a variance has been granted by the State Board of Examiners of Water Well Construction and Pump Installation Contractors in accordance with Rule 18.
3) Approved pursuant to CRS 37-90-137(2) for the replacement of an existing well, permit no. 44188-F (decreed by the Division 1 Water Court as Lazy H Guest Ranch Well, case no. W-8626). The old well must be plugged and abandoned in accordance with Rule 15 of the Water Well Construction Rules. A Well Abandonment Report form must be submitted within sixty (60) days after construction of the new well, affirming that the old well was plugged and abandoned.
4) Approval of this replacement permit shall not result in an expanded use of ground water. The use of ground water from this well limited to commercial uses for a dude ranch.
5) The maximum pumping rate of this well shall not exceed 15 GPM.
6) The average annual amount of ground water to be appropriated shall not exceed 5 acre-feet.
7) The owner shall mark the well in a conspicuous place with well permit number(s), name of the aquifer, and court case number(s) as appropriate. The owner shall take necessary means and precautions to preserve these markings.
8) This well shall not be pumped unless included in a court approved plan for augmentation or a substitute water supply plan approved by the State Engineer.
9) A totalizing flow meter must be installed on this well and maintained in good working order. Permanent records of all diversions must be maintained by the well owner (recorded at least annually) and submitted to the Division Engineer upon request.
10) This well shall be constructed at least 600 feet from any existing well completed in the same aquifer that is not owned by the applicant.
11) Replacement of this well to a location more than 200 feet from the original decreed location is a change in water right. The decree must also be changed to reflect use of the water for uses other than drinking and sanitary purposes (ie. animal watering, lawn and garden irrigation & the swimming pool). This well shall be junior to all vested water rights until such time as the changes have been approved by the Division 1 Water Court. The well then must be operated in accordance with the terms and conditions of that decree.
12) This well is subject to administration by the Division Engineer in accordance with applicable decrees, statutes, rules, and regulations.

RAN 12-1-99

OWNER'S COPY

APPROVED
RAN

Hal D. Simpson
State Engineer

DATE ISSUED DEC 07 1999

By DATE ISSUED DEC 07 2000

ATTACHMENT A

FORM NO. GWS-31 11/90

WELL CONSTRUCTION AND TEST REPORT
STATE OF COLORADO, OFFICE OF THE STATE ENGINEER

For Office Use only

1. WELL PERMIT NUMBER 44188 -F-R

2. OWNER NAME(S) PHIL OLBERT LAZY H GUEST RANCH
Mailing Address BOX 248
City, St. Zip ALLENSPARK, CO 80510
Phone (303) 7474-2532

3. WELL LOCATION AS DRILLED: NW 1/4 SE 1/4, Sec. 25 Twp. 3 N, Range 73W 6th
DISTANCES FROM SEC. LINES:
2300 ft. from SOUTH (north or south) Sec. line. and 2400 ft. from EAST (east or west) Sec. line. OR
SUBDIVISION: LOT BLOCK FILING(UNIT)
STREET ADDRESS AT WELL LOCATION:

4. GROUND SURFACE ELEVATION ft. DRILLING METHOD AIR PERCUSSION
DATE COMPLETED JAN. 6 2000 TOTAL DEPTH 500 ft. DEPTH COMPLETED 500 ft.

5. GEOLOGIC LOG:

Depth	Description of Material (Type, Size, Color, Water Location)	
0-3	TOP SOIL	
3-45	BROWN GRANITE	
45-110	GRAY GRANITE	
110-160	RED GRANITE	120
160-300	GRAY GRANITE	
300-315	White Quartz	
315-400	GRAY GRANITE	
400-420	WHITE QUARTZ	
420-500	GRAY GRANITE	425

6. HOLE DIAM. (in.)

	From (ft)	To (ft)
10"	0	20
6 1/2	20	500

7. PLAIN CASING

OD (in)	Kind	Wall Size	From(ft)	To(ft)
7 5/8	STEEL	.188	+1	20
4"	PVC	.237	10	380

PERF. CASING: Screen Slot Size: .028

4"	PVC	.237	380	500

8. FILTER PACK:
Material
Size
Interval

9. PACKER PLACEMENT:
Type
Depth

10. GROUTING RECORD:

Material	Amount	Density	Interval	Placement
CEMENT	30 GAL	15 LBS	3-20	POURED

REMARKS:

11. DISINFECTION: Type HTH Amt. Used 10 GAL.

12. WELL TEST DATA: ☐ Check box if Test Data is submitted on Supplemental Form.
TESTING METHOD BLOW TEST
Static Level 15 ft. Date/Time measured 1-5-00 10:00AM Production Rate 15 gpm
Pumping level 500 ft. Date/Time measured 1-5-00 5:00 PM Test length (hrs.) ONE
Remarks

13. I have read the statements made herein and know the contents thereof, and that they are true to my knowledge. (Pursuant to Section 24-4-104 (13)(a) C.R.S., the making of false statements herein constitutes perjury in the second degree and is punishable as a class 1 misdemeanor.)

CONTRACTOR HERSH & SON WELL DRILLING, INC. Phone (970) 667-4096 Lic. No. 889
Mailing Address 9205 W. CTY. RD. 38 E LOVELAND, CO 80538

Name/Title (Please type or print)	Signature	Date
LARRY HERSH (PRESIDENT)	Larry Hersh	1-21-2000

Boulder County

Community Planning & Permitting

Courthouse Annex • 2045 13th Street • Boulder, Colorado 80302 • Tel: 303.441.3930
Mailing Address: P.O. Box 471 • Boulder, Colorado 80306 • **www.bouldercounty.org**

MEMO TO:	Referral Agencies
FROM:	Summer Frederick, AICP, Principal Planner
DATE:	December 21, 2021
RE:	Re-Referral for Docket SU-17-0006

THIS IS A RE-NOTICE FOR THE DOCKET LISTED BELOW

This application is being re-referred because the applicant provided revised materials.

Docket SU-17-0006: Rocky Mountain Pathways Ranch

Request:	**REVISED:** Special Review to expand the existing Resort Lodge/Guest Ranch use to allow for the construction of an Indoor Horse Barn, a Hay Storage Barn, and four Duplex Cabins, the remodel and addition to the Main Lodge and Recreational Center, and an increase in occupancy to 80 students and 40 staff during the day and 80 students and 8 staff overnight, and the rental of cabins to the public during summer months. **ORIGINAL:** Special Review to expand the existing Resort Lodge/Guest Ranch use to allow for the construction of an Indoor Horse Barn, a Hay Storage Barn, and six Duplex Cabins, the remodel and addition to the Main Lodge and Recreational Center, and an increase in occupancy to 80 students and 40 staff during the day and 80 students and 8 staff overnight, and the rental of cabins to the public during summer months.
Location:	15747 State Highway 7, on the north side of SH 7, directly across from its northern intersection with SH 7 Business Route in Allenspark, in Section 25, Township 3N, Range 73W.
Zoning:	Forestry (F) Zoning District
Applicant/Property Owner:	Rocky Mountain Pathways Inc.

Special Use Review / Site Specific Development Plan is required of uses which may have greater impacts on services, neighborhoods, or environment than those allowed with only Building Permit Review. This process will review compatibility, services, environmental impacts, and proposed site plan.

This process includes public hearings before the Boulder County Planning Commission and the Board of County Commissioners. Adjacent property owners and holders of liens, mortgages, easements or other rights in the subject property are notified of these hearings.

The Community Planning & Permitting staff, Planning Commission, and County Commissioners value comments from individuals and referral agencies. Please check the appropriate response below or send a letter to the Community Planning & Permitting Department at P.O. Box 471, Boulder, Colorado 80306 or via email to planner@bouldercounty.org. All comments will be made part of the public record and given to the applicant. Only a portion of the submitted documents may have been enclosed; you are welcome to call the Community Planning & Permitting Department at 303-441-3930 or email planner@bouldercounty.org to request more information. If you have any questions regarding this application, please contact me at 720-564-2603 or sfrederick@bouldercounty.org.

IF YOU HAVE REPLIED TO THE ORIGINAL REFERRAL LETTER AND HAVE NO FURTHER COMMENTS, NO ACTION IS REQUIRED.

Please return responses by **January 25, 2022.**
(Please note that due to circumstances surrounding COVID-19, application timelines and deadlines may need to be modified as explained in the CPP Notice of Emergency Actions issued March 23, 2020 (see https://boco.org/covid-19-cpp-notice-20200323).

_____ We have reviewed the proposal and have no conflicts.
_____ Letter is enclosed.
Signed _____ PRINTED
Name_____
Agency or Address _____

Please note that all Community Planning & Permitting Department property owner's mailing lists and parcel maps are generated from records maintained by the County Assessor and Treasurer Office. We are required to use this list to send notices to the "property owner" of land in Boulder County. If you feel you should not be considered a "property owner," or if the mailing address is incorrect, please contact the County Assessor's Office at (303) 441-3530.

ATTACHMENT B

ORIGINAL

$1475.00 - Ck# 23500 $25 was MC KMB

Boulder County Land Use Department
Courthouse Annex Building
2045 13th Street • PO Box 471 • Boulder, Colorado 80302
Phone: 303-441-3930 • Fax: 303-441-4856
Email: planner@bouldercounty.org
Web: www.bouldercounty.org/lu
Office Hours: Mon., Wed., Thurs., Fri. 8 a.m. to 4:30 p.m.
Tuesday 10 a.m. to 4:30 p.m.

Shaded Areas for Staff Only

Intake Stamp PAID

OCT 16 2017

BOULDER COUNTY LAND USE

Application Form

Project Number: SU-17-0006

Project Name:

- ☐ Limited Impact Special Use
- ☐ Limited Impact Special Use Waiver
- ☐ Modification of Special Use
- ☐ Site Plan Review
- ☐ Site Plan Review Waiver
- ☐ Subdivision Exemption
- ☐ Exemption Plat
- ☐ 1041 State Interest Review
- ☐ Other:

Application Deadline: First Wednesday of the Month

- ☐ Variance
- ☐ Appeal

Application Deadline: Second Wednesday of the Month

- ☐ Sketch Plan
- ☐ Preliminary Plan
- ☐ Final Plat
- ☐ Resubdivision (Replat)
- ☒ Special Use/SSDP
- ☐ Rezoning
- ☐ Road/Easement Vacation
- ☐ Location and Extent
- ☐ Road Name Change

Location(s)/Street Address(es): 15747 STATE HWY 7 LYONS, CO 80540

Subdivision Name: See ATTACHED

Lot(s)	Block(s)	Section(s)	Township(s)	Range(s)
		29	3	72

Area in Acres	Existing Zoning	Existing Use of Property	Number of Proposed Lots
62.5	F		N/A

Proposed Water Supply	Proposed Sewage Disposal Method
Existing Well	Existing Septic System

Applicants:

Applicant/Property Owner: Rocky Mountain Pathways Ranch

Email Address: ian.pouche@lupineproperties.com

Mailing Address: 15747 STATE Hwy 7

City	State	Zip Code	Phone	Fax
Lyons	Co	80540	303.747.9001	

Applicant/Property Owner/Agent/Consultant:

Email Address:

Mailing Address:

City	State	Zip Code	Phone	Fax

Agent/Consultant:

Email Address:

Mailing Address:

City	State	Zip Code	Phone	Fax

Certification (Please refer to the Regulations and Application Submittal Package for complete application requirements.)

I certify that I am signing this Application Form as an owner of record of the property included in the Application. I certify that the information and exhibits I have submitted are true and correct to the best of my knowledge. I understand that all materials required by Boulder County must be submitted prior to having this matter processed. I understand that public hearings or meetings may be required. I understand that I must sign an Agreement of Payment for Application processing fees, and that additional fees or materials may be required as a result of considerations which may arise in the processing of this docket. I understand that the road, school, and park dedications may be required as a condition of approval.

I understand that I am consenting to allow the County Staff involved in this application or their designees to enter onto and inspect the subject property at any reasonable time, without obtaining any prior consent.

All landowners are required to sign application. If additional space is needed, attach additional sheet signed and dated.

Signature of Property Owner	Printed Name	Date
John C. Hall	John C. Hall	10/05/2017
Signature of Property Owner	Printed Name	Date

The Land Use Director may waive the landowner signature requirement for good cause, under the applicable provisions of the Land Use Code.

Form: P/01 • Rev. 04.28.16 • g:/publications/planning/P01PlanningApplicationForm.pdf

ATTACHMENT B

ORIGINAL

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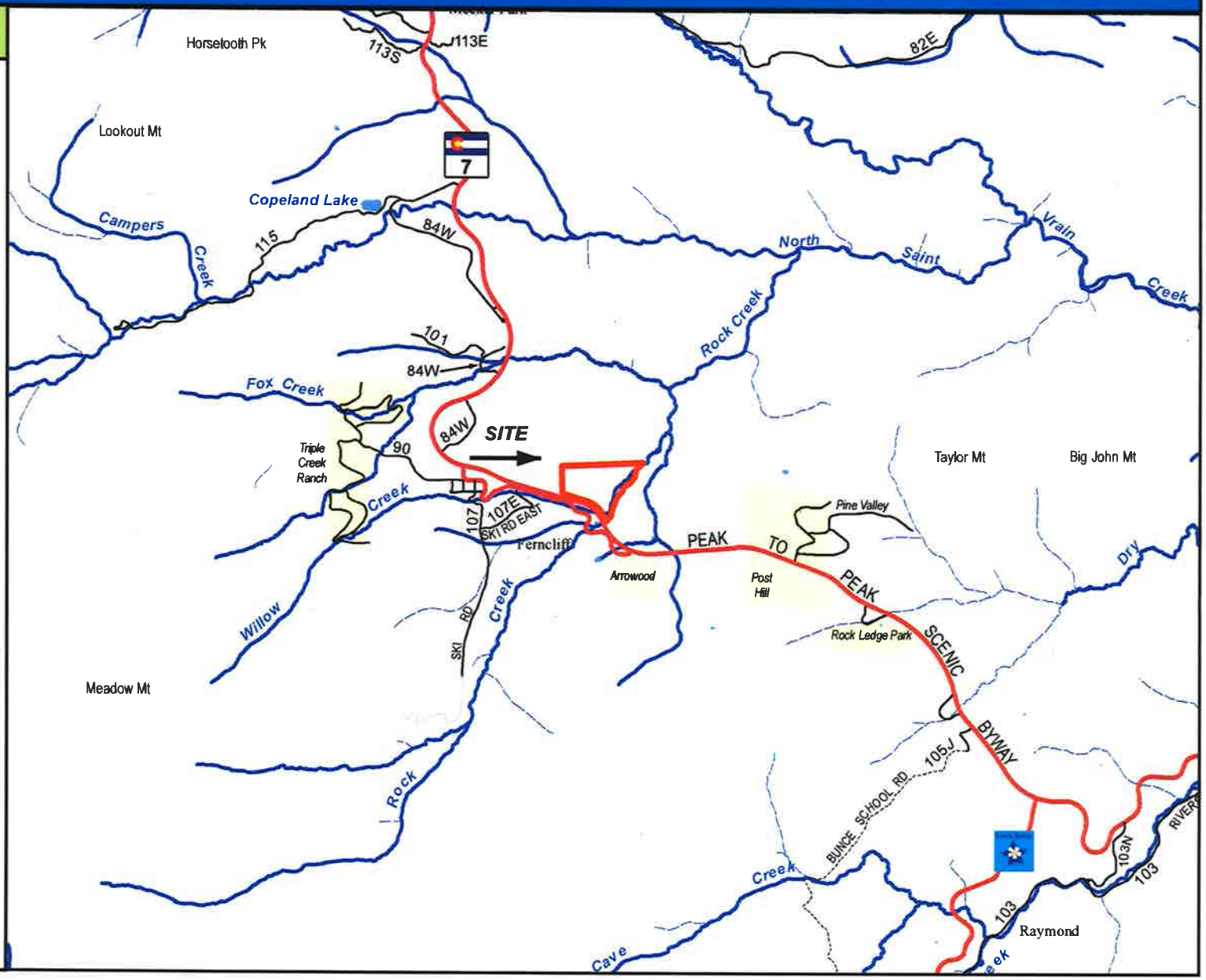
Vicinity

15747 HWY 7

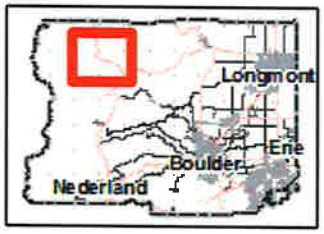
Legend

- Subject Parcel
- Intermittent Stream
- Perennial Stream
- Subdivisions



NORTH 0 1 Miles

Area of Detail Date: 5/28/2019



wtodacheene

ATTACHMENT B

ORIGINAL

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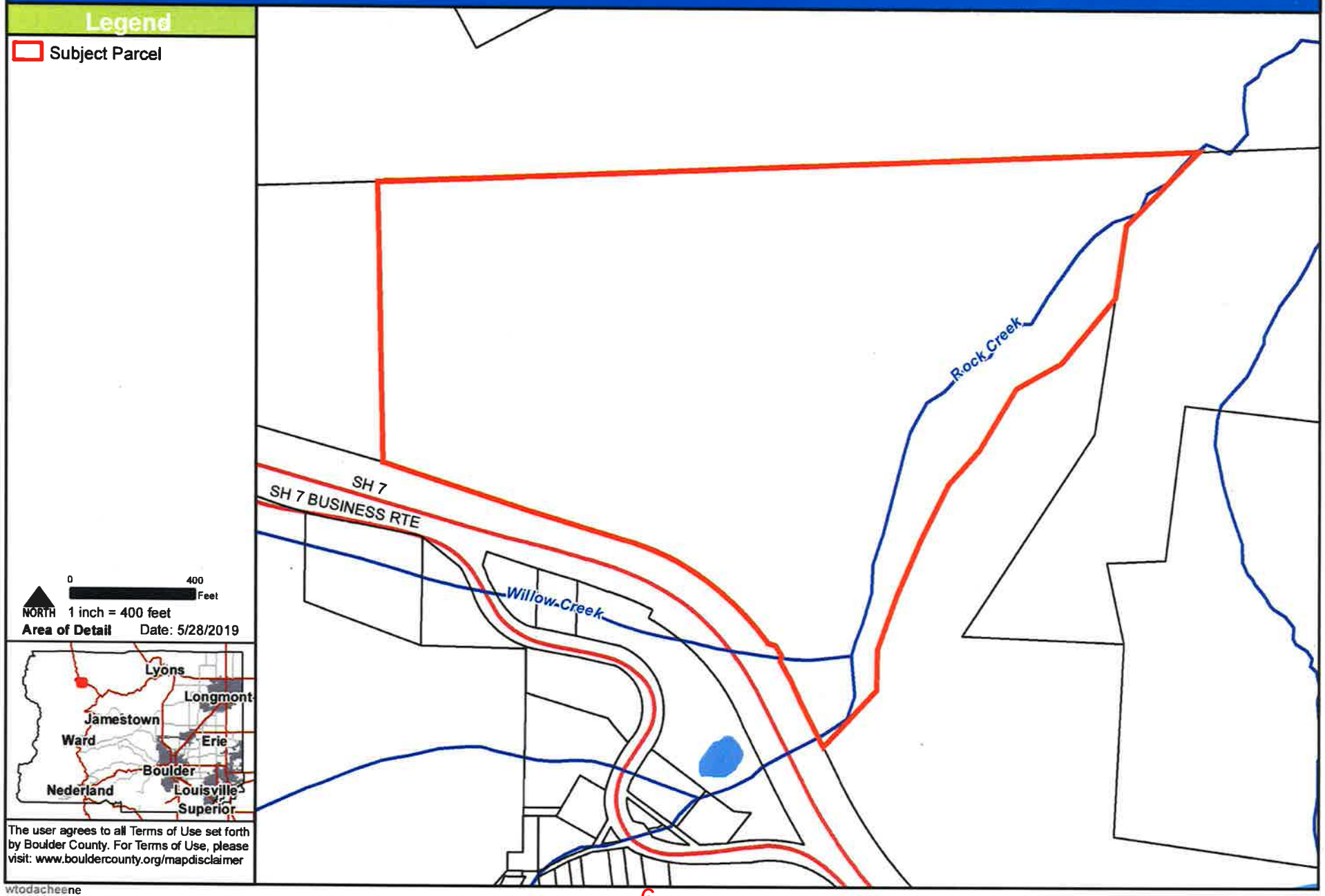
Location

15747 HWY 7



wtodacheene

ATTACHMENT B

ORIGINAL

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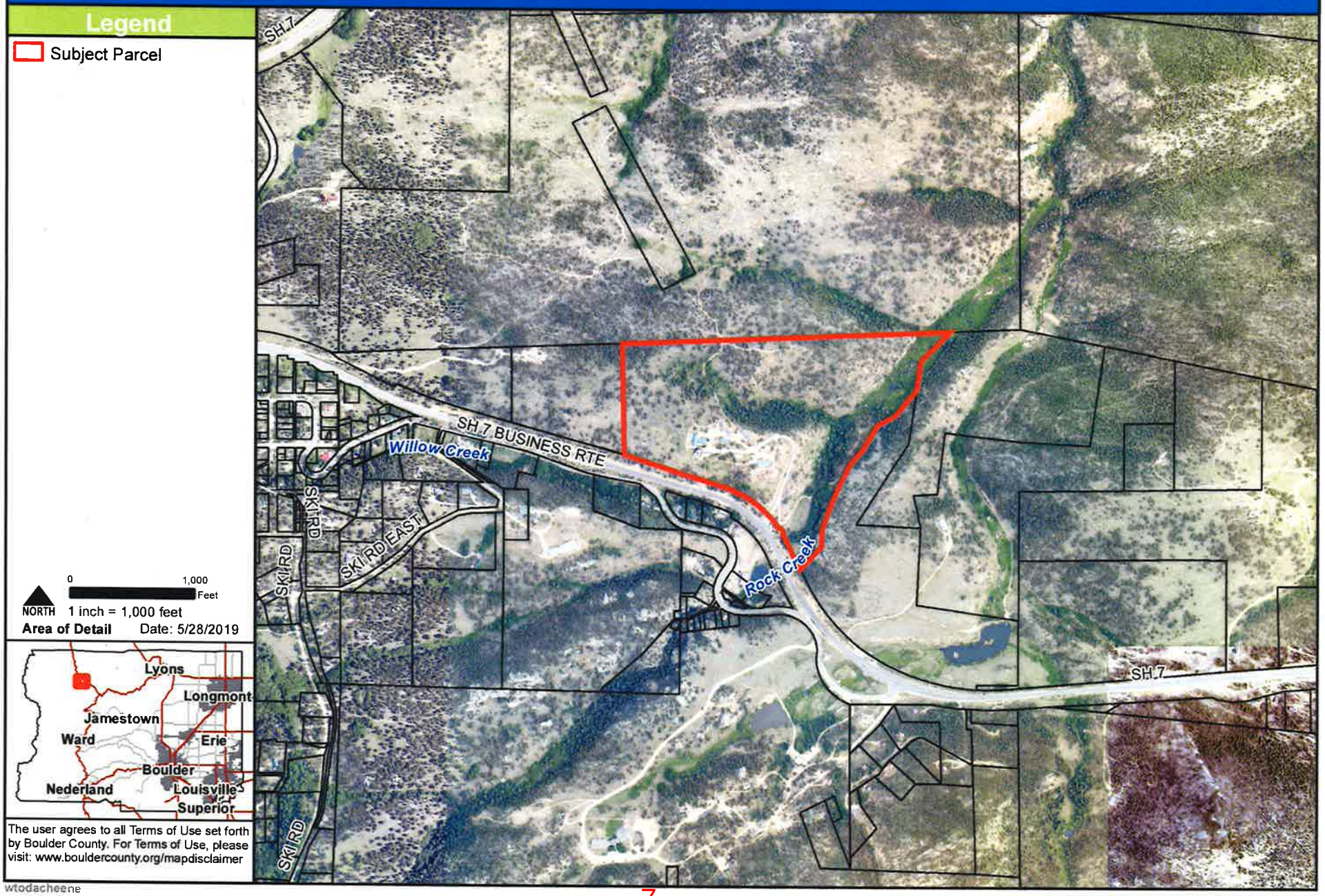
Aerial

15747 HWY 7



wtodacheene

ATTACHMENT B

ORIGINAL

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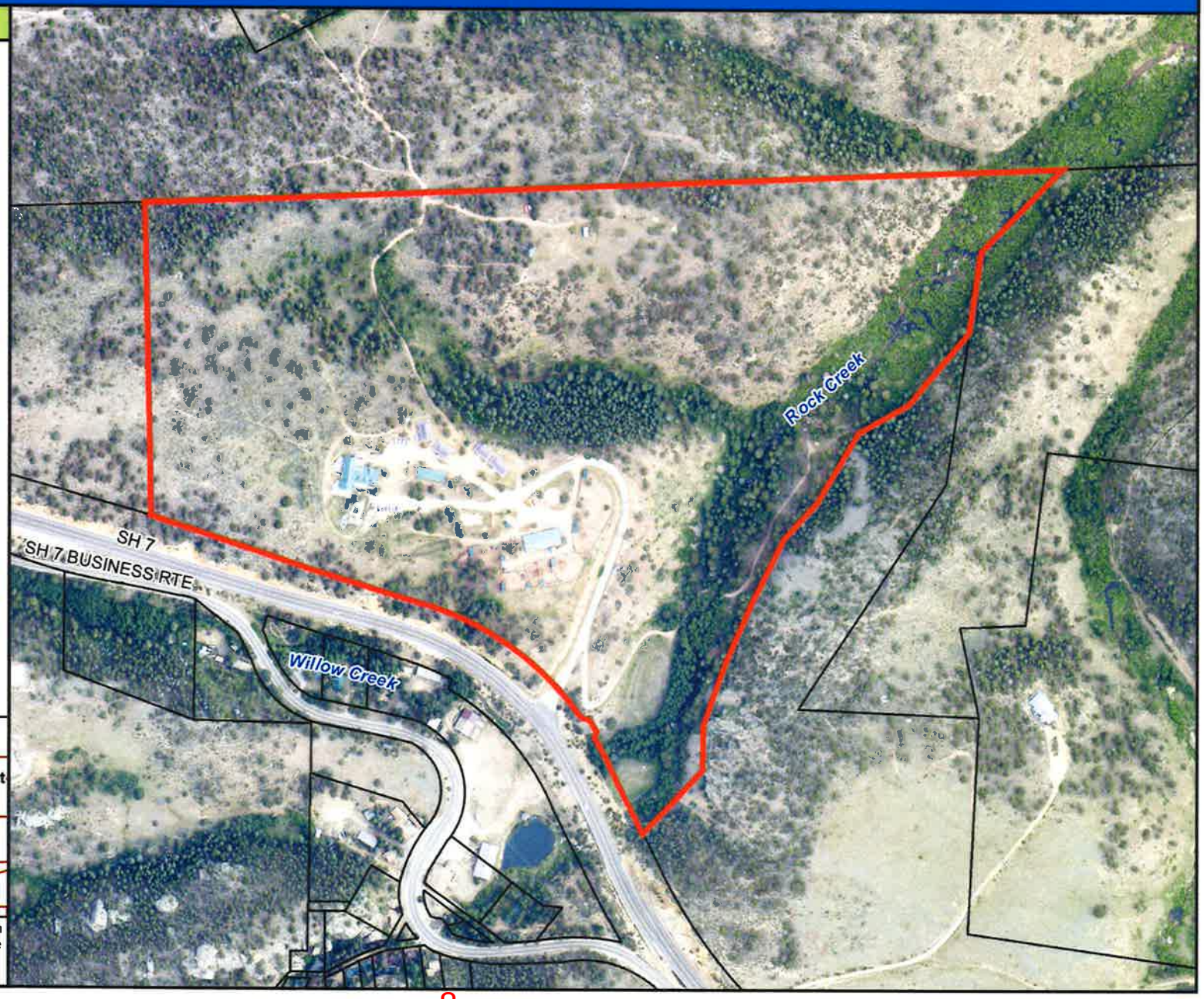
2045 13th Street, Boulder, CO 80302 303-441-3930 www.bouldercounty.org\lu

Aerial

15747 HWY 7



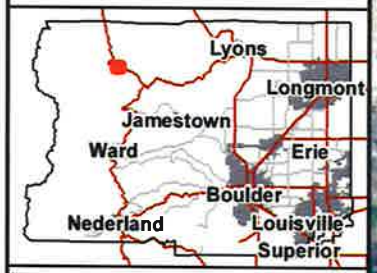
Legend

Subject Parcel

NORTH 0 400 Feet

1 inch = 400 feet

Area of Detail Date: 5/28/2019



wtodacheene

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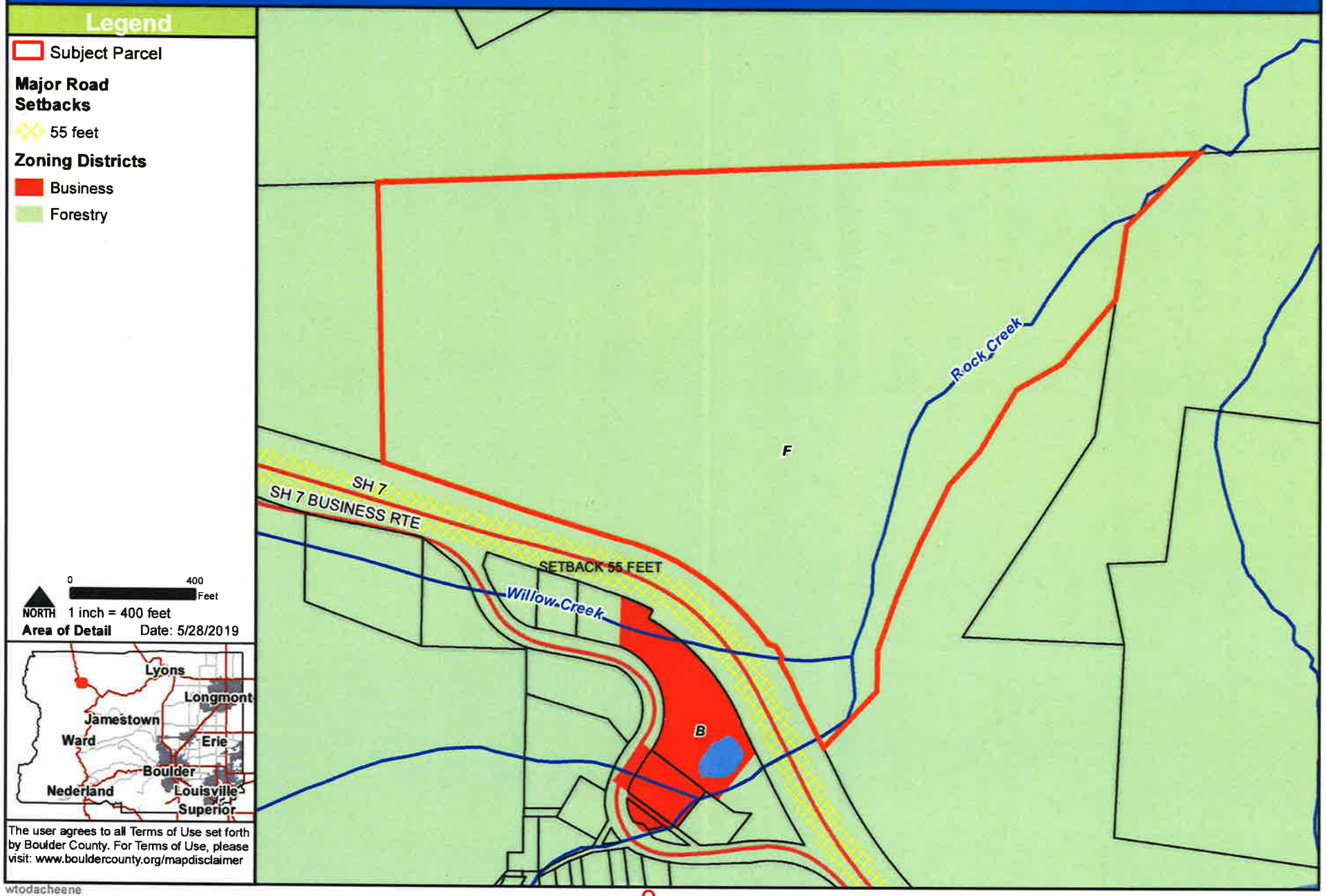
Zoning

15747 HWY 7



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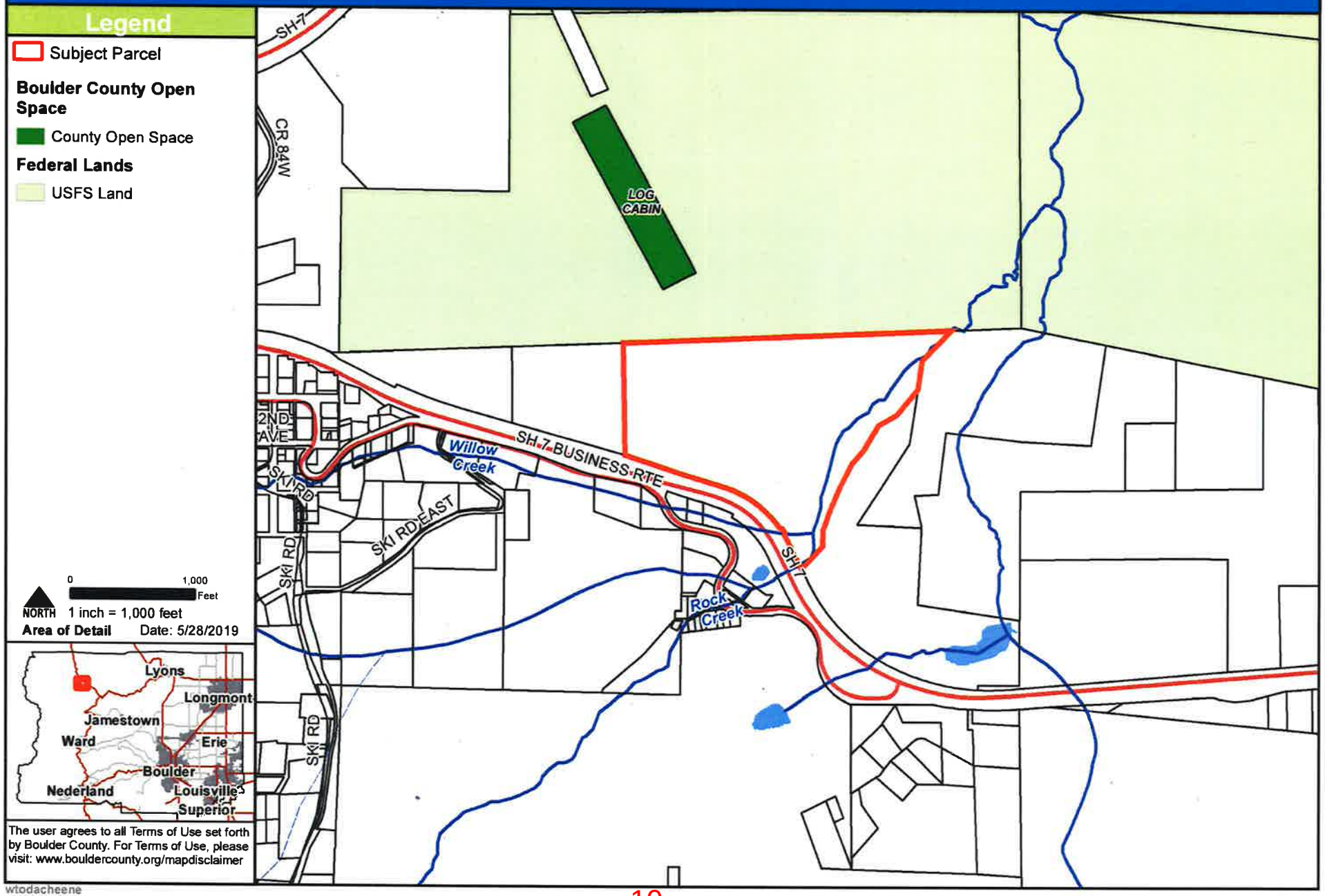
Public Lands & CE's

15747 HWY 7



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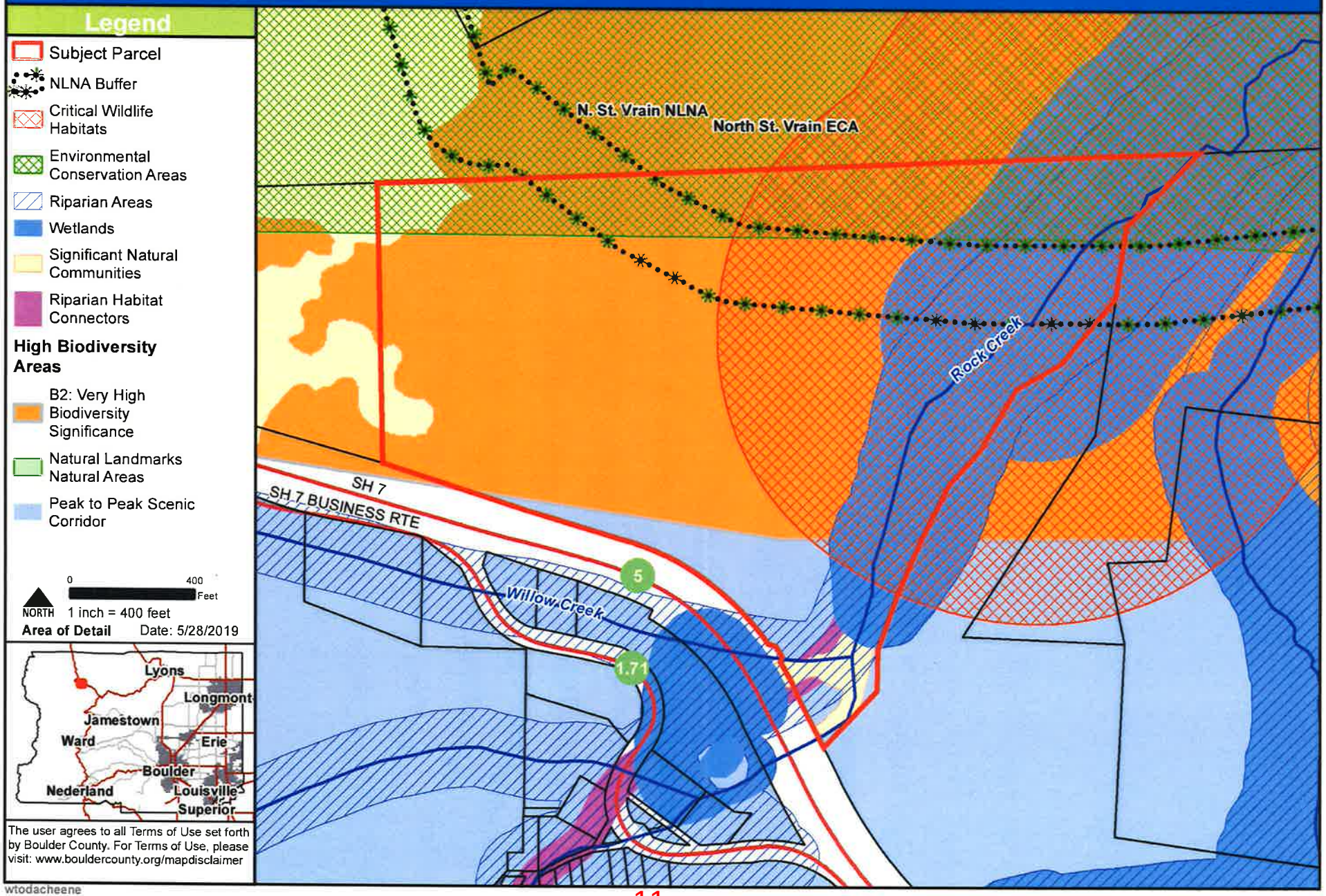
Comprehensive Plan

15747 HWY 7



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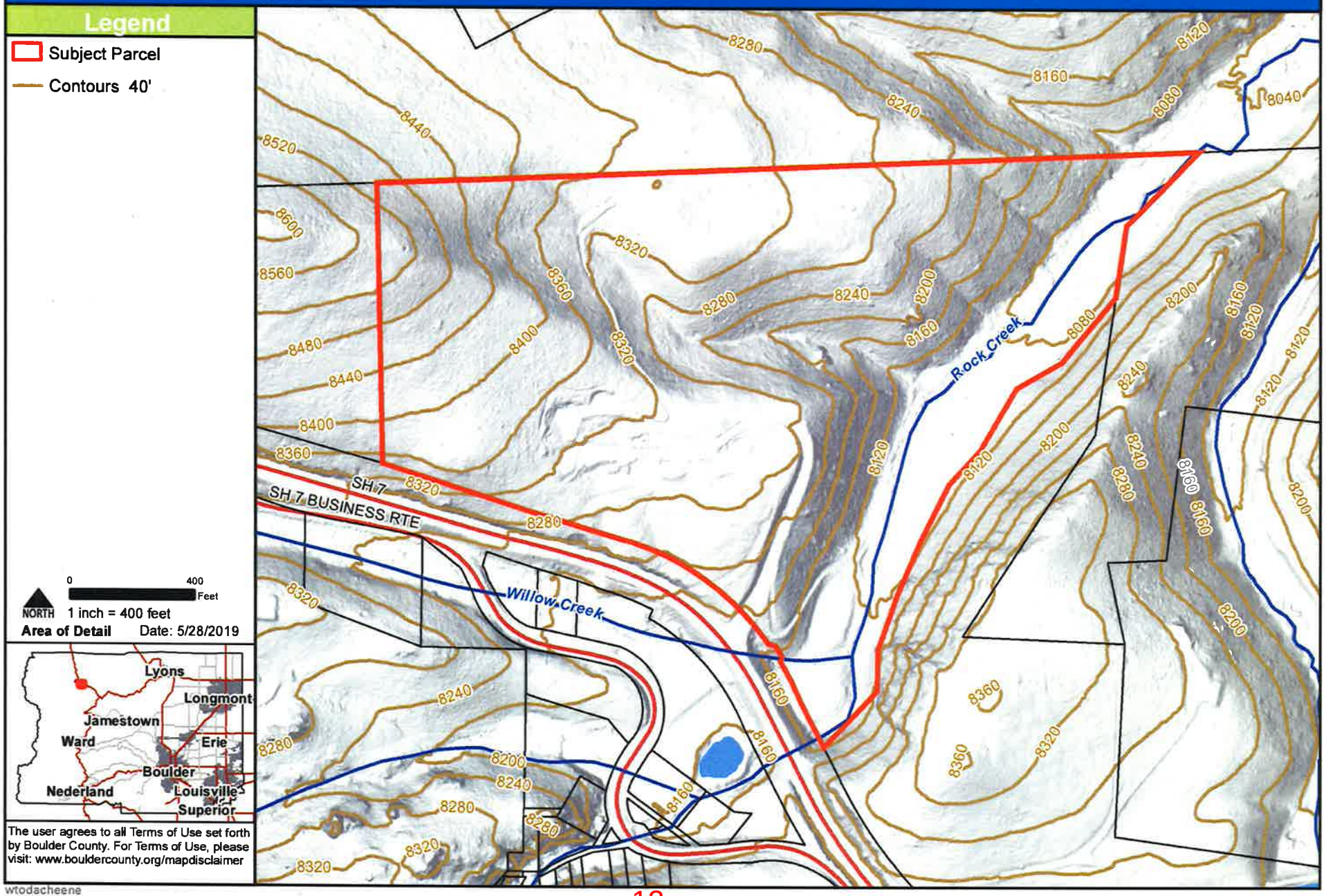
Elevation Contours

15747 HWY 7



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Boulder County Land Use Department

2045 13th Street, Boulder, CO 80302 303-441-3930 www.bouldercounty.org\lu

Geologic Hazards

15747 HWY 7

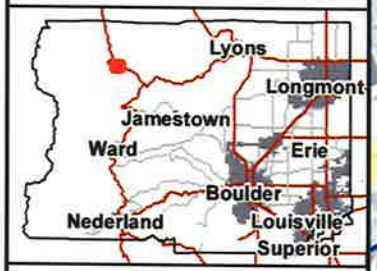
Legend

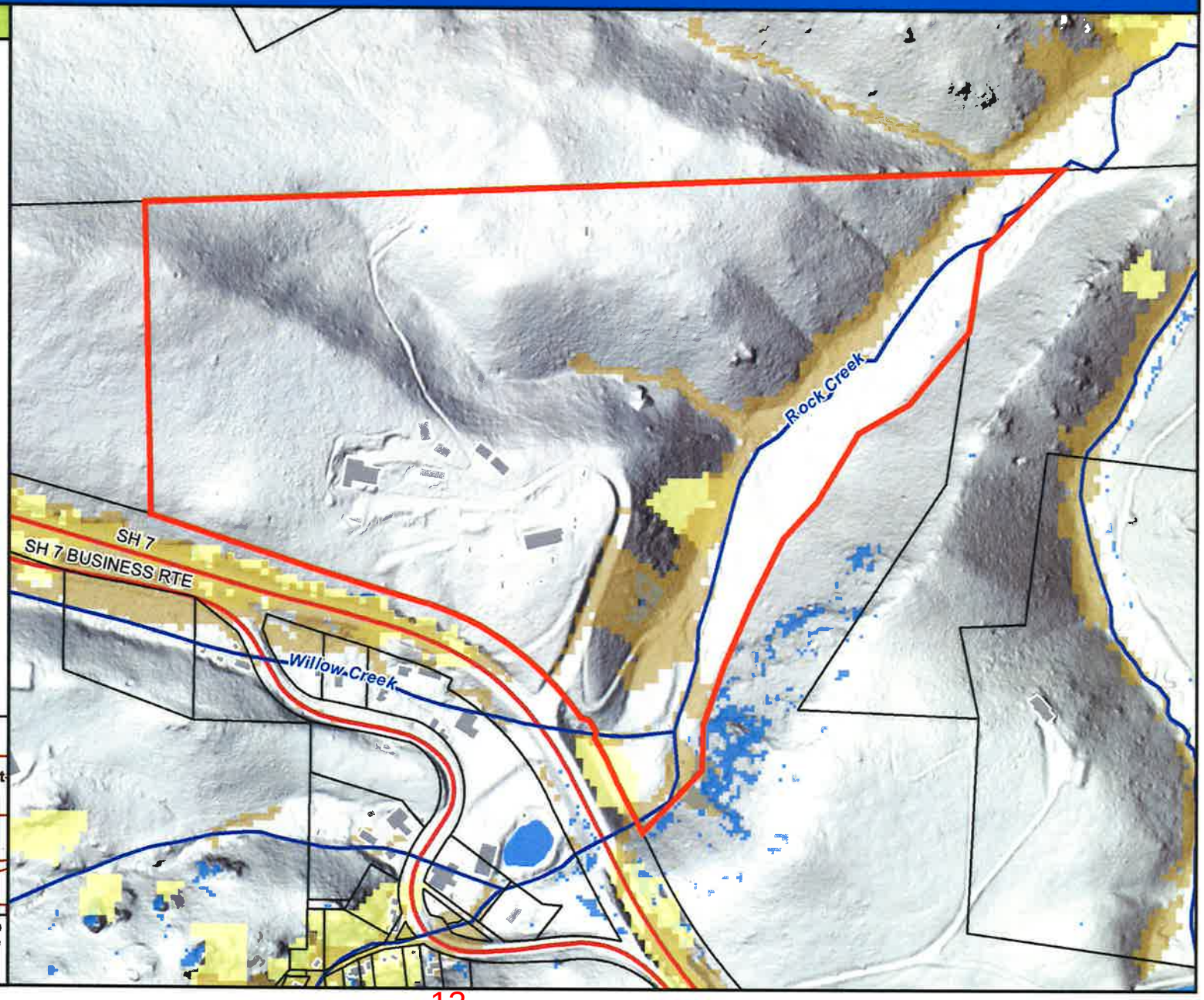
- Subject Parcel
- Debris flow susceptiblity area
- Rockfall susceptiblity area
- Landslide high susceptibility area

0 400 Feet

NORTH 1 inch = 400 feet

Area of Detail Date: 5/28/2019





wtodacheene

REVISED MATERIAL

RE: SU-17-0006: Rocky Mountain Pathways Ranch

In response to the concern brought up by Boulder County Community Planning & Permitting Department:

A concern was brought up by Boulder County Community Planning & Permitting Department in response to our current SUP application for Rocky Mountain Pathways Ranch. This concern was related to the amount of windows shown on the proposed elevations for the main lodge building and the visual impact of those windows may have on the Peak-to-Peak highway. Both the reflection off the glass and the "Lantern-Effect" created at night were concerns that Boulder County had expressed.

In response to the concerns raised by the county, Rocky Mountain would like to follow the recommendation that was given by Boulder County about installing only low transmittance glass in the new construction.

Rocky Mountain Ranch will commit to installing low transmittance (turtle glass) into all of the new windows that will be installed during the remodel/addition/new construction of the lodge.

Thank you for the opportunity to collaborate on the concern and resolve the matter.

Please do not hesitate to reach out for more information.

Heather Clark
Sr. Director of Experiential Learning
Rocky Mountain Pathways Ranch
626.524.7962
hclark@pathwaysedu.org

ATTACHMENT B

ORIGINAL

Rocky Mountain Pathways Ranch
15747 State Hwy 7
Lyons, CO 80540
303.747.9001

Boulder County Land Use Department
2045 13th Street
Boulder, CO 80302
303.441.3930

DATE: 03/28/2018

SUBJ: Special Use Review Letter of Intent for RMPR

Rocky Mountain Pathways Ranch, Inc. ('RMPR'). RMPR is a 62.5 acre ranch located in Allenspark, Colorado. Its clients have expressed the desire to allow not only their charter school students but local school districts as well to participate in the programs offered. For the past six years, RMPR has enrolled approximately 40 urban high school students at a time for twenty-two 10-day programs every year. The school programs run from January through May and again from August through November. The programs at RMPR are based in social-emotional and experiential education and are designed to facilitate growth opportunities for school-aged youth.

While at the ranch, students are immersed in standard curriculum as well as lessons on wildlife and the Colorado wilderness. Students, some of whom have never even seen a horse in person, are taught about general horse physiology, care and basic training techniques. While participating in ranch work, they experience daily life at a dude ranch and take ownership over animal care and small building projects. Goal setting is a theme throughout the programs as students are encouraged to begin planning for their future. Many find these activities difficult initially, but throughout the camp recognize personal development and self-confidence growth. Upon leaving RMPR, they have met lifelong friends and widened their horizons.

At all Pathways programs, including RMPR, students earn academic credit toward their high school diploma through the curriculum packets developed for the program. Data shows that students who have participated in various Pathways programs are less likely to drop out of school and have improved test scores with their rededication to their education and future.

RMPR is requesting a review and approval for our operations to expand. Planned projects are:

1. 120' X 70' Indoor Horse Barn
2. 32' X 32' Hay Storage Barn
3. Main Lodge Remodel & Addition
4. Recreational Center Remodel & Addition
5. 6 Duplex Cabins

RMPR's intent of use for the projects listed above are as follows:

Indoor Horse Barn: It is our desire to allow our students the full enjoyment and involvement of horseback riding year-round. The Indoor Horse Barn allows us to accomplish this, and gives us the ability to continue our students' education with equine and other animals. The Indoor Horse Barn also provides someplace where the students will be able to remain active, even during inclement weather.

Hay Storage Barn: Was previously approved per special use review docket (SU-94-1) but has not been built. We are currently storing all of our hay in the main barn, limiting our ability to accommodate animals. With the new hay barn we will open up pens for treating and maintaining animals and minimize potential loss due to storage and location of hay.

Lodge Remodel & Addition: Will allow us to improve upon the services we offer our students. With more usable space, we will be able to offer an array of educational services that are not realistic with the current space. The lodge remodel will not only offer greater variety in student service, but will also facilitate positive change in the lives of more students, not only from schools from inner-city youth, but local schools as well.

Recreational Center Remodel & Addition: Allows RMPR to offer more activities to its students including a safe place to play games such as ping pong, shuffle board and more. The recreational center remodel will also enable RMPR to better service the community as a potential meeting hall.

Six (6) Duplex Cabins: These new cabins will enable RMPR to house more students in a diverse environment and possibly to accommodate guests.

These improvements will cause minimal increase in vehicle traffic. RMPR operates on a 10 day cycle where new students arrive on Tuesday and leave the following week on Friday. We operate four (4) 16-passenger vans. Currently the staff live off-site, but once the students arrive, some (approx. 8) of the staff stay on-site with the students. Please see Attached (PAML) traffic letter.

Currently the occupancy at RMPR is limited to 40 students. RMPR has 20 faculty members, with only 1 of those living on site full-time. Under special use review docket (SU-94-1), occupancy is allowed 20 live on-site and 57 guests. With the proposed changes to the Lodge, and the new Duplex Cabins the capacity at RMPR would expand to 120 occupants. During the day, an example of the property at full capacity would be when RMPR is having students and staff on the property = 80 students and maximum of 40 staff. Overnight lodging would be 80 students, approximately 8 staff.

RMPR business hours of operation are 8:00 am to 5:00 pm Monday through Friday. During a program, a typical student's day will begin around 7:30 am with breakfast and morning chores, course work, horse training and other activities. Lunch is normally 12:00 – 1:00 pm after which the students continue course work, go on hikes, do afternoon chores and break out into groups for more specialized training. Dinner is served between 5:00 - 6:00 pm. Afterwards there are deck activities including games, theater hour, and general discussion/interaction until bed time or lights out, which is 10:00pm. While in session, limited (approximately 8) staff and the students are on-site from the day the students arrive from the airport to the day the students return to the airport. Again, this is normally a 10-day session beginning on Tuesday through the weekend to the following Friday. At present, RMPR is not open to the public. Future plans are to make the cabins available for rental during the summer months.

Water service at RMPR are supplied from our well and septic system. Our Sewage Treatment Facility is designed to accommodate 4,875 gallons of wastewater per day which is sufficient to accommodate 98 occupants (Approved by the County Health department July 28, 1975 and noted in the special use review docket (SU-94-1) (09/14/1995)). The proposed 6 duplex cabins will be on a separate system, allowing the existing system to maintain an average usage of 72 occupants, which is less than the current allowable occupant load on the system of 98.

RMPR holds the safety of its Students, Employees and Guests in the highest regard. The facility is maintained to be accessible - even during inclement weather conditions. Emergency response personnel have full access via the main entrance of the property. This includes the already existing access to the proposed 6 duplex cabins. No cut and fill will be required to gain access to the proposed sites given access already exists (as shown on the Boulder County Easement Agreement).

Impact Mitigation:

RMPR foresees minimal to no noise, light or odor impact to our property or surrounding properties. . We are not planning on adding to our Livestock. Additionally, RMPR will be inviting all interested neighborhood guests to come and visit our facility to discuss the changes we are proposing. This will give the neighborhood a chance to learn about and see our operations.

All landscape will be put back to natural scape with native fescue and plants. The design will match existing structure elements and the natural flow of landscape, making it hard for the unknowing eye to distinguish new from existing.

RMPR is an academic organization that educates youth in a school environment while offering experiential learning programs to enhance their social, emotional and academic skills. We partner with schools and other organizations to provide students with experiences and skills that allow them to achieve their academic, career, and life goals. As the ranch continues to evolve and change, RMPR would like to be able to consider the use of the property at some point, not only for students but for outside guests and more community events as well. Future use could include the recreational hall being used by Allenspark for meetings or using our cabins for Air BnB.

Sincerely,

John Walker
Lupine Properties,
RMPR

ATTACHMENT B

ORIGINAL

DELICH ASSOCIATES Traffic & Transportation Engineering
2272 Glen Haven Drive Loveland, Colorado 80538
Phone: (970) 669-2061 Fax: (970) 669-5034

September 20, 2017

Ms. Anita Riley, Senior Planner
Boulder County Transportation Department
2525 13th Street, P.O. Box 471
Boulder, CO 80304

Dear Anita:

This Transportation Pre-Application Methodology Letter (TP-AML) addresses the proposed methodology for the transportation system impact analysis per the Boulder County Multimodal Transportation Standards for an increase in the use at 1574 State Highway 7 (SH7) in Boulder County. This TP-AML addresses the difference in the trip generation, as well as other elements.

The site location aerial and the parcel site plan are provided in the Appendix. The subject parcel is east of SH7, approximately at milepost 15.7. State Highway 7 is a state highway under the administrative control of CDOT. The property (Rocky Mountain Pathways Ranch [RMPR]) is served by a paved driveway called Willow Creek. The RMPR parcel has a number of buildings that are used for housing and activities. RMPR serves students that can be categorized as 'at risk' youth, primarily from urban areas in the United States. The purpose is to provide an outdoor experience (horseback riding, camping, hiking, and other activities) for these youth. The current RMPR program is on a 10-day cycle with new students arriving on a Tuesday and departing in the following week on a Friday. The students arrive and depart by van (four 16-passenger vans). The RMPR teachers remain on-site while the students are there. The current allowed student population is 57, plus 20 staff. Of the 20 staff, 16 are teachers and 4 are administration. Both students and teachers remain on site in a given 10-day period.

This type of land use is not contained in **Trip Generation, 9th Edition**, ITE, the conventional reference document. Therefore, information provided by the operator was used to calculate the daily trip generation for the allowed/approved operation at the RMPR. The following are termed as non-student trips: 1) There is food delivery once a week; 2) Private parcel service (FedEx, UPS) occurs twice a week; 3) There is US Postal Service every day; 4) Trash collection occurs once a week; 5) There are occasional vendors (e.g. propane) that might occur every few weeks; 6) RMPR maintenance staff may leave/return a few times per week; and 7) The administration staff (4) utilize private automobiles on a daily basis (8 daily trip ends). Since students are from out of state, they do not have visitors/family to/from the site. On Tuesday and Friday (change-over days), the teaching staff (16) would arrive on a Tuesday and then depart on a Friday by private automobile. This results in 16 teacher trip ends on each of those days. The above, along with the van trips on Tuesdays and Fridays (8 trip ends on each day), are the extent of the current traffic. If all of the non-student trips occurred on the same day (not likely), there would be 20 non-student daily trip ends. On a change-over day, there would be 8 van trip ends and 16 teacher trip ends (total 24). If the non-student trips occurred on a Tuesday or Friday, there would be 44 daily trip ends (20 plus 24). It is not likely that this would occur on the same day, but it represents the highest number of daily trip ends possible. Therefore, there could be 44 daily trip ends for the current condition. These are the daily trips related to the allowed/approved operation at RMPR.

The proposal is to serve more 'at risk' youth at this site. The maximum occupancy would be 231 persons. The administration staff (4) would remain the same. The non-student daily trips would

remain the same. It is expected that there would be 227 youth and teachers (231 minus 4). At a 5:1 youth to teacher ratio, there would be 38 teachers. There would be 190 youth served. The intent is to have three 10-day cycles (Monday to the following week Thursday; Tuesday to the following week Friday; and Wednesday to the following week Saturday). Assuming equal youth/teacher population in each 10-day cycle, results in 64 youth and 13 teachers in each period. This youth population can be served by the existing vans. On any given change-over day, there would be 8 daily van trip ends and 13 teacher trip ends (total 21). Given this, if all of the non-student trips (20) occurred on a change-over day, there would be 41 (20 plus 21) daily trip ends. This would be less than that which could occur now under the same circumstances described earlier.

Current available daily traffic data on SH7 is 4954 vehicles, approximately 0.3 miles south of the site. The trip distribution for this use is likely to be close to 100 percent to/from the south (Front Range). Future background traffic forecasts, if necessary, should be obtained from sources provided by Boulder County Transportation or agreed upon growth rates on the key roads.

The primary travel mode will be a mix of private automobile, vendor vehicles (FedEx UPS, etc.), and the vans. Given its location, it is not likely that there would be many/any bicycle trips. There are no transit routes near this site. State Highway 7 is a road with modest paved shoulders.

The calculated daily trip ends would be less than that which currently exists. Therefore, the new daily traffic will be less than the 30 daily vehicle trips that would require additional transportation system impact analyses. It is respectfully requested that no additional transportation analyses be required for the RMPR proposal.

There is a possibility that the RMPR operator may desire to have limited events, tent camping, or other activities at the site. However, this is not part of this proposal. If that were proposed in the future, another TP-AML would be required.

Do not hesitate to contact me if you have questions or desire additional information.

Sincerely,

Matthew J. Delich, P.E., PTOE

File: 1776LT01

ATTACHMENT B

ORIGINAL

Frederick, Summer

From:	Levaufre, Helene
Sent:	Thursday, April 05, 2018 3:24 PM
To:	Matt Delich
Cc:	Thomas, Mike
Subject:	RE: PAMS Rocky Mountain Pathways Ranch 15747 SH 7

Dear Matt,

The Transportation Department has completed the review for the Pre Application Methodology Statement for Rocky Mountains Pathways Ranch at 15747 SH 7.
We agree that the trip generation for the proposed use will not exceed 30 ADT, and that no additional transportation system analysis will be required.

Please let me know if you have any questions,

Thank you,

Hélène Levaufre | Development Review Engineer
Boulder County Transportation Department
Email: hlevaufre@bouldercounty.org
Phone: 720.564.2663

From: Matt Delich [mailto:matt@delichassoc.com]
Sent: Tuesday, April 03, 2018 3:05 PM
To: Levaufre, Helene
Subject: Re: PAMS Rocky Mountain Pathways Ranch 15747 SH 7

Helene,

In my opinion, no increase. While the quantity of food and trash may increase, I believe it will be handled with larger loads per vehicle. I was told the maintenance staff is a constant number.

Matt

On 4/3/2018 2:09 PM, Levaufre, Helene wrote:

> Dear Matt,
>
> I am reviewing the PAMS for Rocky Mountain Pathways Ranch at 15747 SH 7.
> I agree with the number of trips generated by the student and teachers, however I have a question regarding the non-student trips. Given that the number of students will triple, won't the number of food deliveries, trash collection and maintenance/cleaning staff trips increase accordingly?
>
> Let me know if you have any questions,
>
> Thank you,

ATTACHMENT B

ORIGINAL

Hélène Levaufre | Development Review Engineer
Boulder County Transportation Department
Email: hlevaufre@bouldercounty.org
Phone: 720.564.2663

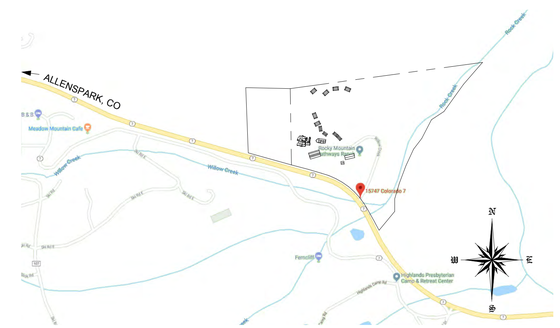
--
Matthew J. Delich, P.E., PTOE
DELICH ASSOCIATES
2272 Glen Haven Drive
Loveland, CO 80538
Phone: 970-669-2061
FAX: 970-669-5034
EMAIL: matt@delichassoc.com

REVISED MATERIAL

1 SITE
1" = 100'-0"

ABBREVIATIONS

(E) EXISTING
(N) NEW CONSTRUCTION
(R) REMODEL
(A) ADDITION



2 VICINITY MAP
1" = 800'-0"

OCCUPANCY CALCULATIONS FOR LIFE SAFETY CODE REQUIREMENTS

AREA	LOAD FUNCTION	LOAD FACTOR	SQ FT (E)	OCC (E)	NEW SQ FT	NEW OCC
MAIN LODGE						
CELLAR LEVEL	STORAGE	300 gross	0	0	831	3
LOWER LEVEL	RESIDENTIAL	200 gross	2228	12	3994	20
MAIN LEVEL	RESIDENTIAL	200 gross	6184	31	6941	35
UPPER LEVEL	DORMITORY	50 gross	3410	69	3410	69
RECREATION CENTER	ASSEMBLY	15 net	750	50	1597	107
EXISTING HORSE BARN	AG BUILDING	300 gross	4800	16	4800	16
NEW HORSE BARN	AG BUILDING	300 gross	0	0	8024	27
HAY BARN	AG BUILDING	300 gross	0	0	900	3
NEW DUPLEX CABINS TOTAL						
(6) ea. (12 units inc. loft)	RESIDENTIAL	200 gross	0	0	875 ea.	60
EXISTING CABINS						
(4) ea.	RESIDENTIAL	200 gross	800 ea.	16 tot.	800 ea.	16 tot.
		200 gross				
TOTAL FOR SITE				194		356

SITE BUILDINGS WILL NOT ALL BE OCCUPIED SIMULTANEOUSLY. FOR SAFETY PURPOSES THESE NUMBERS WILL BE USED TO CALCULATE NUMBER OF EXITS, SIZE OF HALLWAYS AND EXITS, ETC.

OCCUPANCY CALCULATIONS FOR WATER AND SEWER CAPACITY

AREA	LOAD FUNCTION	LOAD FACTOR	SQ FT (E)	OCC (E)	NEW SQ FT	NEW OCC
MAIN LODGE						
CELLAR LEVEL	STORAGE	300 gross	0	0	831	3
LOWER LEVEL	RESIDENTIAL	200 gross	2228	12	3994	20
MAIN LEVEL	RESIDENTIAL	200 gross	6184	31	6941	35
UPPER LEVEL	RESIDENTIAL	200 gross	3410	18	3410	18
RECREATION CENTER	RESIDENTIAL	200 gross	824	5	1846	10
EXISTING HORSE BARN	AG BUILDING	300 gross	4800	16	4800	16
NEW HORSE BARN	AG BUILDING	300 gross	0	0	8024	27
HAY BARN	AG BUILDING	300 gross	0	0	900	3
EXISTING CABINS						
(4) ea.	RESIDENTIAL	200 gross	800 ea.	16 tot.	800 ea.	16 tot.
TOTAL FOR EXISTING WELL & SEPTIC SYSTEM				98		148

SITE BUILDINGS WILL NOT ALL BE OCCUPIED SIMULTANEOUSLY. MAXIMUM OF 88 PEOPLE WILL BE IN THESE EXISTING AND NEW BUILDINGS AT ANY GIVEN TIME. WHILE THE MAIN LODGE IS FULL, THE HORSE BARNS WILL BE EMPTY. THE NUMBER OF OCCUPANTS ON THIS SYSTEM WILL NOT INCREASE. THE ADDITIONAL BUILDINGS AND EXPANSIONS ARE FOR EXTRA AMENITIES.

AREA	LOAD FUNCTION	LOAD FACTOR	SQ FT (E)	OCC (E)	NEW SQ FT	NEW OCC
NEW DUPLEX CABINS TOTAL	RESIDENTIAL	200 gross	0	0	875 ea.	60 tot.
(6 cabins)(12 units incl. loft)						

THESE NEW CABINS WILL BE ON A NEW WELL AND SEPTIC SYSTEM.

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C2D Architects, LLC
"Concept 2 Design"
P.O. Box 337733
Greeley, CO 80633
(970) 515-6075

Project Status: SUR SUBMITTAL
ROCKY MOUNTAIN PATHWAYS RANCH
MAIN LODGE
15747 CO-7, LYONS, CO. 80540

Drawn By: RDW
ARCHITECTURAL SITE PLAN

Issues / Revisions

#	Date	Information
	03/07/18	Design Review
	03/27/18	SUP Resubmittal

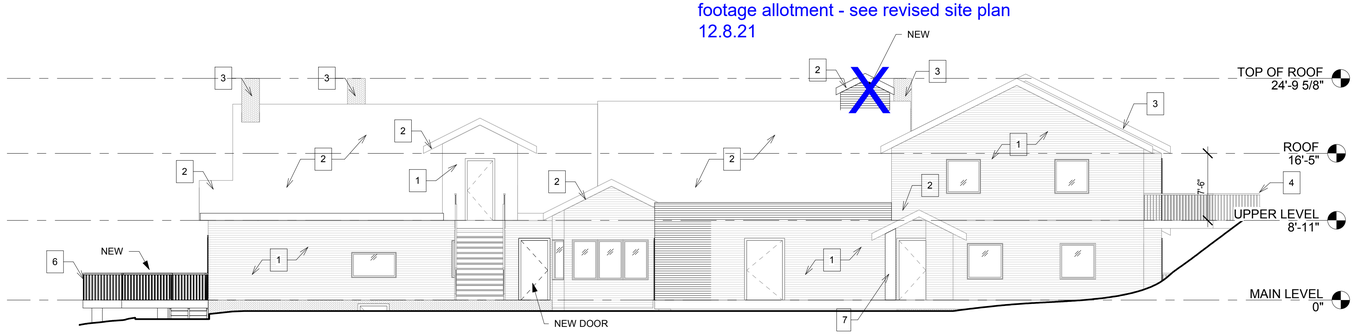
PROJECT #: 18-01-101
SHEET #: AS1.10

C:\Dropbox (C2D Architects)\C2D\Projects\18-01-101 Lupine Properties RMPR\CCD\Revit\C2D RMPR - MAIN LODGE.rvt

REVISED MATERIAL

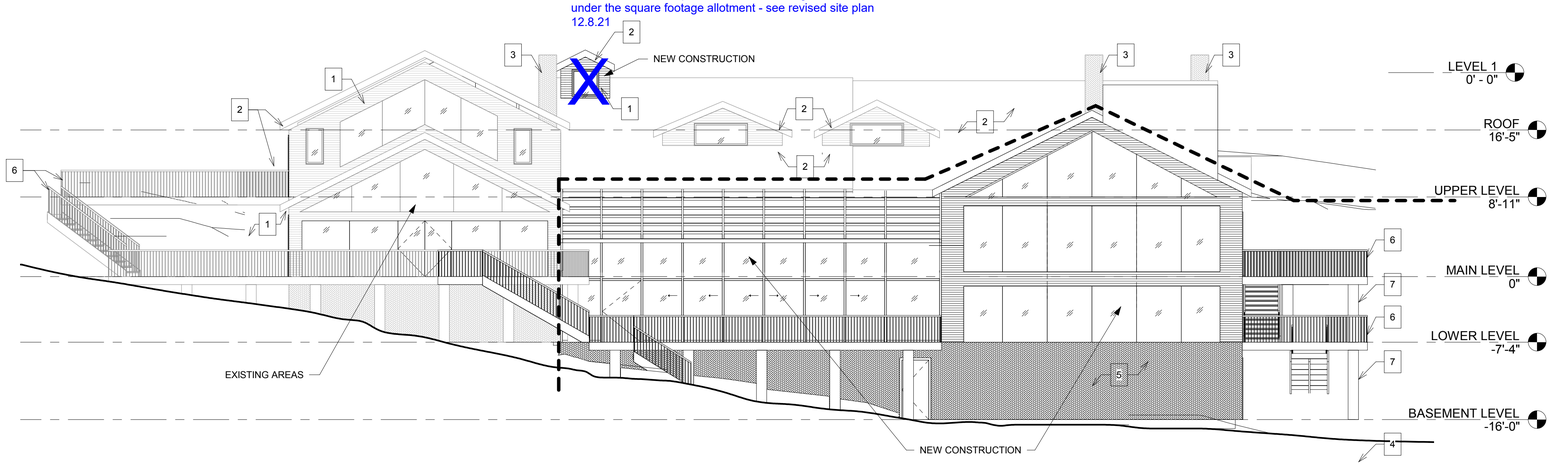
RMPR will commit to installing only low transmittance glass/ turtle galss in all new windows that will be installed in all new construction of the lodge. See page 1 for more details.

This is one of the duplexes we are removing in order to be under the square footage allotment - see revised site plan 12.8.21



2 NORTH ELEVATION (REAR)
1/8" = 1'-0"

This is one of the duplexes we are removing in order to be under the square footage allotment - see revised site plan 12.8.21

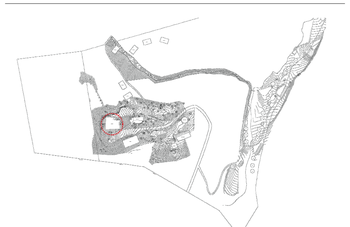


1 SOUTH ELEVATION (FRONT)
1/8" = 1'-0"

KEY NOTES

1	FIRE RETARDANT SPLIT LOG SIDING TO MATCH (E) LODGE
2	METAL ROOFING TO MATCH (E) LODGE
3	(E) MASONRY CHIMNEY
4	EXISTING AND NEW GRADE
5	EXISTING AND NEW STONE
6	WOODEN RAILING
7	WOOD COLUMN

KEY LEGEND



"Concept 2 Design"

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C2D Architects, LLC
"Concept 2 Design"
P.O. Box 337733
Greeley, CO 80633
(970) 515-6675

Project Status: SUR SUBMITTAL

ROCKY MOUNTAIN PATHWAYS RANCH

MAIN LODGE
15747 CO-7, LYONS, CO, 80540

Drawn By: RDW

MAIN LODGE ELEVATIONS

Issues / Revisions

#	Date	Information
	03/27/18	SUP Resubmittal

PROJECT #: 18-01-101

SHEET #: A2.10

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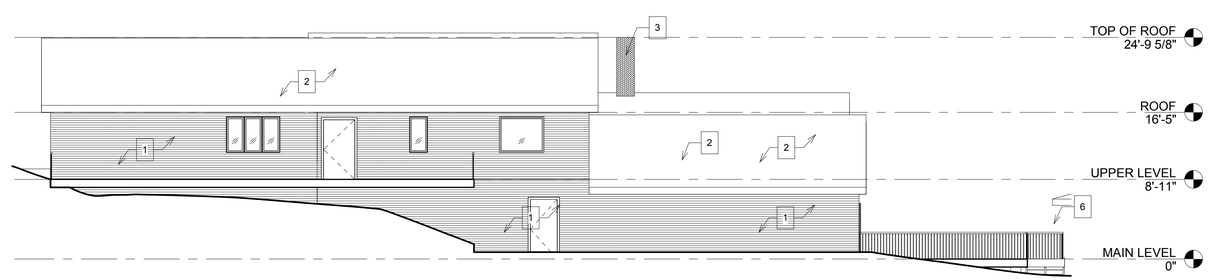
KEY NOTES

1	FIRE RETARDANT SPLIT LOG SIDING TO MATCH (E) LODGE
2	METAL ROOFING TO MATCH (E) LODGE
3	(E) MASONRY CHIMNEY
4	EXISTING AND NEW GRADE
5	EXISTING AND NEW STONE
6	WOODEN RAILING
7	WOOD COLUMN

2 EAST ELEVATION
1/8" = 1'-0"



1 WEST ELEVATION
1/8" = 1'-0"

KEY LEGEND

"Concept 2 Design"

Date Printed: 03/27/2018 12:34:33 PM

C2D Architects, LLC
"Concept 2 Design"
P.O. Box 337733
Greeley, CO 80633
(970) 515-6075

Project Status: SUR SUBMITTAL

ROCKY MOUNTAIN PATHWAYS RANCH

MAIN LODGE
15747 CO-7, LYONS, CO, 80540

Drawn By: JH

MAIN LODGE ELEVATIONS

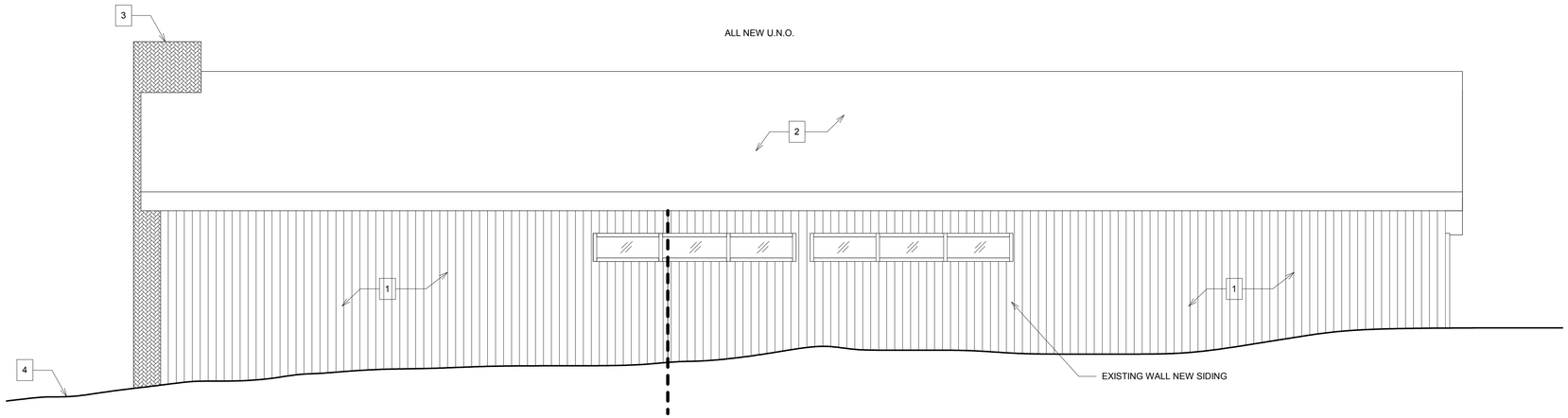
Issues / Revisions

#	Date	Information
	03/27/18	SUP Resubmittal

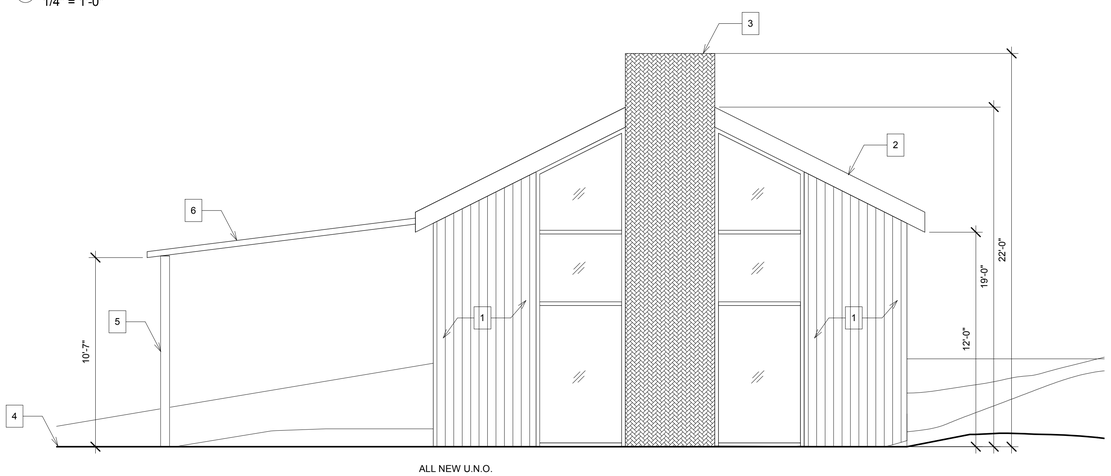
PROJECT #: 18-01-101

SHEET #: A2.11

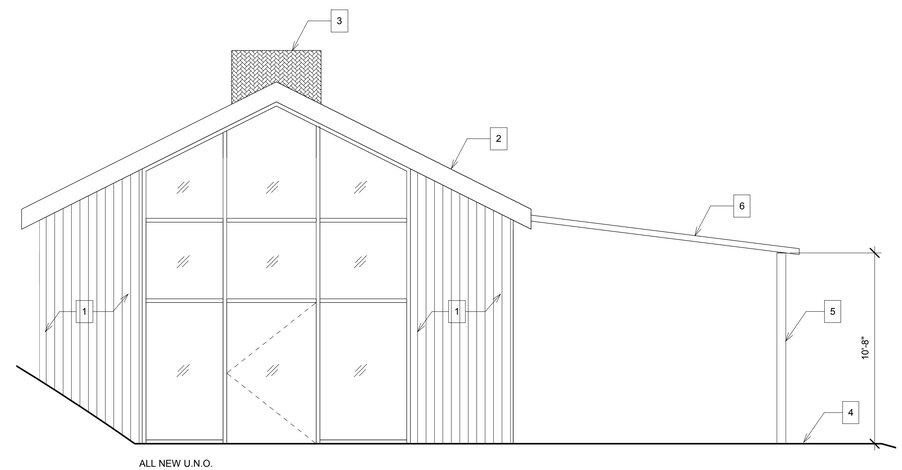
C:\Dropbox (C2D Architects)\C2D\Projects\18-01-101 Lupine Properties RMPR\CCD\Revit\C2D RMPR - MAIN LODGE.rvt



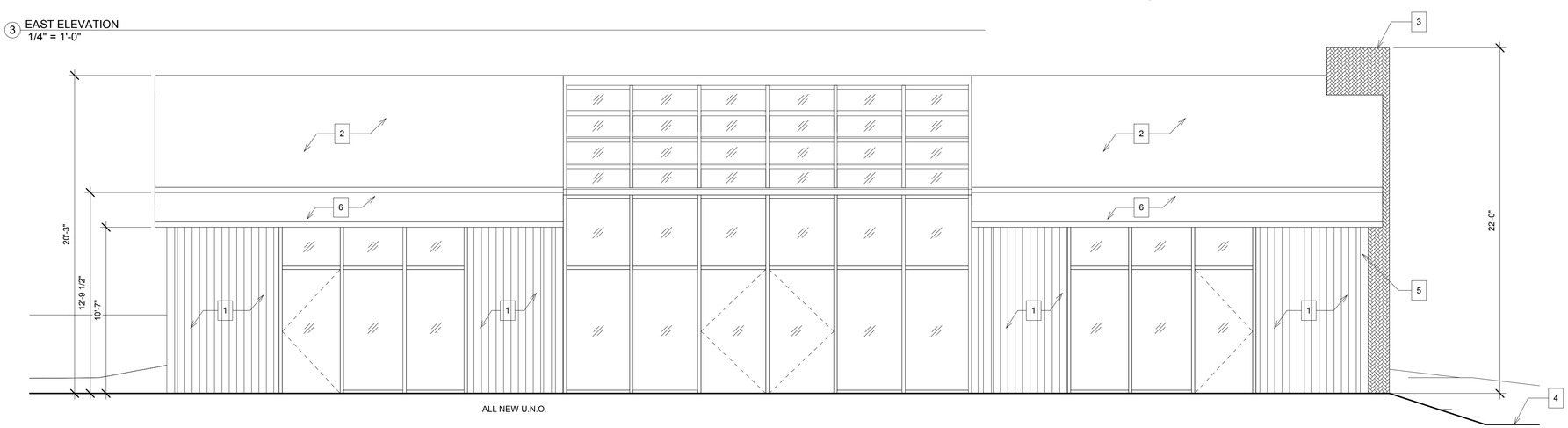
4 NORTH ELEVATION
1/4" = 1'-0"



3 EAST ELEVATION
1/4" = 1'-0"



2 WEST ELEVATION
1/4" = 1'-0"

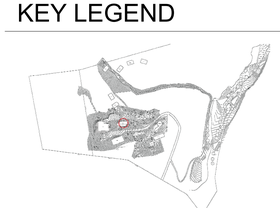


1 SOUTH ELEVATION
1/4" = 1'-0"

KEY NOTES

1. FIRE RETARDANT T1-11 SIDING (FIBER CEMENT OR ALTERNATE)
2. METAL ROOFING TO MATCH (E) LODGE
3. MASONRY CHIMNEY
4. EXISTING AND NEW GRADE
5. COLUMN
6. RETRACTABLE ROOF

KEY LEGEND



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C2D Architects, LLC
"Concept 2 Design"
P.O. Box 337733
Greeley, CO 80633
(970) 515-6075

Project Status: SUR SUBMITTAL

RMPR

RECREATIONAL CENTER
15747 CO-7, LYONS, CO 80540

Drawn By: RDW

RECREATION CENTER ELEVATIONS

Issues / Revisions

#	Date	Information
	03/27/18	SUP Resubmital

PROJECT #: 18-01-101

SHEET #: A2.12

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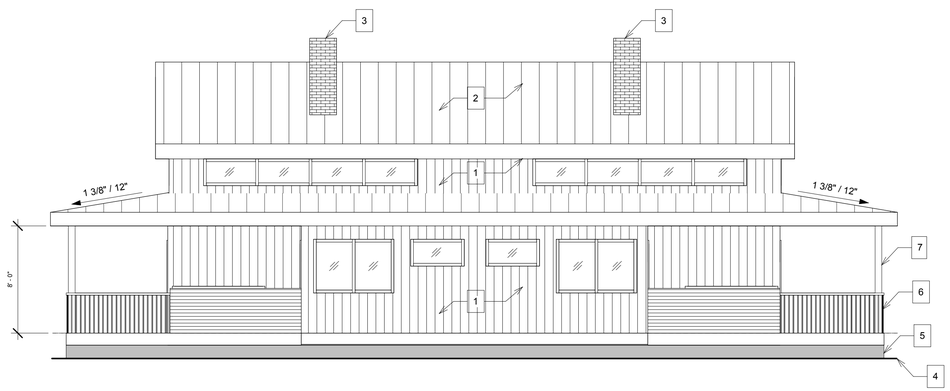
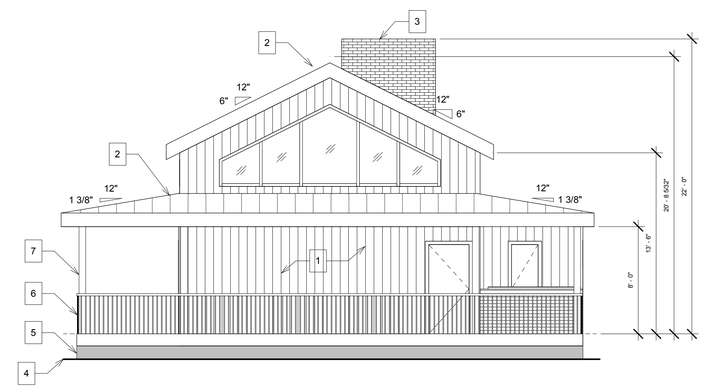
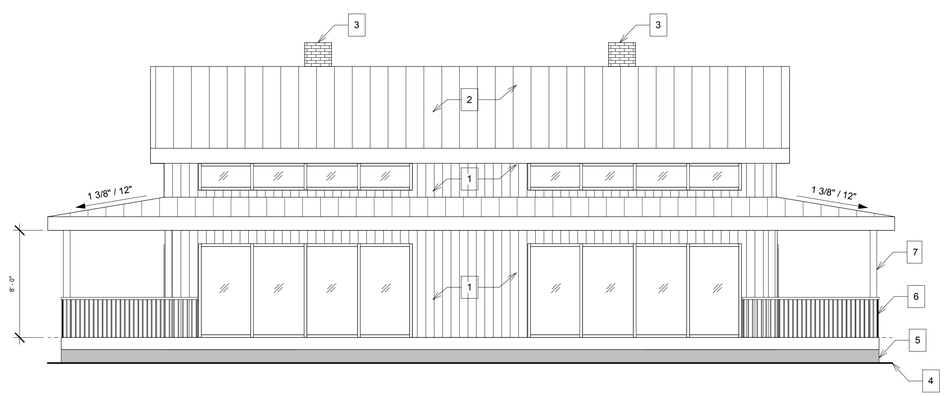


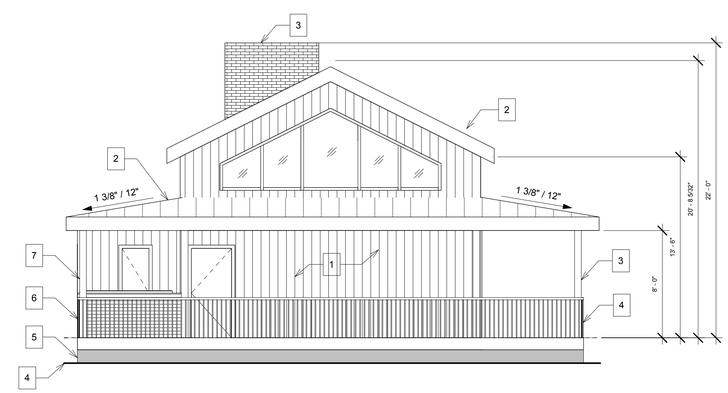
4 NORTH
3/16" = 1'-0"



3 EAST
3/16" = 1'-0"



2 SOUTH
3/16" = 1'-0"

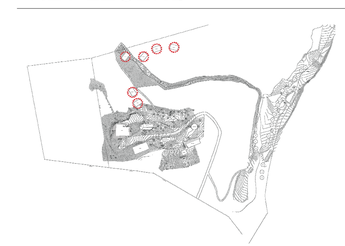


1 WEST
3/16" = 1'-0"

KEY NOTES

1. FIRE RESISTANT T1-11 SIDING (FIBER CEMENT OR ALTERNATE)
2. METAL ROOFING TO MATCH (E) LODGE
3. MASONRY CHIMNEY
4. EXISTING AND NEW GRADE
5. STONE VENEER
6. WOODEN RAILING
7. WOOD COLUMN

KEY LEGEND



"Concept 2 Design"

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C2D Architects, LLC
"Concept 2 Design"
P.O. Box 337733
Greeley, CO 80633
(970) 515-6075

Project Status: SUR SUBMITTAL

RMPR

DUPLEX CABIN
15747 CO-7, LYONS, CO 80540

Drawn By: RDW

DUPLEX CABIN ELEVATIONS

Issues / Revisions #

#	Date	Information
	03/27/18	SUP Resubmittal

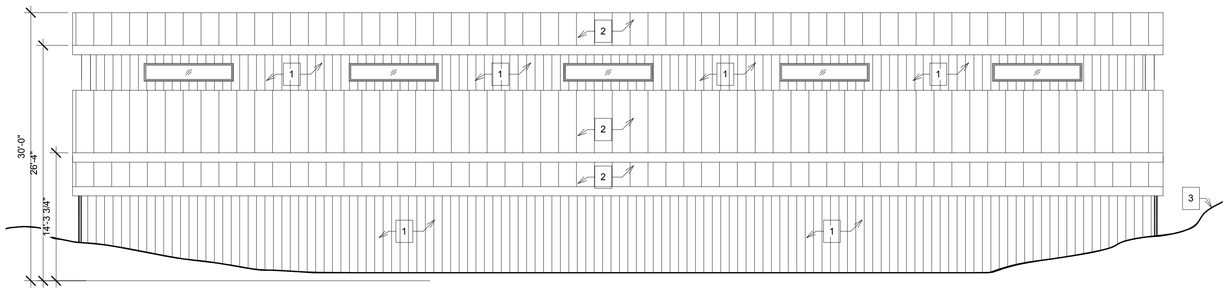
PROJECT #: 18-01-101

SHEET #: A2.13

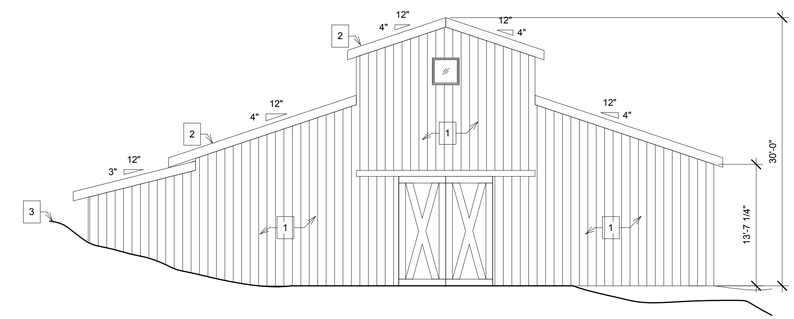
C:\Dropbox (C2D Architects)\C2D\Projects\18-01-101 Lupine Properties RMPR\CCD\Revit\C2D RMPR - DUPLEX CABIN.rvt

KEY NOTES

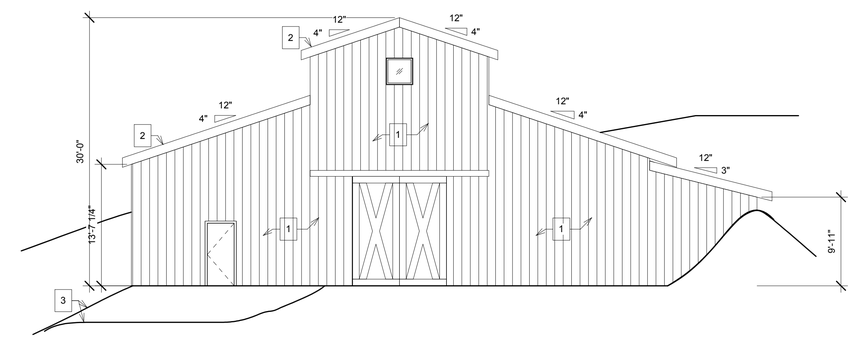
1. T1-11 WOOD SIDING 12" O.C.
2. METAL ROOFING TO MATCH (E) LODGE
3. EXISTING AND NEW GRADE



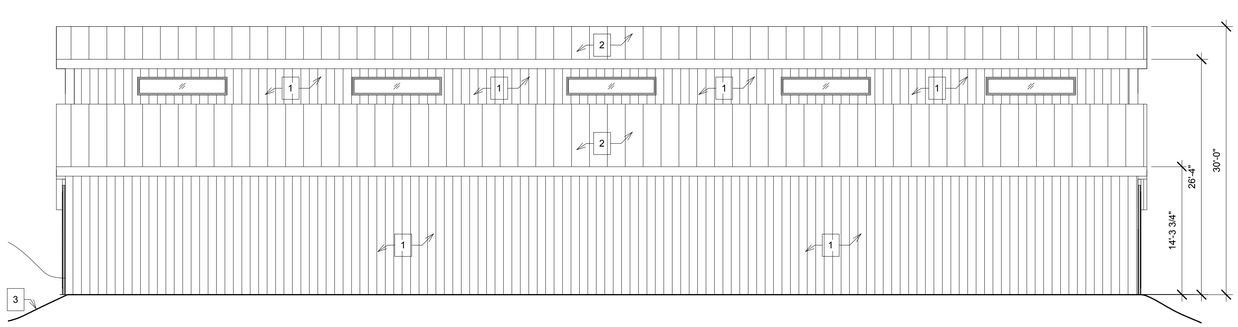
4 NORTH ELEVATION
1/8" = 1'-0"



3 WEST ELEVATION
1/8" = 1'-0"

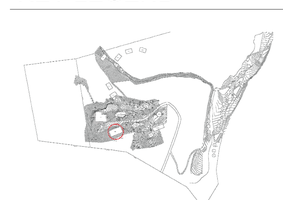


2 EAST ELEVATION
1/8" = 1'-0"



1 SOUTH ELEVATION
1/8" = 1'-0"

KEY LEGEND



"Concept 2 Design"

C2D Architects, LLC
"Concept 2 Design"
P.O. Box 337733
Greeley, CO 80633
(970) 515-6075

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Project Status: SUP SUBMITTAL

RMPR

NEW HORSE BARN
15747 C0-7, LYONS, CO 80540

Drawn By: RDW

NEW HORSE BARN ELEVATIONS

Issues / Revisions #

#	Date	Information
	03/27/18	SUP Resubmittal

PROJECT #: 18-01-101

SHEET #: A2.14

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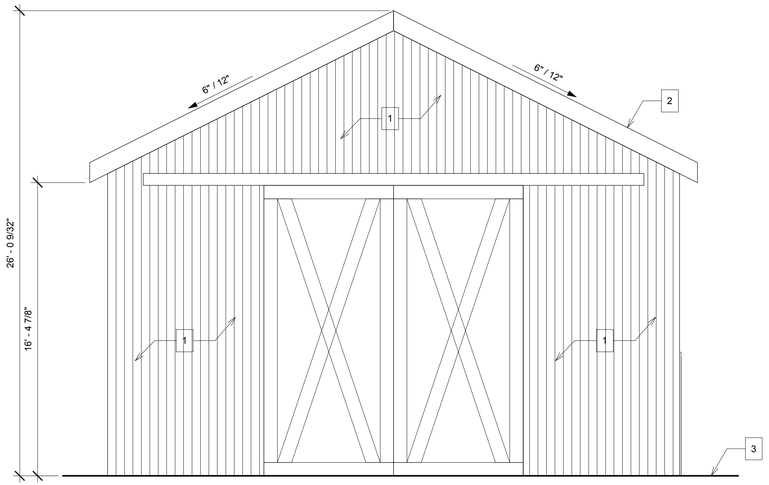
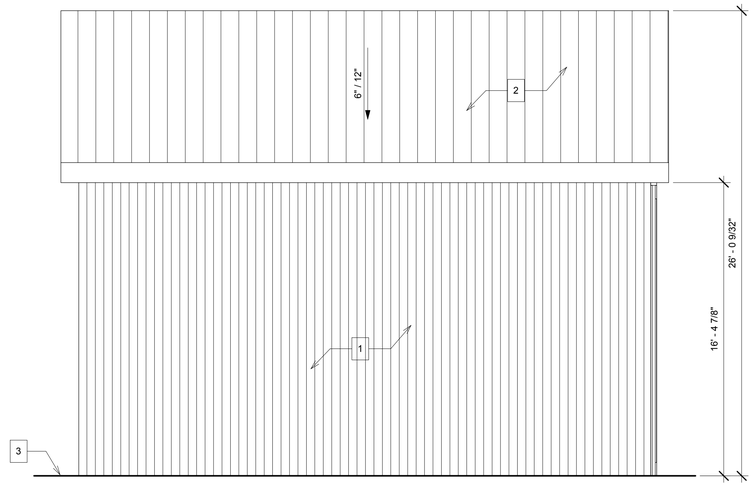
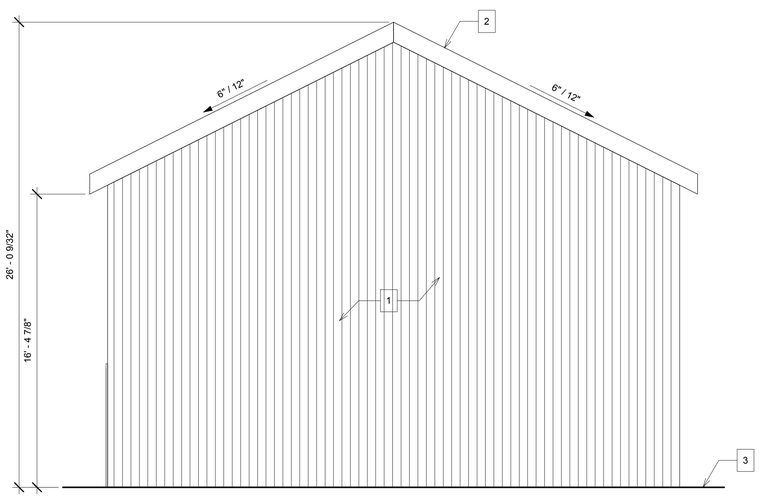


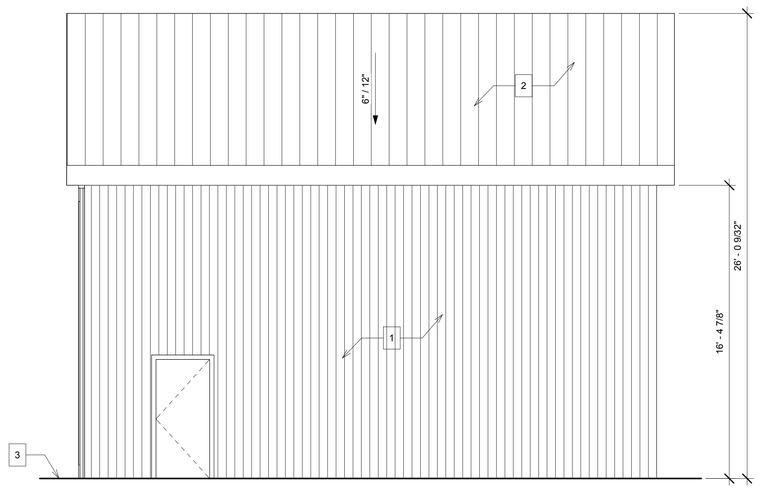
4 NORTH ELEVATION
1/4" = 1'-0"



3 EAST ELEVATION
1/4" = 1'-0"



2 SOUTH ELEVATION
1/4" = 1'-0"

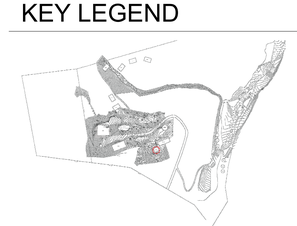


1 WEST ELEVATION
1/4" = 1'-0"

KEY NOTES

1. FIRE RETARDANT T1-11 SIDING (FIBER CEMENT OR ALTERNATE)
2. METAL ROOFING TO MATCH (E) LODGE
3. EXISTING AND NEW GRADE

KEY LEGEND



"Concept 2 Design"

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C2D Architects, LLC
"Concept 2 Design"
P.O. Box 337733
Greeley, CO 80633
(970) 515-6075

Project Status: SUR SUBMITTAL

RMPR

HAY BARN
15747 CO-7, LYONS, CO 80540

Drawn By: RDW

HAY SHED ELEVATIONS

Issues / Revisions #

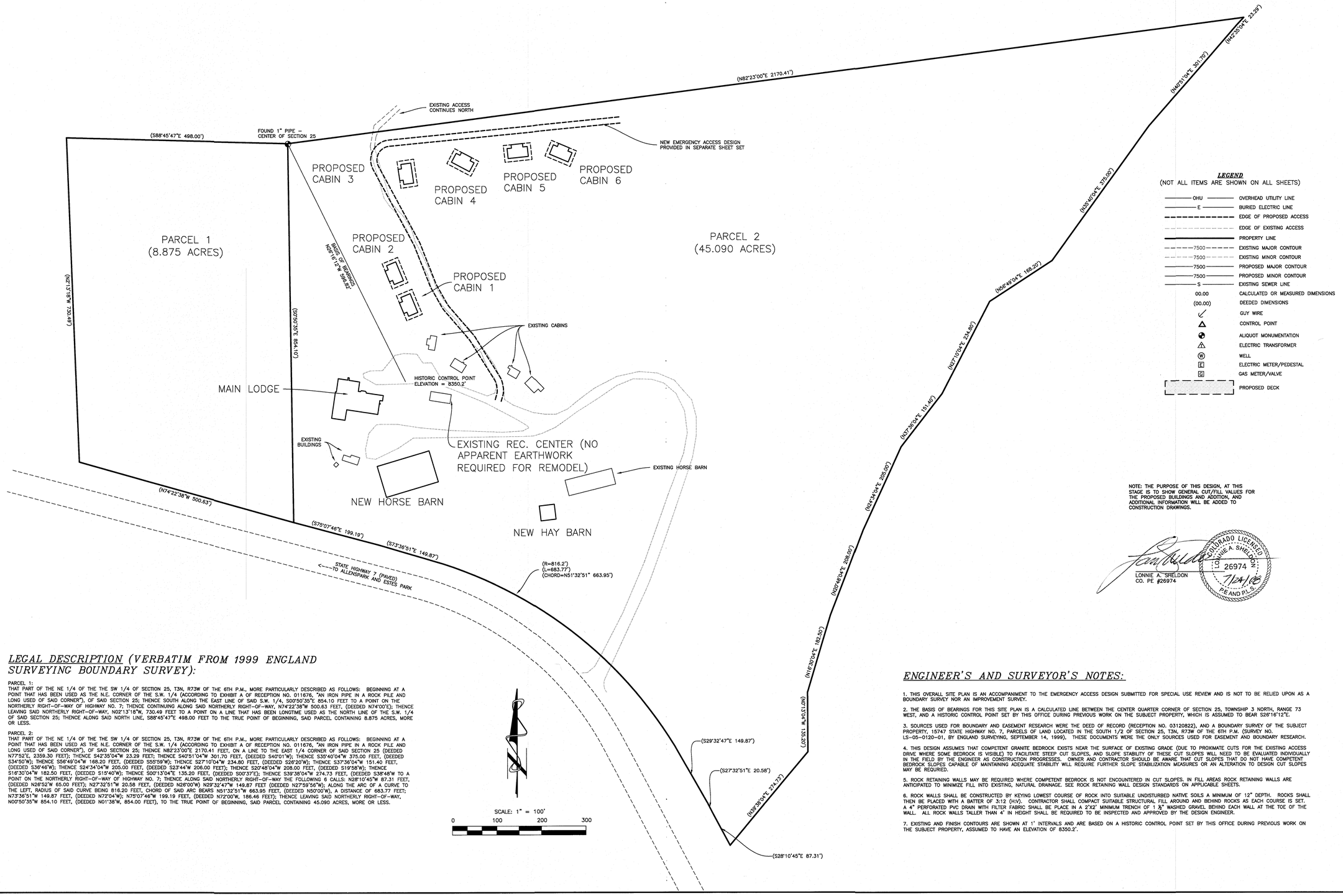
#	Date	Information
	03/27/18	SUP Resubmittal

PROJECT #: 18-01-101

SHEET #: A2.15

C:\Dropbox (C2D Architects)\C2D\Projects\18-01-101 Lupine Properties RMPR\CCD\Revit\C2D RMPR HAY SHED.rvt

OVERALL SITE PLAN FOR NEW CONSTRUCTION – ROCKY MOUNTAIN PATHWAYS VISITOR'S CABINS AND EARTHWORK CALCULATIONS



LEGEND
(NOT ALL ITEMS ARE SHOWN ON ALL SHEETS)

OHU	OVERHEAD UTILITY LINE
E	BURIED ELECTRIC LINE
	EDGE OF PROPOSED ACCESS
	EDGE OF EXISTING ACCESS
	PROPERTY LINE
7500	EXISTING MAJOR CONTOUR
7500	EXISTING MINOR CONTOUR
7500	PROPOSED MAJOR CONTOUR
7500	PROPOSED MINOR CONTOUR
S	EXISTING SEWER LINE
00.00	CALCULATED OR MEASURED DIMENSIONS
(00.00)	DEEDED DIMENSIONS
	GUY WIRE
	CONTROL POINT
	ALIQUOT MONUMENTATION
	ELECTRIC TRANSFORMER
W	WELL
E	ELECTRIC METER/PEDESTAL
G	GAS METER/VALVE
	PROPOSED DECK

NOTE: THE PURPOSE OF THIS DESIGN, AT THIS STAGE IS TO SHOW GENERAL CUT/FILL VALUES FOR THE PROPOSED BUILDINGS AND ADDITION, AND ADDITIONAL INFORMATION WILL BE ADDED TO CONSTRUCTION DRAWINGS.

LONNIE A. SHELDON
CO. PE #26974

COLORADO LICENSED
LONNIE A. SHELDON
26974
7/24/18
PE AND PLS

LEGAL DESCRIPTION (VERBATIM FROM 1999 ENGLAND SURVEYING BOUNDARY SURVEY):

PARCEL 1:
THAT PART OF THE NE 1/4 OF THE THE SW 1/4 OF SECTION 25, T3N, R73W OF THE 6TH P.M., MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT A POINT THAT HAS BEEN USED AS THE N.E. CORNER OF THE S.W. 1/4 (ACCORDING TO EXHIBIT A OF RECEPTION NO. 011676, "AN IRON PIPE IN A ROCK PILE AND LONG USED OF SAID CORNER"), OF SAID SECTION 25; THENCE SOUTH ALONG THE EAST LINE OF SAID S.W. 1/4, S00°50'35"E 854.10 FEET TO A POINT ON THE NORTHERLY RIGHT–OF–WAY OF HIGHWAY NO. 7; THENCE CONTINUING ALONG SAID NORTHERLY RIGHT–OF–WAY, N74°22'38"W 500.63 FEET, (DEEDED N74°00'E); THENCE LEAVING SAID NORTHERLY RIGHT–OF–WAY, N02°13'18"W, 730.49 FEET TO A POINT ON A LINE THAT HAS BEEN LONGTIME USED AS THE NORTH LINE OF THE S.W. 1/4 OF SAID SECTION 25; THENCE ALONG SAID NORTH LINE, S88°45'47"E 498.00 FEET TO THE TRUE POINT OF BEGINNING, SAID PARCEL CONTAINING 8.875 ACRES, MORE OR LESS.

PARCEL 2:
THAT PART OF THE NE 1/4 OF THE THE SW 1/4 OF SECTION 25, T3N, R73W OF THE 6TH P.M., MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT A POINT THAT HAS BEEN USED AS THE N.E. CORNER OF THE S.W. 1/4 (ACCORDING TO EXHIBIT A OF RECEPTION NO. 011676, "AN IRON PIPE IN A ROCK PILE AND LONG USED OF SAID CORNER"), OF SAID SECTION 25; THENCE N82°23'00"E 2170.41 FEET, ON A LINE TO THE EAST 1/4 CORNER OF SAID SECTION 25 (DEEDED N77°52'E, 2359.30 FEET); THENCE S42°35'04"W 23.29 FEET; THENCE S40°51'04"W 301.70 FEET, (DEEDED S40°01'W); THENCE S35°40'04"W 375.00 FEET, (DEEDED S34°50'W); THENCE S56°49'04"W 168.20 FEET, (DEEDED S55°59'W); THENCE S27°10'04"W 234.80 FEET, (DEEDED S26°20'W); THENCE S37°36'04"W 151.40 FEET, (DEEDED S36°46'W); THENCE S24°34'04"W 205.00 FEET, (DEEDED S23°44'W 206.00 FEET); THENCE S20°48'04"W 208.00 FEET, (DEEDED S19°58'W); THENCE S16°30'04"W 182.50 FEET, (DEEDED S15°40'W); THENCE S00°13'04"E 135.20 FEET, (DEEDED S00°37'E); THENCE S39°38'04"W 274.73 FEET, (DEEDED S38°48'W TO A POINT ON THE NORTHERLY RIGHT–OF–WAY OF HIGHWAY NO. 7; THENCE ALONG SAID NORTHERLY RIGHT–OF–WAY THE FOLLOWING 6 CALLS: N28°10'45"W 87.31 FEET, (DEEDED N26°52'W 65.00 FEET); N27°32'51"W 20.58 FEET, (DEEDED N26°00'W) N29°32'47"W 149.87 FEET (DEEDED N27°59'56"W); ALONG THE ARC OF A CURVE TO THE LEFT, RADIUS OF SAID CURVE BEING 816.20 FEET, CHORD OF SAID ARC BEARS N51°32'51"W 663.95 FEET, (DEEDED N50°00'W), A DISTANCE OF 683.77 FEET; N73°36'51"W 149.87 FEET, (DEEDED N72°04'W); N75°07'46"W 199.19 FEET, (DEEDED N72°00'W, 186.46 FEET); THENCE LEAVING SAID NORTHERLY RIGHT–OF–WAY, N00°50'35"W 854.10 FEET, (DEEDED N01°38'W, 854.00 FEET), TO THE TRUE POINT OF BEGINNING, SAID PARCEL CONTAINING 45.090 ACRES, MORE OR LESS.

ENGINEER'S AND SURVEYOR'S NOTES:

1. THIS OVERALL SITE PLAN IS AN ACCOMPANIMENT TO THE EMERGENCY ACCESS DESIGN SUBMITTED FOR SPECIAL USE REVIEW AND IS NOT TO BE RELIED UPON AS A BOUNDARY SURVEY NOR AN IMPROVEMENT SURVEY.

2. THE BASIS OF BEARINGS FOR THIS SITE PLAN IS A CALCULATED LINE BETWEEN THE CENTER QUARTER CORNER OF SECTION 25, TOWNSHIP 3 NORTH, RANGE 73 WEST, AND A HISTORIC CONTROL POINT SET BY THIS OFFICE DURING PREVIOUS WORK ON THE SUBJECT PROPERTY, WHICH IS ASSUMED TO BEAR S26°16'12"E.

3. SOURCES USED FOR BOUNDARY AND EASEMENT RESEARCH WERE THE DEED OF RECORD (RECEPTION NO. 03120822), AND A BOUNDARY SURVEY OF THE SUBJECT PROPERTY, 15747 STATE HIGHWAY NO. 7, PARCELS OF LAND LOCATED IN THE SOUTH 1/2 OF SECTION 25, T3N, R73W OF THE 6TH P.M. (SURVEY NO. LS–05–0120–01, BY ENGLAND SURVEYING, SEPTEMBER 14, 1999). THESE DOCUMENTS WERE THE ONLY SOURCES USED FOR EASEMENT AND BOUNDARY RESEARCH.

4. THIS DESIGN ASSUMES THAT COMPETENT GRANITE BEDROCK EXISTS NEAR THE SURFACE OF EXISTING GRADE (DUE TO PROXIMATE CUTS FOR THE EXISTING ACCESS DRIVE WHERE SOME BEDROCK IS VISIBLE) TO FACILITATE STEEP CUT SLOPES, AND SLOPE STABILITY OF THESE CUT SLOPES WILL NEED TO BE EVALUATED INDIVIDUALLY IN THE FIELD BY THE ENGINEER AS CONSTRUCTION PROGRESSES. OWNER AND CONTRACTOR SHOULD BE AWARE THAT CUT SLOPES THAT DO NOT HAVE COMPETENT BEDROCK SLOPES CAPABLE OF MAINTAINING ADEQUATE STABILITY WILL REQUIRE FURTHER SLOPE STABILIZATION MEASURES OR AN ALTERATION TO DESIGN CUT SLOPES MAY BE REQUIRED.

5. ROCK RETAINING WALLS MAY BE REQUIRED WHERE COMPETENT BEDROCK IS NOT ENCOUNTERED IN CUT SLOPES. IN FILL AREAS ROCK RETAINING WALLS ARE ANTICIPATED TO MINIMIZE FILL INTO EXISTING, NATURAL DRAINAGE. SEE ROCK RETAINING WALL DESIGN STANDARDS ON APPLICABLE SHEETS.

6. ROCK WALLS SHALL BE CONSTRUCTED BY KEYING LOWEST COURSE OF ROCK INTO SUITABLE UNDISTURBED NATIVE SOILS A MINIMUM OF 12" DEPTH. ROCKS SHALL THEN BE PLACED WITH A BATTER OF 3:12 (H:V). CONTRACTOR SHALL COMPACT SUITABLE STRUCTURAL FILL AROUND AND BEHIND ROCKS AS EACH COURSE IS SET. A 4" PERFORATED PVC DRAIN WITH FILTER FABRIC SHALL BE PLACE IN A 2'X2' MINIMUM TRENCH OF 1 ½" WASHED GRAVEL BEHIND EACH WALL AT THE TOE OF THE WALL. ALL ROCK WALLS TALLER THAN 4' IN HEIGHT SHALL BE REQUIRED TO BE INSPECTED AND APPROVED BY THE DESIGN ENGINEER.

7. EXISTING AND FINISH CONTOURS ARE SHOWN AT 1' INTERVALS AND ARE BASED ON A HISTORIC CONTROL POINT SET BY THIS OFFICE DURING PREVIOUS WORK ON THE SUBJECT PROPERTY, ASSUMED TO HAVE AN ELEVATION OF 8350.2'.

DATE	REVISION	BY

VAN HORN ENGINEERING AND SURVEYING
1043 FISH CREEK RD. ESTES PARK, COLORADO 80517
PHONE: (970) 586-9398 • email: vhe@vhlts.com

GRADING PLAN

PROJECT: ROCKY MOUNTAIN PATHWAYS RANCH
15747 HIGHWAY 7, BOULDER COUNTY

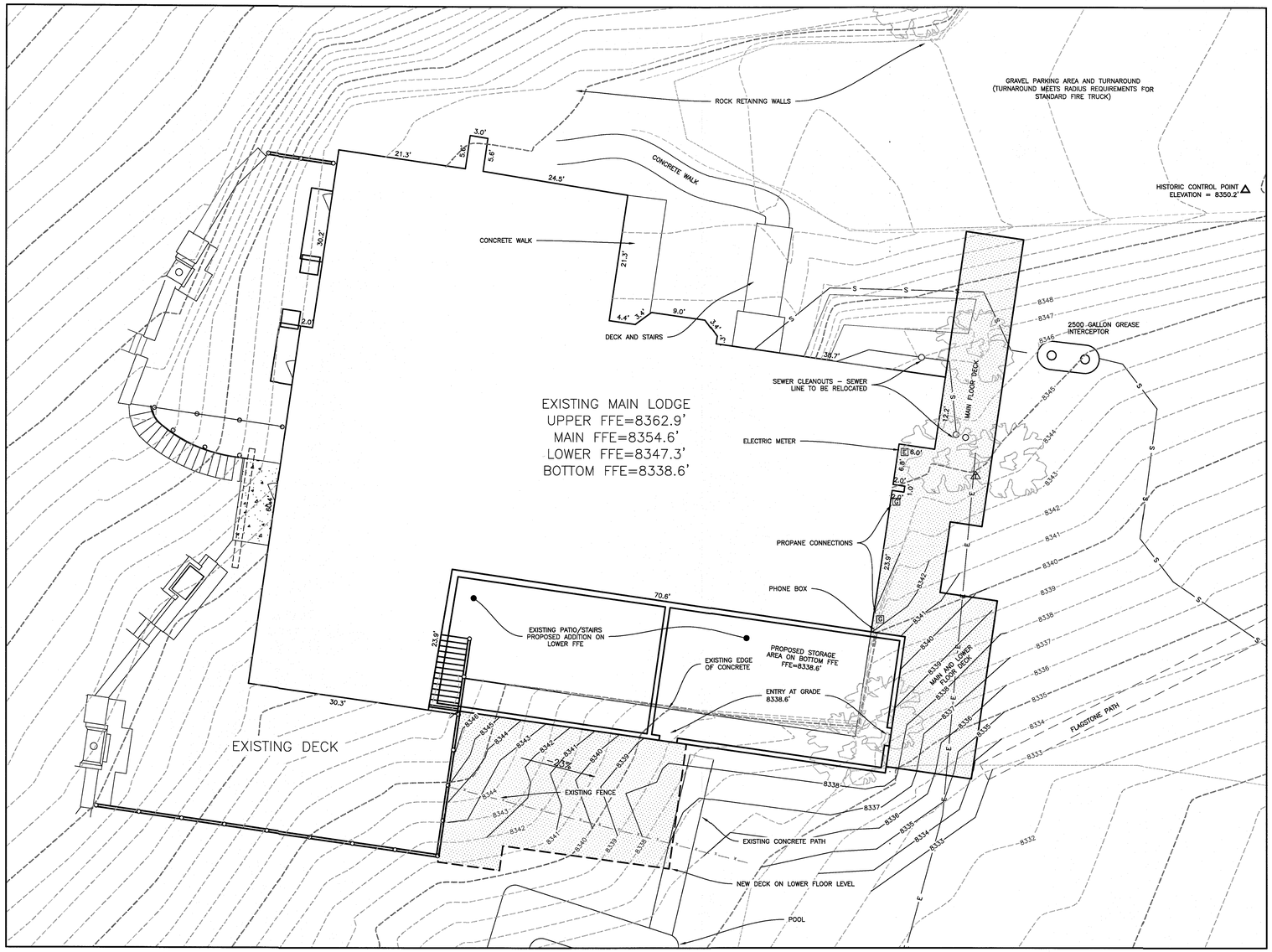
SHEET

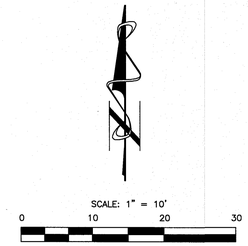
DRAWN BY:	BOR
CHECKED BY:	LAS
SCALE	1"=100'
DATE:	7/24/2018
SHEET	1
OF	5
PROJ. NO.	2010–09–09

GRADING PLAN FOR ROCKY MOUNTAIN PATHWAYS RANCH

15747 HIGHWAY 7, UNINCORPORATED BOULDER COUNTY, COLORADO

MAIN LODGE ADDITION GRADING PLAN – SCALE 1"=10'





LEGEND

(NOT ALL ITEMS ARE SHOWN ON ALL SHEETS)

OHU	OVERHEAD UTILITY LINE
E	BURIED ELECTRIC LINE
	EDGE OF PROPOSED ACCESS
	EDGE OF EXISTING ACCESS
	PROPERTY LINE
7500	EXISTING MAJOR CONTOUR
7500	EXISTING MINOR CONTOUR
7500	PROPOSED MAJOR CONTOUR
7500	PROPOSED MINOR CONTOUR
S	EXISTING SEWER LINE
00.00	CALCULATED OR MEASURED DIMENSIONS
(00.00)	DEEDED DIMENSIONS
	GUY WIRE
	CONTROL POINT
	ALIQUOT MONUMENTATION
	ELECTRIC TRANSFORMER
W	WELL
E	ELECTRIC METER/PEDESTAL
G	GAS METER/VALVE
	PROPOSED DECK

NOTE: THE PURPOSE OF THIS DESIGN, AT THIS STAGE IS TO SHOW GENERAL CUT/FILL VALUES FOR THE PROPOSED BUILDINGS AND ADDITION, AND ADDITIONAL INFORMATION WILL BE ADDED TO CONSTRUCTION DRAWINGS.

LONNIE A. SHELDON
CO. PE #26974

COLORADO LICENSED
LONNIE A. SHELDON
26974
7/24/18
P.E. AND P.L.S.

Cut/Fill Summary

Name	Cut Factor	Fill Factor	2d Area	Cut	Fill	Net
Main Lodge Volume	1.000	1.000	4012 Sq. Ft.	69 Cu. Yd.	88 Cu. Yd.	18 Cu. Yd.<Fill>

DATE	REVISION	BY

VAN HORN ENGINEERING AND SURVEYING
1043 FISH CREEK RD. • ESTES PARK, COLORADO 80517
PHONE: (970) 586-9398 • email: vhes@frpts.com

GRADING PLAN

PROJECT: ROCKY MOUNTAIN PATHWAYS RANCH
15747 HIGHWAY 7, BOULDER COUNTY

DRAWN BY:	BOR
CHECKED BY:	LAS
SCALE	1"=10'
DATE:	7/24/2018
SHEET	2 OF 5
PROJ. NO.	2010-09-09

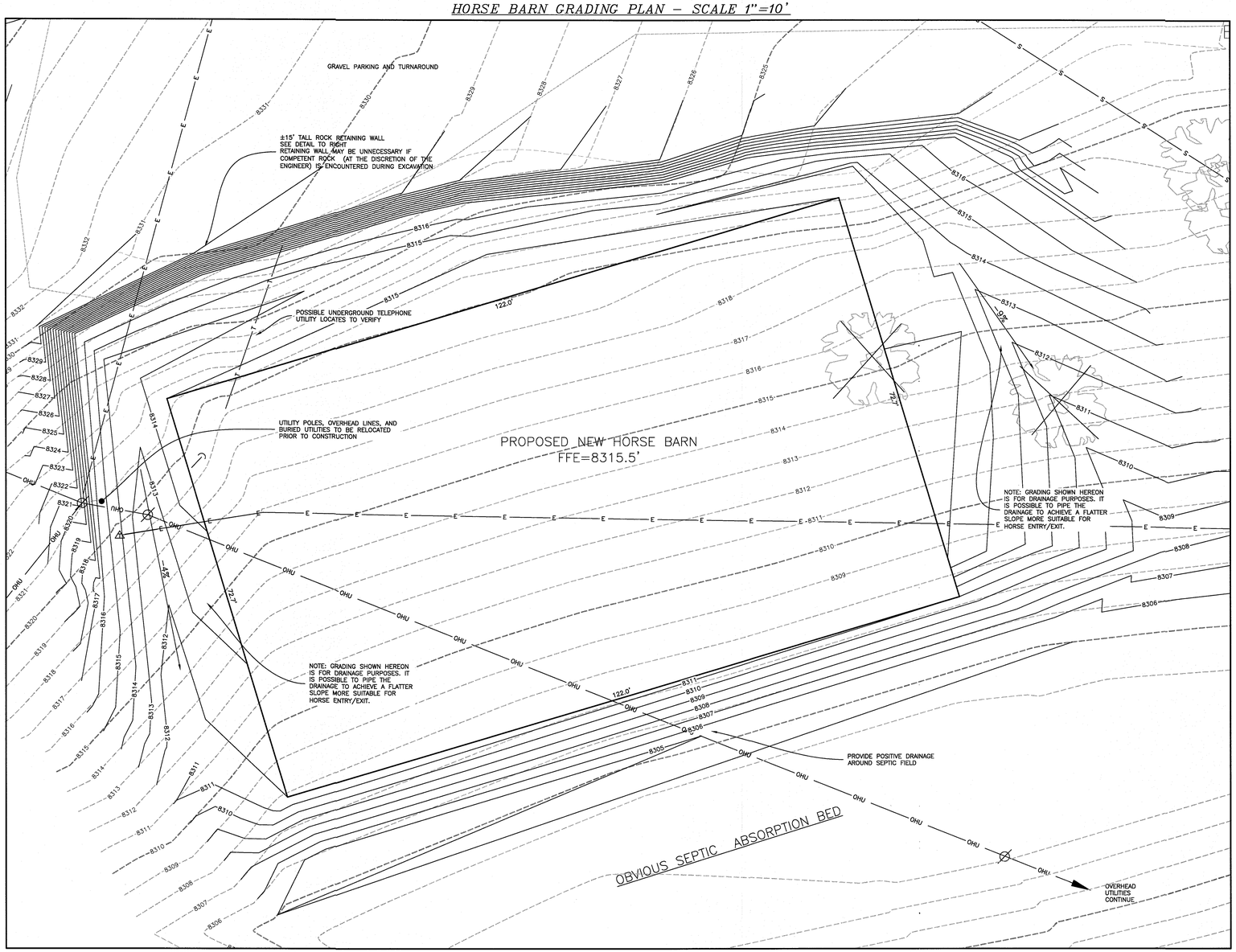
GRADING PLAN FOR ROCKY MOUNTAIN PATHWAYS RANCH

15747 HIGHWAY 7, UNINCORPORATED BOULDER COUNTY, COLORADO

Cut/Fill Summary

Name	Cut Factor	Fill Factor	2d Area	Cut	Fill	Net
Horse Barn Volume	**1.000**	**1.000**	21769 Sq. Ft.	1572 Cu. Yd.	729 Cu. Yd.	842 Cu. Yd.<Cut>

HORSE BARN GRADING PLAN – SCALE 1"=10'



SCALE: 1" = 10'

0 10 20 30

LEGEND

(NOT ALL ITEMS ARE SHOWN ON ALL SHEETS)

- OVERHEAD UTILITY LINE
- BURIED ELECTRIC LINE
- EDGE OF PROPOSED ACCESS
- EDGE OF EXISTING ACCESS
- PROPERTY LINE
- 7500 EXISTING MAJOR CONTOUR
- 7500 EXISTING MINOR CONTOUR
- 7500 PROPOSED MAJOR CONTOUR
- 7500 PROPOSED MINOR CONTOUR
- EXISTING SEWER LINE
- 00.00 CALCULATED OR MEASURED DIMENSIONS
- (00.00) DEEDED DIMENSIONS
- GUY WIRE
- CONTROL POINT
- ALIQUOT MONUMENTATION
- ELECTRIC TRANSFORMER
- WELL
- E ELECTRIC METER/PEDESTAL
- G GAS METER/VALVE
- PROPOSED DECK

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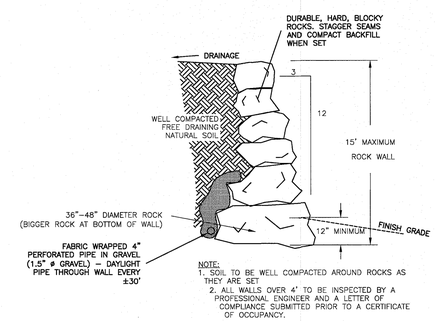
LONNIE A. SHELDON
CO. PE #26974

COLORADO LICENSED
LONNIE A. SHELDON
26974
7/24/18
PE AND PLS

ROCK RETAINING WALL DESIGN
NO SCALE



NOTE:
1. SOIL TO BE WELL COMPACTED AROUND ROCKS AS THEY ARE SET
2. ALL WALLS OVER 4' TO BE INSPECTED BY A PROFESSIONAL ENGINEER AND A LETTER OF COMPLIANCE SUBMITTED PRIOR TO A CERTIFICATE OF OCCUPANCY.

DATE	REVISION	BY

VAN HORN ENGINEERING AND SURVEYING
1043 FISH CREEK RD. ESTES PARK, COLORADO 80517
PHONE: (970) 586-9388 • eMail: vhe@qirbits.com

SHEET

GRADING PLAN

PROJECT

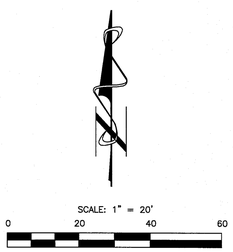
ROCKY MOUNTAIN PATHWAYS RANCH
15747 HIGHWAY 7, BOULDER COUNTY

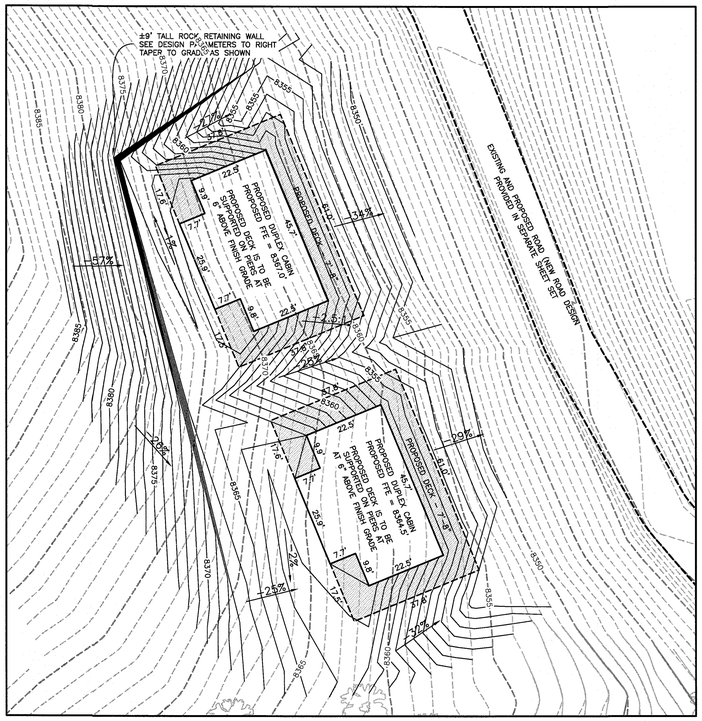
DRAWN BY:	BOR
CHECKED BY:	LAS
SCALE	1"=10'
DATE:	7/24/2018
SHEET	3
OF	5
PROJ. NO.	2010-09-09

GRADING PLAN FOR ROCKY MOUNTAIN PATHWAYS RANCH

15747 HIGHWAY 7, UNINCORPORATED BOULDER COUNTY, COLORADO

CABINS 1 AND 2 GRADING PLAN – SCALE 1"=20'





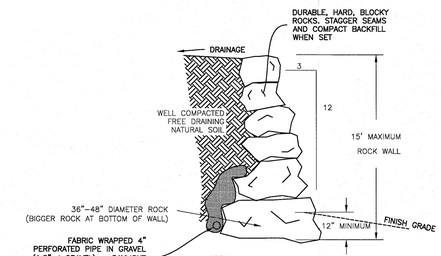
LEGEND

(NOT ALL ITEMS ARE SHOWN ON ALL SHEETS)

OHU	OVERHEAD UTILITY LINE
E	BURIED ELECTRIC LINE
	EDGE OF PROPOSED ACCESS
	EDGE OF EXISTING ACCESS
	PROPERTY LINE
7500	EXISTING MAJOR CONTOUR
7500	EXISTING MINOR CONTOUR
7500	PROPOSED MAJOR CONTOUR
7500	PROPOSED MINOR CONTOUR
S	EXISTING SEWER LINE
00.00	CALCULATED OR MEASURED DIMENSIONS
(00.00)	DEEDED DIMENSIONS
	GUY WIRE
	CONTROL POINT
	ALIQUOT MONUMENTATION
	ELECTRIC TRANSFORMER
W	WELL
E	ELECTRIC METER/PEDESTAL
G	GAS METER/VALVE
	PROPOSED DECK

ROCK RETAINING WALL DESIGN

NO SCALE



NOTE:
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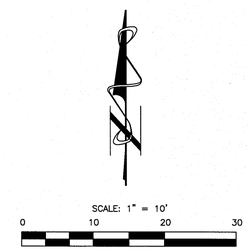
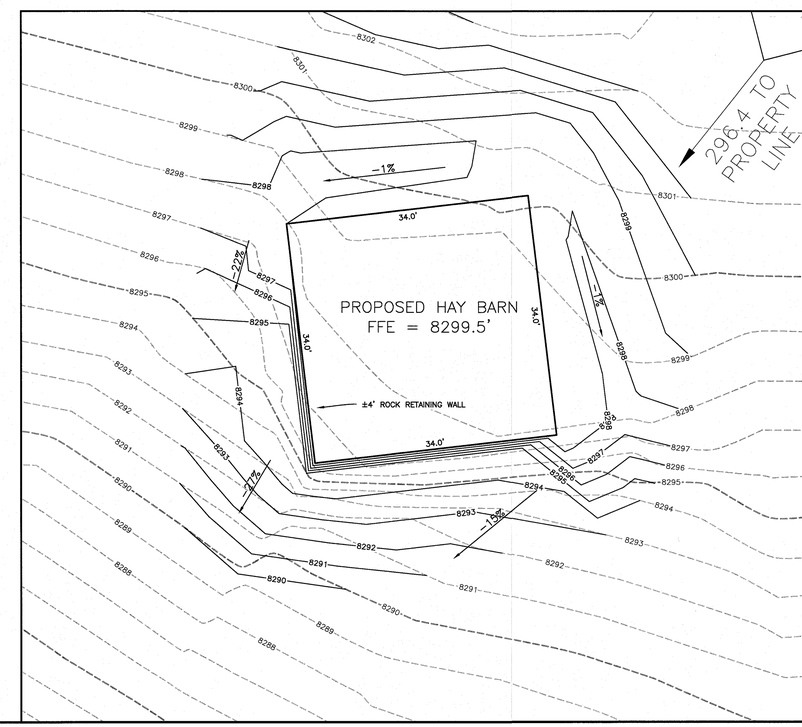
LONNIE A. SHELDON
CO. PE #26974

COLORADO LICENSED
LONNIE A. SHELDON
26974
7/24/18
PE AND PLS



HAY BARN GRADING PLAN – SCALE 1"=10'



Cut/Fill Summary

Name	Cut Factor	Fill Factor	2d Area	Cut	Fill	Net
Cabin 1 and 2 Volume	**1.000**	**1.000**	14621 Sq. Ft.	1761 Cu. Yd.	17 Cu. Yd.	1743 Cu. Yd.<Cut>

Cut/Fill Summary

Name	Cut Factor	Fill Factor	2d Area	Cut	Fill	Net
Hay Barn Volume	**1.000**	**1.000**	4956 Sq. Ft.	111 Cu. Yd.	39 Cu. Yd.	72 Cu. Yd.<Cut>

DATE	REVISION	BY

VAN HORN ENGINEERING AND SURVEYING
1041 FIRST STREET, PLATTEVILLE, COLORADO 80651
PHONE: (970) 586-9388 • eMail: vhe@qwestoffice.net

GRADING PLAN

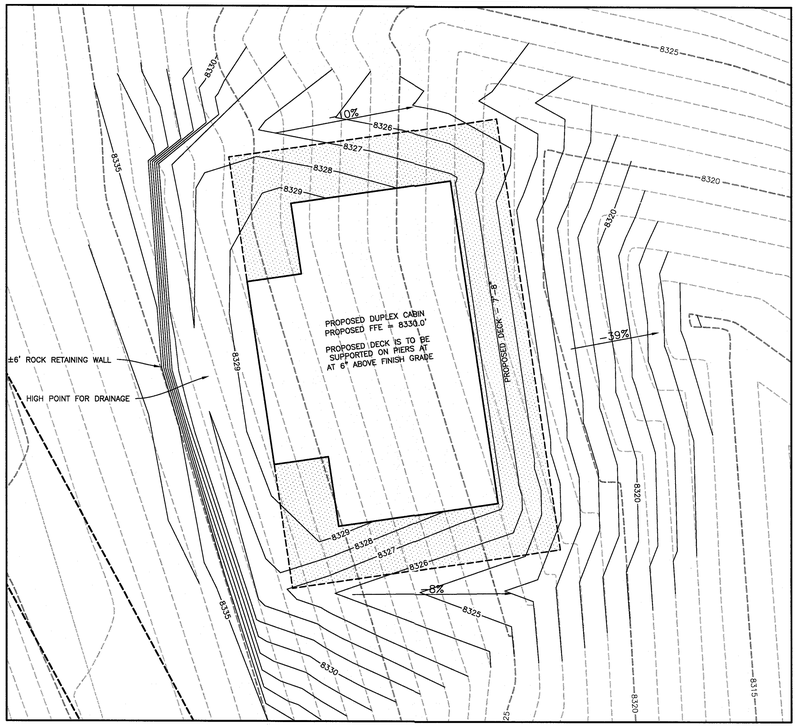
PROJECT
ROCKY MOUNTAIN PATHWAYS RANCH
15747 HIGHWAY 7, BOULDER COUNTY

DRAWN BY:	BOR
CHECKED BY:	LAS
SCALE	AS SHOWN
DATE:	7/24/2018
SHEET	4
OF	5
PROJ. NO.	2010-09-09

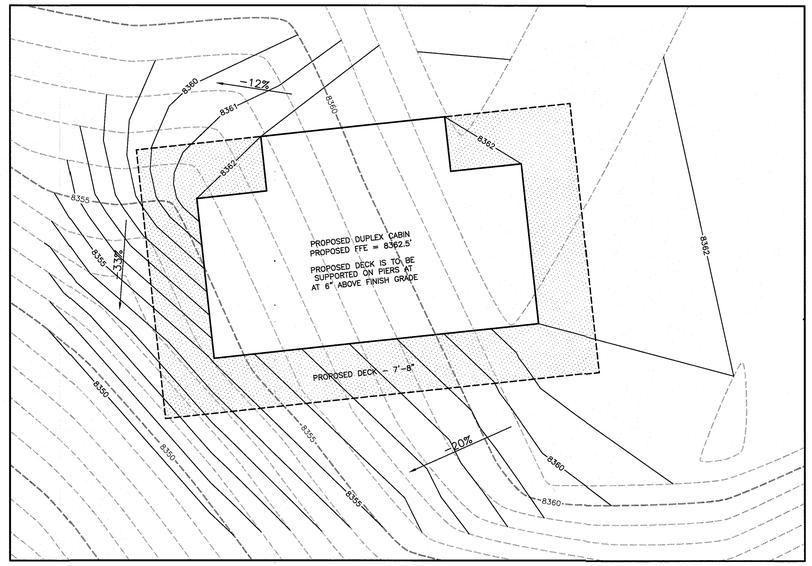
GRADING PLAN FOR ROCKY MOUNTAIN PATHWAYS RANCH

15747 HIGHWAY 7, UNINCORPORATED BOULDER COUNTY, COLORADO

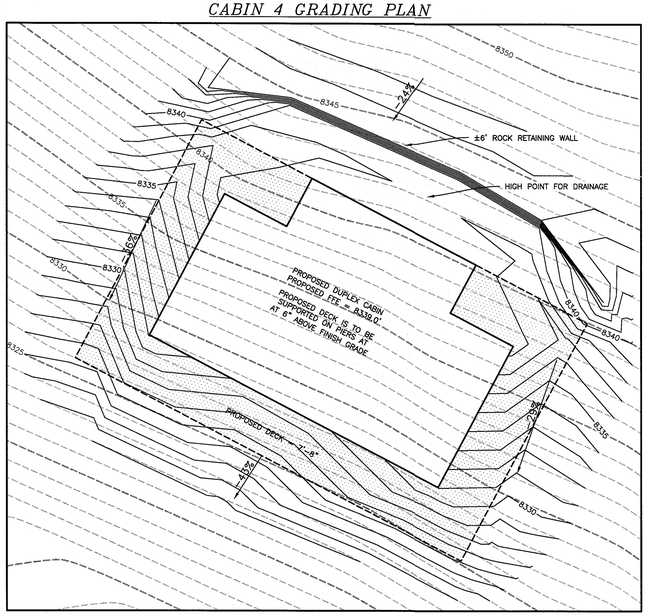
CABIN 3 GRADING PLAN



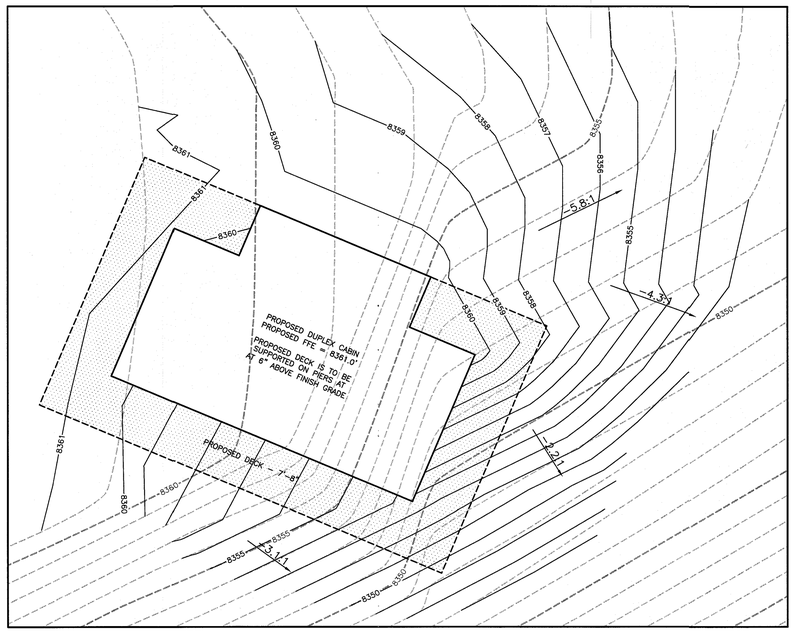
CABIN 5 GRADING PLAN



CABIN 4 GRADING PLAN



CABIN 6 GRADING PLAN



SCALE: 1" = 10'

0 10 20 30

LEGEND

(NOT ALL ITEMS ARE SHOWN ON ALL SHEETS)

OHU	OVERHEAD UTILITY LINE
E	BURIED ELECTRIC LINE
	EDGE OF PROPOSED ACCESS
	EDGE OF EXISTING ACCESS
	PROPERTY LINE
7500	EXISTING MAJOR CONTOUR
7500	EXISTING MINOR CONTOUR
7500	PROPOSED MAJOR CONTOUR
7500	PROPOSED MINOR CONTOUR
S	EXISTING SEWER LINE
00.00	CALCULATED OR MEASURED DIMENSIONS
(00.00)	DEEDED DIMENSIONS
	GUY WIRE
	CONTROL POINT
	ALIQUOT MONUMENTATION
	ELECTRIC TRANSFORMER
W	WELL
E	ELECTRIC METER/PEDESTAL
G	GAS METER/VALVE
	PROPOSED DECK

NOTE: THE PURPOSE OF THIS DESIGN, AT THIS STAGE IS TO SHOW GENERAL CUT/FILL VALUES FOR THE PROPOSED BUILDINGS AND ADDITION, AND ADDITIONAL INFORMATION WILL BE ADDED TO CONSTRUCTION DRAWINGS.

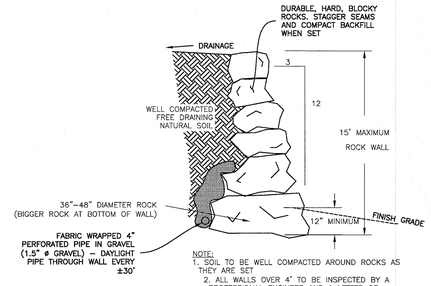
COLORADO LICENSED LONNIE A. SHELDON 26974 P.E. AND P.L.S.

7/24/18

LONNIE A. SHELDON
CO. PE #26974

ROCK RETAINING WALL DESIGN

NO SCALE



NOTE:
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2. ALL WALLS OVER 4' TO BE INSPECTED BY A PROFESSIONAL ENGINEER AND A LETTER OF COMPLIANCE SUBMITTED PRIOR TO A CERTIFICATE OF OCCUPANCY.

Cut/Fill Summary

Name	Cut	Fill	Net
Cabin 3 Volume	196 Cu. Yd.	169 Cu. Yd.	27 Cu. Yd.<Cut>
Cabin 4 Volume	116 Cu. Yd.	83 Cu. Yd.	33 Cu. Yd.<Cut>
Cabin 5 Volume	27 Cu. Yd.	118 Cu. Yd.	91 Cu. Yd.<Fill>
Cabin 6 Volume	26 Cu. Yd.	316 Cu. Yd.	289 Cu. Yd.<Fill>

Cut Factor	Fill Factor	2d Area
1.000	1.000	5272 Sq. Ft.
1.000	1.000	4816 Sq. Ft.
1.000	1.000	4367 Sq. Ft.
1.000	1.000	5480 Sq. Ft.

DATE	REVISION	BY

VAN HORN ENGINEERING AND SURVEYING
1043 FISH CREEK RD. • ESTES PARK, COLORADO 80517
PHONE: (970) 586-9388 • eMail: vhe@qirbits.com

SHEET: GRADING PLAN

PROJECT: ROCKY MOUNTAIN PATHWAYS RANCH
15747 HIGHWAY 7, BOULDER COUNTY

DRAWN BY:	BOR
CHECKED BY:	LAS
SCALE	1"=10'
DATE:	7/24/2018
SHEET	5
OF	5
PROJ. NO.	2010-09-09

ATTACHMENT B

ORIGINAL

Parcel Report

Land Use Department
Courthouse Annex
2045 13th St. - 13th & Spruce Streets
P.O. Box 471 Boulder Colorado 80306-0471
www.bouldercounty.org
Planning 303-441-3930 Building 303-441-3925

Parcel Number	Section	Township	Range
119725000001	25	3N	73

Subdivision
TR, NBR 960 ALLENSPARK AREA

SITE ADDRESS (1)

R0057403 15747 HWY 7 UNINCORPORATED, 80510

OWNER INFORMATION (1)

Account	Name	Mailing Address
R0057403	ROCKY MOUNTAIN PATHWAYS INC	, 320 N HALSTEAD ST STE 210, , PASADENA, CA 91107

LOCATION INFORMATION

Note: The estimate acres will likely not match the recorded acreage of the property, please see the legal description, plat, or deed for the actual acreage.
Because of small inconsistencies in the locations of lines in the map layers, this location information searches may show information from adjacent parcels even though no overlap is visible on the screen.
View the map at an approprate scale to resolve any uncertainty.

	On or Adjacent to Parcel
Estimated Area	2,721,809 (62.48a.)
Zoning	F (62.48 Acres)
Floodplain	Boulder County: NOT PRESENT FEMA: X (62.48 Acres)
Open Space Ownership	NOT PRESENT
County Plats	NOT PRESENT
Wind and Snow Load	175 mph. 55 lbs/sqft.
Fire Protection	ALLENSPARK FIRE

LEGAL DESCRIPTION (1)

R0057403 TR 1472 8.90 ACS M/L & 48 ACS M/L IN SE 1/4 25-3N-73 TOTAL 62.6 ACS M/L PER LS-10-0220 & LESS 0.021 ACS ROW PER REC # 3703248 3/20/2019

ACRES

R0057403 62.60

PERMIT AND DOCKET HISTORY (53)

Note: Parcel numbers and addresses may change over time. Only permits/dockets with the exact same parcel number or address at the time of application are shown.

On Parcel Number: 119725000001

Permit/Docket Parcel Numbers(s)	Type Permit/Docket Address(es)	Application Name Application Date	Application Status	Status Date Permit Value
SU-17-0006	Special Use Review	Rocky Mountain Pathways Ranch		
119725000001	15747 HWY 7	10/16/2017	In Process	5/27/2019
Special Review to expand the existing Resort Lodge/Guest Ranch to allow for the construction of an Indoor Horse Barn, a Hay Storage Barn, and six Duplex Cabins, the remodel and addition to the Main Lodge and Recreational Center, and an increase in occupancy to 80 students and 40 staff during the day and 80 students and 8 staff overnight, and the rental of cabins to the public during summer months.				
PAC-17-0156	PreApplication Conference	Porche		
119725000001	15747 HWY 7	4/4/2017	PAC Held	5/5/2017
SU - new riding arena & hay barn - SO/KB				
MD-17-0010	Modification Determination - SPR	Rocky Mountain Pathways, Inc Minor Modificaiton		
119725000001	15747 HWY 7	4/4/2017	Complete	4/28/2017
Approved: Request for a minor modification to SU-94-01 approval to allow for a solar array and 15,000 gallon cistern.				
PAC-17-0066	PreApplication Conference	Rodriguez		
119725000001	15747 HWY 7	2/8/2017	PAC Not Held	3/17/2017
SU- riding arena @ existing camp- Sinead- If - email sent and phone call and no response received				
BP-16-2513	Commercial Remodel	15747 State Hwy 7		
119725000001	15747 STATE HW 7	12/1/2016	Permit Issued	12/19/2016
Replace 3 windows in Existing Openings in the Dorm Room (Commercial)				$4288.00
BP-16-1846	Window and Door Replacement	15747 State Hwy 7		
119725000001	15747 STATE HW 7	9/13/2016	Application Withdrawn	9/13/2016
Replace 2 windows in Existing Openings				$3740.00

ATTACHMENT B

ORIGINAL

BP-15-2469	Commercial Deconstruction	15747 State Hw 7		
119725000001	15747 State Hw 7	11/18/2015	Permit Complete	5/5/2016
Deconstruct Cabin "Hogan" (RES-14-0102)				$10000.00
BP-15-2468	Commercial Deconstruction	15747 State Hw 7		
119725000001	15747 State Hw 7	11/18/2015	Permit Complete	5/5/2016
Deconstruct Cabin "Ute" (RES-14-0102)				$10000.00
BP-15-2467	Commercial Deconstruction	15747 State Hw 7		
119725000001	15747 State Hw 7	11/18/2015	Permit Complete	5/5/2016
Deconstruct Cabin "Cheyenne" (RES-14-0102)				$10000.00
BP-15-2466	Commercial Deconstruction	15747 State Hw 7		
119725000001	15747 State Hw 7	11/18/2015	Permit Complete	5/5/2016
Deconstruct Cabin "Sundance" (RES-14-0102)				$10000.00
BP-15-2108	Commercial Addition	15747 State Hw 7		
119725000001	15747 State Hw 7	10/8/2015	Permit Complete	5/17/2017
New Cabin Rocky Mountain Pathways (Hogan Cabin) (RES-14-0102 / SU-94-01)				$175000.00
BP-15-1891	New Commercial Building	15747 State Hwy 7		
119725000001	15747 State Hw 7	9/16/2015	Permit Complete	5/17/2017
New Cabin Rocky Mountain Pathways Ranch (Ute Cabin) (RES-14-0102/SU-94-01)				$150000.00
BP-15-1890	New Commercial Building	15747 State Hwy 7		
119725000001	15747 State Hw 7	9/16/2015	Permit Complete	5/17/2017
New Cabin at Rocky Mountain Pathways Ranch (Sundance Cabin) (RES-14-0102/SU-94-01)				$150000.00
BP-15-1631	New Commercial Building	15747 State Hwy 7		
119725000001	15747 State Hw 7	8/20/2015	Permit Complete	5/17/2017
New Cabin at Rocky Mountain Pathways Ranch (Cheyenne Cabin) / (RES-14-0102 / SU-94-01)/see comment				$150000.00
BP-14-1986	Commercial Accessory Building	15747 State Hwy 7		
119725000001	15747 STATE HW 7	10/27/2014	Final Review Hold	1/9/2015
Commercial Hay Barn (RES-14-0102)				$80000.00
BP-14-1740	New Commercial Building	15747 State Hw 7		
119725000001	15747 STATE HW 7	9/22/2014	Permit Complete	8/28/2015
Accessible Restroom (RES-14-0102)				$35000.00
RES-14-0102	Research	notes Rocky Mountain Pathways		
119725000001	15747 Hwy 7	7/31/2014	Closed	7/31/2014
Notes Rocky Mountain Pathways. See Comments. Seedocuments/ comments for 10% cabin expansion.				
NWE-14-0033	Noxious Weed Enforcement	Myrtle Spurge		
119725000001	15747 STATE HW 7	4/21/2014	Closed Abated	10/23/2014
Myrtle Spurge reported on property.				
NWE-13-0127	Noxious Weed Enforcement	Myrtle Spurge		
119725000001	15747 STATE HW 7	7/30/2013	Closed Abated	4/15/2019
Myrtle Spurge reported on property.				
NWE-12-0191	Noxious Weed Enforcement	Myrtle Spurge		
119725000001	15747 STATE HW 7	8/29/2012	Closed Abated	12/19/2012
Myrtle Spurge reported on property.				
BP-11-0401	Commercial Addition	15747 State Hwy 7		
119725000001	15747 STATE HW 7	3/29/2011	Permit Complete	3/22/2016
Two Deck Additions, Install Barbeques & Fireplaces				$48000.00
LS-10-0220	Land Survey Plat	Land Survey		
119725000001	15747 STATE HW 7	12/13/2010	Application Received	12/22/2010
BOUNDARY SURVEY, TR 1472 8.90 ACS M/L & 48 ACS M/L IN SE 1/4 25-3N-73 TOTAL 56.90 ACS M/L PER 1923734 4/2/99 BCR ID 57203 COMBINED HERE 1/93, 119725000001				
ZON-10-0042	General Zoning Enforcement	Group home		
119725000001	15747 STATE HW 7	10/20/2010	No Violation Found	1/5/2011
CLOSED, NO VIOLATION. Complainant states a group home/youth care facility is being operated on-site.				
BP-10-1637	Commercial Remodel	15747 Hwy 7		
119725000001	15747 STATE HW 7	9/21/2010	Plan Check Hold	7/31/2014
Provide 2 Accessible Toilet Rooms				$18000.00
BP-10-1544	Commercial Remodel	15747 State Hwy 7		
119725000001	15747 STATE HW 7	9/10/2010	Permit Closed	10/12/2010
Replace Existing Type I Hood & Fire Supression System/New Gas Piping.				$9000.00
PAC-09-015	PreApplication Conference	PETKAVICH		
119725000001	15747 State Hwy 7	2/9/2009		
See SU-94-01. Need SU amendment for proposal to change use from Resort Lodge to Group Care facility.				

ATTACHMENT B

ORIGINAL

LS-06-0002	Land Survey Plat			
119725000001		1/5/2006		
BOUNDARY SURVEY 2 PARCELS CONTAINING 8.875 AND 45.09 ACRES.				
LS-05-0120	Land Survey Plat			
119725000001		8/6/2005		
BOUNDARY SURVEY TR 1472 & 48 AC M/L. 15747 HWY 7.				
BP-00-1980	Electrical Service Change			
119725000001	15747 STATE HW 7	10/24/2000		
ARIAL TO UNDERGROUND ELECT SVC-EXPIRED PER GERRY 4/24/2003-DRS				$750.00
BP-00-0977	Electrical Service Change			
119725000001	15747 STATE HW 7	6/8/2000	Final Inspection Complete	7/20/2000
ELECTRICAL / COMMERCIAL				$3500.00
BP-00-0852	Residential Remodel			
119725000001	15747 STATE HW 7	5/22/2000	Final Inspection Complete	7/21/2000
REMODEL LODGE				$25000.00
BP-00-0851	Electrical Service Change			
119725000001	15747 STATE HW 7	5/22/2000	Final Inspection Complete	6/28/2000
ELEC UPGRADE TO MAIN LODGE				$7500.00
BP-00-0396	Commercial Remodel			
119725000001	15747 STATE HW 7	3/17/2000		
REMOD INTERIOR & ENCLOSE PORCH- WITHDRAWN BY OWNER 4/15/2003-DRS				$35000.00
BP-00-0342	Commercial Remodel			
119725000001	15747 STATE HW 7	3/10/2000	Final Inspection Complete	7/18/2000
REROOF/REMODEL MAIN LODGE INTERIOR				$50000.00
BP-99-1463	Electrical Service Change			
119725000001	15747 STATE HW 7	8/18/1999	Final Inspection Complete	8/27/1999
REPAIR ELECT. SERVICE/& HOT TUB				$2900.00
BP-99-0698	Accessory Agricultural Building			
119725000001	15747 STATE HW 7	5/5/1999	Final Inspection Complete	2/1/2000
HORSE BARN				$80000.00
BP-99-0697	New Commercial Building			
119725000001	15747 STATE HW 7	5/5/1999	Final Inspection Complete	8/31/2000
DEMO SHEDS				$300.00
SU-98-15	Special Use Review	TURNING POINT CENTER		
119725000001	15747 State Hwy 7	12/2/1998	Withdrawn	12/28/2009
Application Withdrawn To Amend Docket #SU-94-1 (Lazy H Guest Ranch) from a Resort Lodge/Guest Ranch to a Group Care/Foster Home.				
BP-94-1921	New Commercial Building			
119725000001	15747 STATE HW 7	9/27/1994	Withdrawn	8/2/1995
STAFF LIVING QUARTERS				$65000.00
BP-94-0743	Commercial Remodel			
119725000001	15747 STATE HW 7	5/19/1994	Final Inspection Complete	5/14/1997
RE-ROOF PICNIC PAVILION				$1900.00
SU-94-01	Special Use Review	LAZY H Guest Ranch Renovation		
119725000001	15747 State Hwy 7	1/5/1994	BOCC Approved	6/9/1994
Special Use / Site Specific Development Plan to recognize the existing Resort Lodge / Guest Ranch with additions & sewage treatment facility, on a 561 acre parcel.				
BP-78-22879	Commercial Remodel	15747 State Hw 7		
119725000001	15747 STATE HW 7	2/27/1978		
REMODEL LODGE to Comply with LIQUOR LICENSE				
BP-77-21755	Commercial Addition			
119725000001	15747 STATE HW 7	3/3/1977		
ADD TO LODGE DININGRM				
SU-76-11	Special Use Review	ALLENSPARK WATER & SANITATION DISTR		
119725000001		6/11/1976	BOCC Approved	5/7/2012
Approval of Water Treatment Facilities in a Forestry (F) Zoning District				
BP-76-20615	New Commercial Building			
119725000001	15747 STATE HW 7	4/30/1976		
EMPLOYEE EATING AREA				
BP-72-15355	New Commercial Building			
119725000001	15747 STATE HW 7	3/22/1972		
BUILD RECREATION HALL				

ATTACHMENT B

ORIGINAL

BP-70-12281	Electrical Service Change		
119725000001	15747 STATE HW 7	1/26/1970	
ELEC TO LODGE & WELL HOUSE			
BP-64-7614	New Commercial Building		
119725000001	15747 STATE HW 7	7/15/1964	
RESORT CABIN			
BP-64-7505	Commercial Remodel		
119725000001	15747 STATE HW 7	6/9/1964	
REMODEL LODGE			
BP-60-4718	New Commercial Building		
119725000001	15747 STATE HW 7	7/7/1960	
RESORT CABIN			
BP-60-4717	New Commercial Building		
119725000001	15747 STATE HW 7	7/7/1960	
RESORT CABIN			
BP-82-1177	Commercial Addition		
119725000001	15747 PEAK TO PEAK	3/3/1953	
DRESSING RMS FOR POOL			$10861.00
BP-81-0078	Residential Addition		
119725000001	15747 STATE HW 7	3/3/1953	
FIRE DAMAGE REPAIR			$74718.00

RECENT DEEDS (8)

Date	Type	Reception No	Amount	Grantor	Grantee
3/12/2019	WD	3703248	$500	ROCKY MOUNTAIN PATHWAYS INC	COLORADO DEPARTMENT OF TRANSPORTATION
9/3/2010	SW	3120822	$0	CAPFINANCIAL PROPERTIES CV2 LLC	ROCKY MOUNTAIN PATHWAYS INC
9/3/2010	SW	3097911	$780,000	CAPFINANCIAL PROPERTIES CV2 LLC	ROCKY MOUNTAIN PATHWAYS INC
4/10/2009	PD	2991555	$0	MOERSCH KEVIN P	CAPFINANCIAL PROPERTIES CV2 LLC
4/2/1999	WD	1923734	$1,315,000		
3/19/1992	WD	1169070	$695,000		
12/30/1982	QD	526220	$311,000		
9/6/1978	WD	297593	$0		

ASSESSOR'S STRUCTURE INFORMATION

Account	Class	Design	Year Built	Remodeled
R0057403	LODGING-IMPROVEMENTS	LODGING	1952	2016

Building	Floor Area Description	Size	Structure Information
1	LODGING	11130	CONST - Commercial: Wood
	UNFINISHED AREA	726	EXT_WALL_PRIMARY: Log
	DECK AREA	280	FOUNDATION: Piers
			ROOF_DSN: Gable
			LAND_PERCENT: 45% LAND RATIO

Account	Class	Design	Year Built	Remodeled
R0057403	LODGING-IMPROVEMENTS	LODGING	1974	0

Building	Floor Area Description	Size	Structure Information
2	LODGING	920	CONST - Commercial: Wood
	PORCH AREA	288	EXT_WALL_PRIMARY: Log
			FOUNDATION: Piers
			ROOF_DSN: Gable
			LAND_PERCENT: 45% LAND RATIO

ATTACHMENT B

ORIGINAL

Account	Class	Design	Year Built	Remodeled
R0057403	LODGING-IMPROVEMENTS	COMMERCIAL UTILITY BUILDING	1976	0

Building	Floor Area Description	Size	Structure Information
3	COMMERCIAL UTILITY BUILDING	551	CONST - Commercial: Wood EXT_WALL_PRIMARY: Log FOUNDATION: Piers ROOF_DSN: Gable LAND_PERCENT: 45% LAND RATIO

Account	Class	Design	Year Built	Remodeled
R0057403	LODGING-IMPROVEMENTS	FARM UTILITY BUILDING	1971	0

Building	Floor Area Description	Size	Structure Information
4	FARM UTILITY BUILDING	264	

Account	Class	Design	Year Built	Remodeled
R0057403	LODGING-IMPROVEMENTS	OPEN CATTLE SHED	1976	0

Building	Floor Area Description	Size	Structure Information
5	OPEN CATTLE SHED	504	

Account	Class	Design	Year Built	Remodeled
R0057403	LODGING-IMPROVEMENTS	FARM UTILITY BUILDING	1976	0

Building	Floor Area Description	Size	Structure Information
6	FARM UTILITY BUILDING	960	

Account	Class	Design	Year Built	Remodeled
R0057403	LODGING-IMPROVEMENTS	STABLE	2000	0

Building	Floor Area Description	Size	Structure Information
7	STABLE	5280	

Account	Class	Design	Year Built	Remodeled
R0057403	LODGING-IMPROVEMENTS	FRATERNAL LODGE	2016	0

Building	Floor Area Description	Size	Structure Information
8	FRATERNAL LODGE	854	CONST - Commercial: Wood

Account	Class	Design	Year Built	Remodeled
R0057403	LODGING-IMPROVEMENTS	FRATERNAL LODGE	2016	0

Building	Floor Area Description	Size	Structure Information
9	FRATERNAL LODGE	854	CONST - Commercial: Wood

Account	Class	Design	Year Built	Remodeled
R0057403	LODGING-IMPROVEMENTS	FRATERNAL LODGE	2016	0

Building	Floor Area Description	Size	Structure Information
10	FRATERNAL LODGE	709	CONST - Commercial: Wood

Account	Class	Design	Year Built	Remodeled
R0057403	LODGING-IMPROVEMENTS	FRATERNAL LODGE	2016	0

Building	Floor Area Description	Size	Structure Information
11	FRATERNAL LODGE	709	CONST - Commercial: Wood

ESTIMATED RESIDENTIAL FLOOR AREA

Floor Area Description	Size

ROOMS

Account	Bld	Rooms	Bed	Bath	Bath 3/4	Bath 1/2
R0057403	1	2	1			

ACCOUNT ASSESSED VALUE

Account	Land	Structures	Total
R0057403	$1,350,000	$500,000	$1,850,000

TAXING DISTRICT

COUNTY
BOULDER CO TEMP HS SAFETY NET FUND
BOULDER COUNTY CAPITAL EXPEND FUND
BOULDER COUNTY CONTINGENCY FUND
BOULDER COUNTY DEVEL DISABILITY FUND
BOULDER COUNTY GENERAL OPERATING
BOULDER COUNTY HEALTH & HUMAN SERVICES
BOULDER COUNTY JUDGMENT LEVY FUND
BOULDER COUNTY PUBLIC WELFARE FUND

BOULDER COUNTY PUBLIC WORKS
BOULDER COUNTY REFUND ABATEMENT
BOULDER COUNTY RETIREMENT FUND
BOULDER COUNTY ROAD & BRIDGE
BOULDER COUNTY SELF INSURANCE FUND
BOULDER COUNTY SOLID WASTE FUND

FIRE PROTECTION DISTRICT

ALLENS PARK FIRE DIST ABATEMENT REFUND
ALLENS PARK FIRE DIST GENERAL OPERATING
ALLENS PARK FIRE DIST PENSION
ALLENS PARK FIRE DIST TAX CRED

SCHOOL DISTRICT

PARK LR-P-3J RESERVE
PARK LRP-3-J ABATEMENT REFUND
PARK LRP-3-J ASBESTOS ADA
PARK LRP-3-J BOND REDEMPTION
PARK LRP-3-J GENERAL OPERATING
PARK LRP-3-J OVERRIDE

TRANSPORTATION DISTRICT

RTD GENERAL OPERATING

UNINCORP CTY PLACE HOLDER DISTRICT

UNINCORP CTY PLACE HOLDER DISTRICT

WATER DISTRICT

ST VRAIN LEFT HAND WATER ABATE REFUND
ST VRAIN LEFT HAND WATER GENERAL OPER

EASEMENT AGREEMENT

THIS EASEMENT AGREEMENT (the "Easement Agreement") made as of this 20th Day of December 2001 is by and between Kevin P. Moersch ("Grantor") and Alice K. Platt ("Grantee"), hereinafter collectively the Parties or individually a Party.

RECITALS

WHEREAS, Grantor is the owner of a certain driveway/roadway located in Boulder County, Colorado, as more particularly described on Exhibit A attached hereto ("Grantor's Property"). Grantor's Property begins at the ingress/egress point from Colorado State Highway 7 and terminates at the ingress/egress point to the United States Department of Agriculture's Roosevelt National Forest. This point is located approximately at the call of NO1 18'39"W, 2.87' on the USDA's boundary line that is the East-West Centerline of Sec. 25, T3N, R73W, both as shown on Exhibit A; and

WHEREAS, Grantee is the owner of certain real property located in Boulder County, Colorado, as more particularly described on Exhibit B attached hereto (Grantee's Property"); and

WHEREAS, Grantee desires to obtain a non-commercial easement from Grantor for the purpose of ingress, egress and utilities access to and from Grantee's Property. Said easement is only for the driveway/roadway that lies on the Grantor's Property from Colorado State Highway 7 (a/k/a Peak to Peak Highway) up and to the point of exit onto the United States Department of Agriculture's Roosevelt National Forest; and

WHEREAS, Grantor has agreed to grant an easement to Grantee subject to the terms and conditions set forth herein.

NOW, THEREFORE, the Parties hereby declare that their respective properties described above shall be held, sold and conveyed subject to the following covenants and promises.

TERMS OF AGREEMENT

IN CONSIDERATION of the recitals and other good and valuable consideration the receipt and sufficiency of which are hereby acknowledged, the Parties hereby agree as follows:

1. Grantor hereby grants, bargains, sells and conveys to Grantee a perpetual non-exclusive easement over, upon and across Grantor's Property for non-commercial ingress, egress and buried utilities access to and from Grantee's Property.

2. This easement is based on and limited to the use allowed for Grantee's Property under current Boulder County zoning. Consequently, this easement is for typical non-public access and utilities (as required for the management and maintenance of Grantee's Property) to and from Grantee's Property and Grantee shall have no right to increased usage of or over Grantor's Property without the prior written approval of Grantor, which approval may be granted or withheld in Grantor's sole and unreasonable discretion.

3. Grantee shall not permanently or excessively temporarily park vehicles within the easement. Grantor shall not excessively block the driveway/roadway, however, Grantor may park vehicles within the easement area.

4. (a) Grantor shall be responsible to maintain and upkeep the easement portion of the driveway/roadway across Grantor's Property, but only to the existing level of maintenance and repair. Grantee shall reimburse Grantor for maintenance costs in proportion to Grantee's use, as invoiced by Grantor and evidenced by bona fide receipts. Grantor shall have no responsibility for snow removal or other similar types of maintenance.

   (b) Grantee shall have the right, but not the obligation, to perform any additional levels of maintenance or improvement, provided such work is done at Grantee's sole risk, expense and within the physical easement provided herein. Prior to performing any such maintenance or improvement, Grantee must have Grantor's prior written approval, such approval not to be unreasonably withheld or delayed by Grantor. Grantee shall be solely responsible for and, to the full extent permitted by law, shall defend Grantor from and against any and all demands, claims, causes of action or judgments, and all expenses (including attorneys' fees and costs) incurred in connection with the cost of any activity undertaken pursuant to this subparagraph.

5. As consideration for Grantor granting the easement to Grantee, Grantee shall pay Grantor $100.00 upon the execution of this Easement Agreement.

6. Grantor reserves the right to use Grantor's Property for any use whatsoever, including but not limited to, ingress and egress, utilities, landscaping and fencing, provided such use is not materially inconsistent with the purpose of this easement. Grantor further reserves the right to relocate all or any portion of the existing driveway/roadway on Grantor's Property, provided such relocation is not materially inconsistent with the purpose of this easement. Further, Grantor agrees not to move the point of access/egress onto the United States Department of Agriculture's Roosevelt National Forest.

7. To the full extent permitted by law, Grantee shall indemnify, defend and hold Grantor harmless from and against any and all demands, claims, causes of

action or judgments, and all expenses (including attorneys' fees and costs) incurred in connection with any injury to person or livestock, loss of life or damage to property arising out of or associated with Grantee's use of this easement, except as caused solely by Grantor's gross negligence. Grantee shall obtain and maintain liability insurance or self-insure to cover said liability.

8. This Easement Agreement is subject to existing easements, encumbrances and/or other matters of record affecting Grantor's Property.

9. This Easement Agreement represents the entire agreement between the Parties and no oral modification shall be recognized or considered valid. Any amendments or additions to this Easement Agreement shall only be valid and enforceable if and when made in writing and signed by both Parties.

10. This Easement Agreement shall be binding upon and shall inure to the benefit of the Parties' heirs, successors and assigns and shall run with both the Grantor's Property and Grantee's Property for the purpose of protecting their respective value and desirability. The easement and this Easement Agreement can only be transferred from the Grantee in conjunction with the sale or transfer of the Grantee's Property. It cannot be used for ingress, egress or utilities access to and from any other property without Grantor's prior written approval, which approval may be granted or withheld in Grantor's sole and unreasonable discretion.

11. Grantee or its heirs, successors and/or assigns may terminate this Easement Agreement at any time by written notice. All of Grantee's rights hereunder along with all of Grantee and Grantor's obligations hereunder will terminate coincident with said notice.

12. In any litigation brought to enforce this Easement Agreement, the prevailing Party shall be entitled to a judgment against the non-prevailing Party for all reasonable expenses of such litigation including, but not limited to, court costs, deposition and other discovery expenses, expert witness fees, reasonable attorneys' fees, filing fees and any other related expenses as the court may award.

IN WITNESS WHEREOF, the Parties have executed this Easement Agreement as of the date first written above.

GRANTOR:

Kevin P. Moersch

GRANTEE:

Alice K. Platt

ORIGINAL

2236340
Page: 4 of 6
12/27/2001 02:35P
Boulder County Clerk, CO E R 30.00 D 0.00

STATE OF COLORADO)
) ss.
COUNTY OF BOULDER)

The foregoing instrument was acknowledged before me this 20th day of December 2001 by Kevin P. Moersch.

Witness my hand and official seal.

My commission expires: 12-27-03

Sandra K. Cottrell
Notary Public

STATE OF COLORADO)
) ss.
COUNTY OF Delta)

The foregoing instrument was acknowledged before me this 24 day of December 2001 by Alice K. Platt.

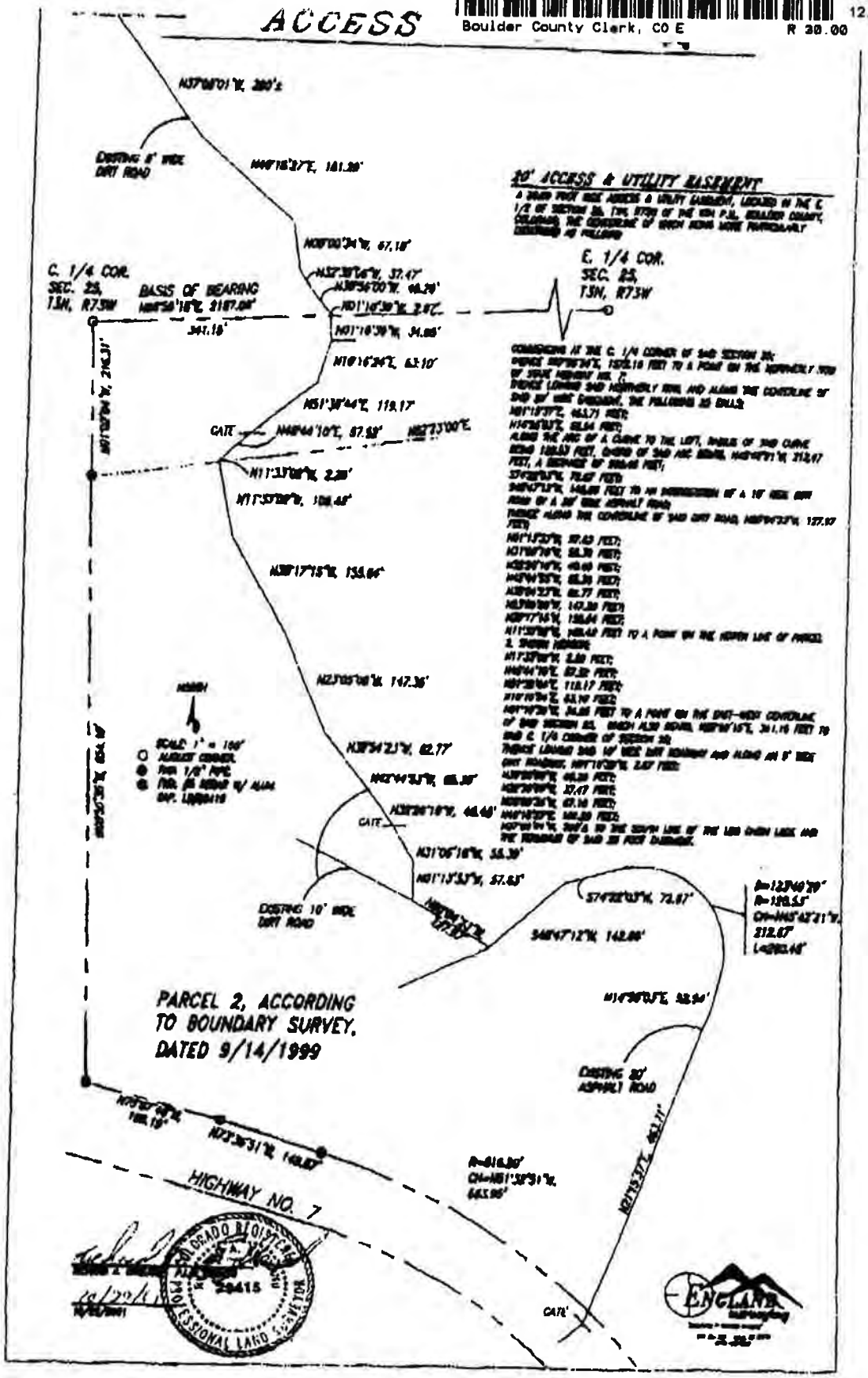
Witness my hand and official seal.

My commission expires: June 19, 2001

Deborah K. Leger
Notary Public

ORIGINAL

2236340
Page: 5 of 5
12/27/2001 02:35P
Boulder County Clerk, CO E R 30.00 D 0.00

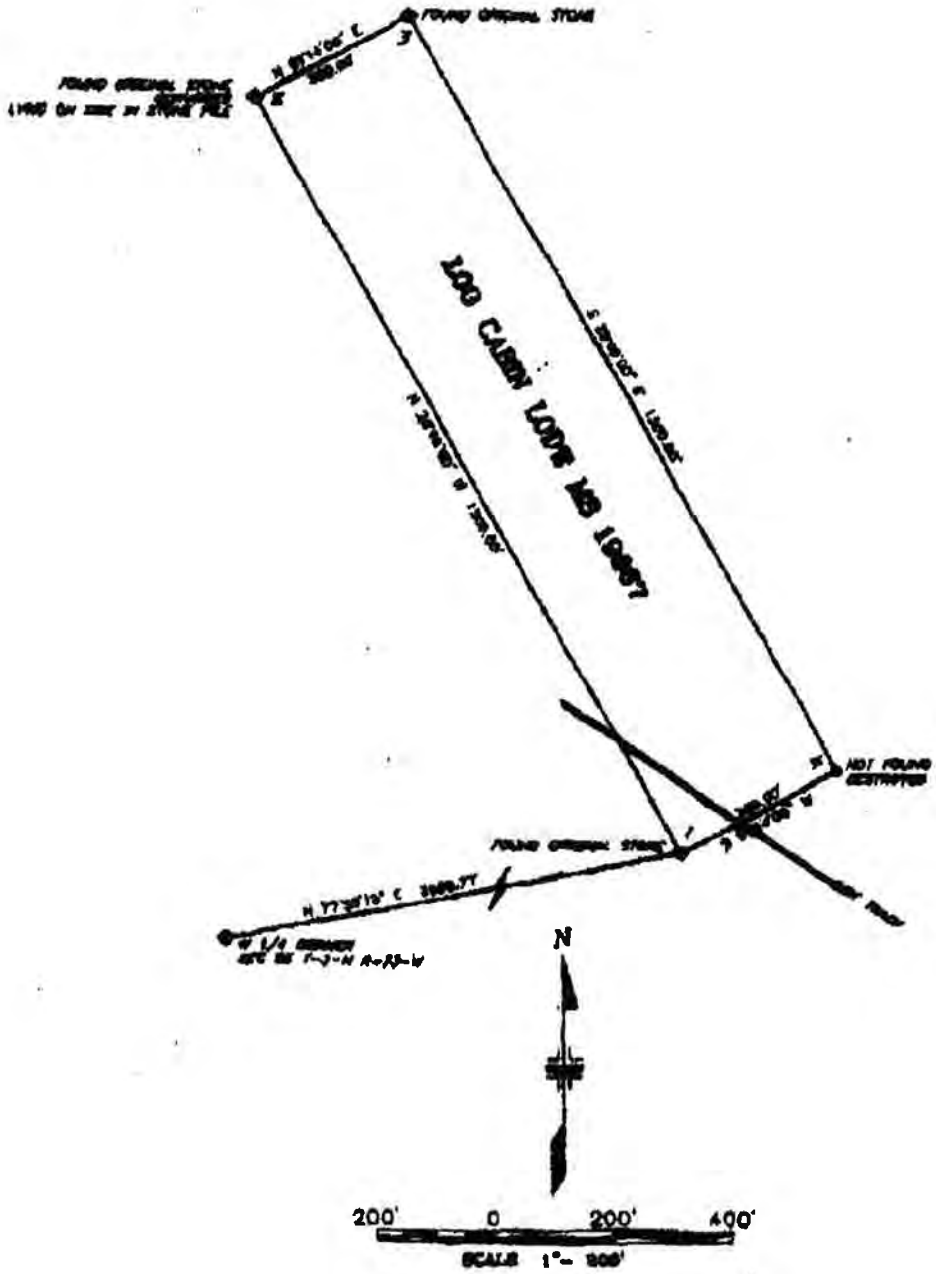


RECORDER'S NOTE:
PORTION OF DOCUMENT MAY
NOT REPRODUCE LEGIBLY

ORIGINAL

2236340
Page: 6 of 6
12/27/2001 02:35P
Boulder County Clerk, CO E R 30.00 D 0.00

ACCESS EXHIBIT "B"



ATTACHMENT B

ORIGINAL well permit

Form No. GWS-25

OFFICE OF THE STATE ENGINEER
COLORADO DIVISION OF WATER RESOURCES

818 Centennial Bldg., 1313 Sherman St., Denver, Colorado 80203
(303) 866-3581

889

WELL PERMIT NUMBER 44188- .F -R
DIV. 1 WD 5 DES. BASIN MD

APPLICANT

LAZY H GUEST RANCH
BOX 248
ALLENSPARK, CO 80510-

(303) 747-2532

APPROVED WELL LOCATION
BOULDER COUNTY
NW 1/4 SE 1/4 Section 25
Township 3 N Range 73 W Sixth P.M.

DISTANCES FROM SECTION LINES
2200 Ft. from South Section Line
2350 Ft. from East Section Line

PERMIT TO CONSTRUCT A WELL

ISSUANCE OF THIS PERMIT DOES NOT CONFER A WATER RIGHT

CONDITIONS OF APPROVAL

1) This well shall be used in such a way as to cause no material injury to existing water rights. The issuance of this permit does not assure the applicant that no injury will occur to another vested water right or preclude another owner of a vested water right from seeking relief in a civil court action.
2) The construction of this well shall be in compliance with the Water Well Construction Rules 2 CCR 402-2, unless approval of a variance has been granted by the State Board of Examiners of Water Well Construction and Pump Installation Contractors in accordance with Rule 18.
3) Approved pursuant to CRS 37-90-137(2) for the replacement of an existing well, permit no. 44188-F (decreed by the Division 1 Water Court as Lazy H Guest Ranch Well, case no. W-8626). The old well must be plugged and abandoned in accordance with Rule 15 of the Water Well Construction Rules. A Well Abandonment Report form must be submitted within sixty (60) days after construction of the new well, affirming that the old well was plugged and abandoned.
4) Approval of this replacement permit shall not result in an expanded use of ground water. The use of ground water from this well limited to commercial uses for a dude ranch.
5) The maximum pumping rate of this well shall not exceed 15 GPM.
6) The average annual amount of ground water to be appropriated shall not exceed 5 acre-feet.
7) The owner shall mark the well in a conspicuous place with well permit number(s), name of the aquifer, and court case number(s) as appropriate. The owner shall take necessary means and precautions to preserve these markings.
8) This well shall not be pumped unless included in a court approved plan for augmentation or a substitute water supply plan approved by the State Engineer.
9) A totalizing flow meter must be installed on this well and maintained in good working order. Permanent records of all diversions must be maintained by the well owner (recorded at least annually) and submitted to the Division Engineer upon request.
10) This well shall be constructed at least 600 feet from any existing well completed in the same aquifer that is not owned by the applicant.
11) Replacement of this well to a location more than 200 feet from the original decreed location is a change in water right. The decree must also be changed to reflect use of the water for uses other than drinking and sanitary purposes (ie. animal watering, lawn and garden irrigation & the swimming pool). This well shall be junior to all vested water rights until such time as the changes have been approved by the Division 1 Water Court. The well then must be operated in accordance with the terms and conditions of that decree.
12) This well is subject to administration by the Division Engineer in accordance with applicable decrees, statutes, rules, and regulations.

RAN 12-1-99

OWNER'S COPY

APPROVED
RAN

Hal D. Simpson
State Engineer

DATE ISSUED DEC 07 1999

By DATE ISSUED DEC 07 2000

ATTACHMENT B

ORIGINAL

FORM NO. GWS-31 11/90

WELL CONSTRUCTION AND TEST REPORT
STATE OF COLORADO, OFFICE OF THE STATE ENGINEER

For Office Use only

1. WELL PERMIT NUMBER 44188 -F-R

2. OWNER NAME(S) PHIL OLBERT LAZY H GUEST RANCH
Mailing Address BOX 248
City, St. Zip ALLENSPARK, CO 80510
Phone (303) 7474-2532

3. WELL LOCATION AS DRILLED: NW 1/4 SE 1/4, Sec. 25 Twp. 3 N, Range 73W 6th
DISTANCES FROM SEC. LINES:
2300 ft. from SOUTH (north or south) Sec. line. and 2400 ft. from EAST (east or west) Sec. line. OR
SUBDIVISION: LOT BLOCK FILING(UNIT)
STREET ADDRESS AT WELL LOCATION:

4. GROUND SURFACE ELEVATION ft. DRILLING METHOD AIR PERCUSSION
DATE COMPLETED JAN 6 2000 TOTAL DEPTH 500 ft. DEPTH COMPLETED 500 ft.

5. GEOLOGIC LOG:

Depth	Description of Material (Type, Size, Color, Water Location)	
0-3	TOP SOIL	
3-45	BROWN GRANITE	
45-110	GRAY GRANITE	
110-160	RED GRANITE	120
160-300	GRAY GRANITE	
300-315	White Quartz	
315-400	GRAY GRANITE	
400-420	WHITE QUARTZ	
420-500	GRAY GRANITE	425

REMARKS:

6. HOLE DIAM. (in.)

	From (ft)	To (ft)
10"	0	20
6 1/2	20	500

7. PLAIN CASING

OD (in)	Kind	Wall Size	From(ft)	To(ft)
7 5/8	STEEL	.188	+1	20
4"	PVC	.237	10	380

PERF. CASING: Screen Slot Size: .028

4"	PVC	.237	380	500

8. FILTER PACK:
Material
Size
Interval

9. PACKER PLACEMENT:
Type
Depth

10. GROUTING RECORD:

Material	Amount	Density	Interval	Placement
CEMENT	30 GAL	15 LBS	3-20	POURED

11. DISINFECTION: Type HTH Amt. Used 10 GAL.

12. WELL TEST DATA: ☐ Check box if Test Data is submitted on Supplemental Form.
TESTING METHOD BLOW TEST
Static Level 15 ft. Date/Time measured 1-5-00 10:00AM Production Rate 15 gpm
Pumping level 500 ft. Date/Time measured 1-5-00 5:00 PM Test length (hrs.) ONE
Remarks

13. I have read the statements made herein and know the contents thereof, and that they are true to my knowledge. (Pursuant to Section 24-4-104 (13)(a) C.R.S., the making of false statements herein constitutes perjury in the second degree and is punishable as a class 1 misdemeanor.)

CONTRACTOR HERSH & SON WELL DRILLING, INC. Phone (970) 667-4096 Lic. No. 889
Mailing Address 9205 W. CTY. RD. 38 E LOVELAND, CO 80538

Name/Title (Please type or print)	Signature	Date
LARRY HERSH (PRESIDENT)	Larry Hersh	1-21-2000

ATTACHMENT C

Rocky Mountain Pathways Ranch
Anticipated Yearly Calendar

Green - current capacity
Blue - increased capacity with SUP approval
*not all increased capacity camps/events will reach the maximum capacity, some will be in between our current capacity and the new capacity anticipated.

January 2 students camps
February 2 student camps
March 2 student camps
April 2 student camps
May 2 student camps
June 1 student camp 1 small retreat/event 2 larger retreats/events
July 2 small retreats/events 2 larger retreats/events
August 1 small retreats/events 1 larger retreat/event 1 larger student camp
September 1 student camp 1 larger student camp
October 1 student camp 1 larger student camp
November 1 student camp 1 larger student camp
December 1 student camp 1 small retreat/event

From: Heather Clark
To: Frederick, Summer
Subject: Re: [EXTERNAL] Re: This morning"s meeting
Date: Thursday, March 31, 2022 8:19:11 PM

Hi Summer,

Hope your week has been going well!

Yes, no problem - see below for more info:

Student Camps - Camps range in duration from 5 days to 11 days. I would say about 80% of our student camps are 11 day camps.
Retreat/Events - These range in duration from 1 day to 5 days. For example - a typical teacher retreat is around 3 days.
For the majority of our retreats/events - they are a part of our network. So for example - the teacher retreat we host are the same schools that the students come from. So we dont really do any advertising for the majority of our retreats. I believe the rest of our advertising would come from website traffic or word of mouth. For example - some local agencies have reached out to us and asked about hosting retreats - Kent Mountain Adventure Centers, Wilderness First Responder courses, etc.

And thank you for clarifying about the conditions of approval. No problem, we are happy to be working with you and the county on all the conditions you may have.

Let me know if you need anything else!
Heather

Heather Clark
Sr. Director of Experiential Learning

hclark@pathwaysedu.org | +1 626 524 7962
320 N. Halstead St. Pasadena, CA 91107

On Mon, Mar 28, 2022 at 3:38 PM Frederick, Summer <sfrederick@bouldercounty.org> wrote:

> Hi Heather,
>
> Thanks for forwarding the attachment with anticipated camps/events. Could you tell me the expected duration of each camp or event (e.g., # of days or hours)? Also, there aren't any specifics about how the rentals during the summer season would happen – would these be through VRBO or something similar? Would they only be to groups that would use the

facility for retreats or events?

Related to your questions, yes, those are the "bigger" conditions of approval staff will recommend. They are not, however, the only conditions of approval that will be recommended. I am presenting the project and my analysis at our internal staff meeting on Wednesday so will have more specific information for you later this week.

The staff recommendation packet will be provided one week prior to the scheduled Planning Commission meeting.

Thanks,

Summer

From: Heather Clark <hclark@pathwaysedu.org>
Sent: Thursday, March 17, 2022 2:42 PM
To: Frederick, Summer <sfrederick@bouldercounty.org>
Subject: [EXTERNAL] Re: This morning's meeting

Hi Summer,

Thank you again for speaking with me last week!

Just wanted to summarize what we spoke about - let me know if I forgot anything or if there are any others. Also, attached is the document you asked for on what an ideal year would look like for the ranch in terms of camps/retreats, etc. Let me know if you need anything else!

Recap of call on 3/7 -

Boulder County is going to recommend a conditional approval for RMPR's SUP.

- Condition 1 - conditional approval with the amount of windows. County will recommend

non-reflective glass and a window reduction. (RMPR is good with this condition, and will work with the county on meeting this recommendation)

- Condition 2 - conditional approval with the placement of the 4 cabins. County will recommend moving the cabins closer to the "main" area of the ranch in order to mitigate wildfire concerns, site disturbance, and mitigate road improvement. (RMPR is good with this condition, and will work with the county on meeting this recommendation)

RMPR is on the agenda for the April 20th Planning Commission meeting.

- Details on the meeting will be provided 2 weeks prior, possibly a tech run through as well if needed.

Thank you again for everything!

Heather

Heather Clark
Sr. Director of Experiential Learning

hclark@pathwaysedu.org | +1 626 524 7962
320 N. Halstead St. Pasadena, CA 91107

On Mon, Mar 7, 2022 at 7:59 AM Heather Clark <hclark@pathwaysedu.org> wrote:

> Hi Summer,
>
> Tomorrow works for me - thank you for rescheduling and updating the calendar invite. Hope you are doing well and talk tomorrow!
>
> Heather

Heather Clark
Sr. Director of Experiential Learning

hclark@pathwaysedu.org | +1 626 524 7962
320 N. Halstead St, Pasadena, CA 91107

On Mon, Mar 7, 2022 at 7:08 AM Frederick, Summer <sfrederick@bouldercounty.org> wrote:

> Good morning, Heather.
>
> I'm sorry for the last minute notification, but something has come up and I need to reschedule our meeting re: SU-17-0006: Rocky Mountains Pathways Ranch. I'm hoping that you are available tomorrow, Tuesday, March 8 at 10:00 a.m. MT. If you are, please let me know so I can move the Teams meeting on our calendars.
>
> Again, I apologize the last minute rescheduling and hope this doesn't cause too much inconvenience.
>
> Regards,
>
> Summer
>
> *Summer Frederick, AICP*
>
> *Planning Division Manager, DRT*
>
> Direct: 720-564-2603
>
> Main: 303-441-3930
>
> sfrederick@bouldercounty.org

ATTACHMENT D

Land Use

Courthouse Annex • 2045 13th Street • Boulder, Colorado 80302 • Tel: 303.441.3930
Mailing Address: P.O. Box 471 • Boulder, Colorado 80306 • www.bouldercounty.org

MEMO TO:	Referral Agencies
FROM:	Summer Frederick, AICP, Principal Planner
DATE:	May 29, 2019
RE:	Docket SU-17-0006

Docket SU-17-0006: Rocky Mountain Pathways Ranch

Request:	Special Review to expand the existing Resort Lodge/Guest Ranch to allow for the construction of an Indoor Horse Barn, a Hay Storage Barn, and six Duplex Cabins, the remodel and addition to the Main Lodge and Recreational Center, and an increase in occupancy to 80 students and 40 staff during the day and 80 students and 8 staff overnight, and the rental of cabins to the public during summer months.
Location:	15747 State Highway 7, on the north side of SH 7, directly across from its northern intersection with SH 7 Business Route in Allenspark, in Section 25, Township 3N, Range 73W.
Zoning:	Forestry (F) Zoning District
Applicant/Property Owner:	Rocky Mountain Pathways Inc.

Special Use Review / Site Specific Development Plan is required of uses which may have greater impacts on services, neighborhoods, or environment than those allowed with only Building Permit Review. This process will review compatibility, services, environmental impacts, and proposed site plan.

This process includes public hearings before the Boulder County Planning Commission and the Board of County Commissioners. Adjacent property owners and holders of liens, mortgages, easements or other rights in the subject property are notified of these hearings.

The Land Use staff, Planning Commission, and County Commissioners value comments from individuals and referral agencies. Please check the appropriate response below or send a letter. Late responses will be reviewed as the process permits; all comments will be made part of the public record and given to the applicant. Only a portion of the submitted documents may have been enclosed; you are welcome to review the entire file at the Land Use Department, 13th and Spruce, Boulder. If you have any questions regarding this application, please contact the Land Use Department office at 720-564-2603 or via email at sfrederick@bouldercounty.org.

Please return responses to the above address by **July 3, 2019**.

__X__ We have reviewed the proposal and have no conflicts.
_____ Letter is enclosed.

Signed [signature] PRINTED
Name Jessica Fasick
Agency or Address Land Use Historic Review

Please note that all Land Use Department property owner's mailing lists and parcel maps are generated from the

ATTACHMENT D

Land Use

Courthouse Annex • 2045 13th Street • Boulder, Colorado 80302 • Tel: 303.441.3930
Mailing Address: P.O. Box 471 • Boulder, Colorado 80306 • **www.bouldercounty.org**

MEMO TO:	Referral Agencies
FROM:	Summer Frederick, AICP, Principal Planner
DATE:	May 29, 2019
RE:	Docket SU-17-0006

Docket SU-17-0006: Rocky Mountain Pathways Ranch

Request:	Special Review to expand the existing Resort Lodge/Guest Ranch to allow for the construction of an Indoor Horse Barn, a Hay Storage Barn, and six Duplex Cabins, the remodel and addition to the Main Lodge and Recreational Center, and an increase in occupancy to 80 students and 40 staff during the day and 80 students and 8 staff overnight, and the rental of cabins to the public during summer months.
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Zoning:	Forestry (F) Zoning District
Applicant/Property Owner:	Rocky Mountain Pathways Inc.

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Please return responses to the above address by **July 3, 2019**.

✓ We have reviewed the proposal and have no conflicts.
✓ Letter is enclosed.

Signed _____ PRINTED
Name Brian Walton
Agency or Address Boulder Valley Conservation District

Please note that all Land Use Department property owner's mailing lists and parcel maps are generated from the

Boulder County Land Use Department

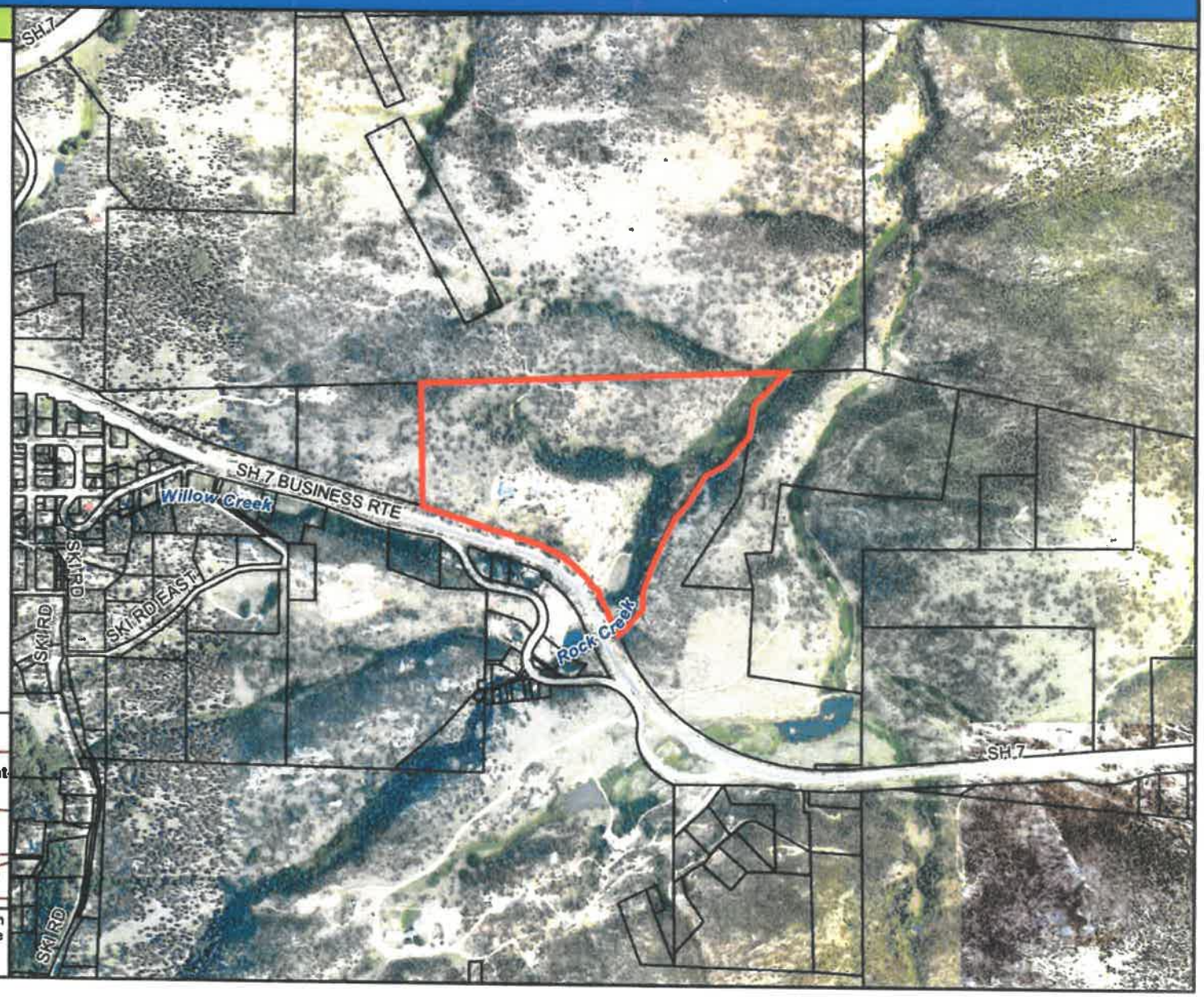
2045 13th Street, Boulder, CO 80302 303-441-3930 www.bouldercounty.org\lu

Aerial

15747 HWY 7

Legend

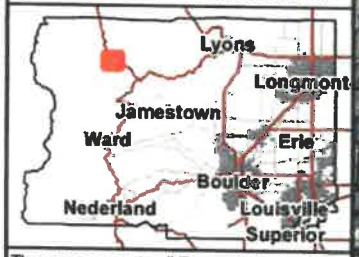
Subject Parcel



0 1,000 Feet

NORTH 1 inch = 1,000 feet

Area of Detail Date: 5/28/2019



wtodacheene

ATTACHMENT D

ATTACHMENT D

Boulder Valley Conservation District – Longmont Conservation District
9595 Nelson Road, Box D – Longmont, Colorado 80501 – Phone (720) 378-5521
www.bouldervalleycd.org – www.longmontcd.org

Site Review Memo

Boulder Valley Conservation District Board
Brian Walton, Conservation Engineering Technician

Applicant: Rocky Mountain Pathways Inc.
Location: 15747 Highway 7
Docket No.: SU-17-0006
Zoning: Forestry
Purpose: Special review to expand existing Resort Lodge / Guest Ranch

Prime Farmland:

Not prime farmland.

Water Quality:

Control any construction erosion from mobilizing. (Willow Creek, Rock Creek).

Noxious Weed Control:

Monitor and control noxious weeds.

Soils Limitations:

Frost action, depth to bedrock.

Other Concerns:

Consider developing Forest Management Plan, Fire Mitigation. NRCS funds may be available.

Summary Comments:

Right of Way & Permits
1123 West 3rd Avenue
Denver, Colorado 80223
Telephone: **303.571.3306**
Facsimile: 303. 571.3284
donna.l.george@xcelenergy.com

May 30, 2019

Boulder County Land Use
PO Box 471
Boulder, CO 80306

Attn: Summer Frederick

Re: Rocky Mountain Pathways Ranch, Case # SU-17-0006

Public Service Company of Colorado's Right of Way & Permits Referral Desk has reviewed the plans for **Rocky Mountain Pathways Ranch** and has **no apparent conflict**.

Donna George
Right of Way and Permits
Public Service Company of Colorado / Xcel Energy
Office: 303-571-3306 – Email: donna.l.george@xcelenergy.com

June 19, 2019

TO: Staff Planner, Land Use Department

FROM: Jessica Epstein, Environmental Health Specialist

SUBJECT: SU-17-0006: Rocky Mountain Pathways Ranch project

OWNER: ROCKY MOUNTAIN PATHWAYS INC

PROPERTY ADDRESS: 15747 State Highway 7

SEC-TOWN-RANGE: 25 -3N -73

The Boulder County Public Health – Environmental Health division has reviewed the submittals for the above referenced docket and has the following comments.

OWTS:

1. Boulder County Public Health issued several OWTS permits for this property over the years. During the referral process for the addition of the Cheyenne cabin (BP-15-1631), BCPH stated that the maximum people that can be served by the existing OWTS is 77 and the wastewater generated must be less than 2000 gallons per day. This proposed expansion requires state site approval from the Colorado Department of Public Health and Environment. (CDPHE).
2. BCPH requires documentation that state site approval has been granted for this property and includes the expanded activities. This documentation is required before a building permit can be obtained.

Consumer Protection: The owners must call the Consumer Protection division of BCPH, Environmental Health to determine if a change in licensing is required. The current licensing is for seating up to 100 people.

This concludes comments from the Boulder County Public Health – Environmental Health division at this time. For additional information on the OWTS application process and regulations, refer to the following website: **www.SepticSmart.org**. If you have additional questions about OWTS, please do not hesitate to contact Jessica Epstein at (303) 441-1138.

Cc: OWTS file, owner, Land Use Department

Wildfire Mitigation Team

M E M O

TO: Summer Frederick, AICP, Principal Planner
FROM: Kyle McCatty, Wildfire Mitigation Specialist
DATE: June 17, 2019
RE: Referral packet for SU-17-0006, Rocky Mountain Pathways Ranch project at 15747 State Highway 7

Thank you for the referral. We have the following comments for the applicants:

Decades of catastrophic wildfires, research, and case studies have shown that extreme wildfires are inevitable in the forests of Boulder County and across the Western US, but loss of life and homes do not have to be inevitable. The conditions that principally determine if a house ignites occur within 100 feet of the house, including the house itself. That is why Boulder County has such strong wildfire mitigation requirements in our Land Use and Building Code, and why Boulder County encourages all homeowners to voluntarily take responsibility to mitigate their own home's risk of igniting in a wildfire through Wildfire Partners.

Wildfire Mitigation is required; the proposed project is in Wildfire Zone 1 (the foothills or mountains—approximately west of highways 7, 36, or 93) of unincorporated portion of Boulder County. The Boulder County Wildfire Mitigation requirements are composed of site location, ignition-resistant materials and construction, defensible space, emergency water supply, and emergency vehicle access.

Site Location

Site location has been reviewed by a Boulder County Wildfire Mitigation Specialist as part of the Special Review process. The distance needed for minimally effective defensible space—at least 30 feet between the dripline of the proposed project and the property lines—was found; at least 100 feet is recommended.

For structures less than 100 feet from the property lines: the standards of either ignition-resistant materials and construction **OR** defensible space will need to be increased to reduce the risk of loss of life associated with the location of structures less than 100 feet property lines and from the additional guests proposed with this Special Review.

Increased ignition-resistant materials and construction includes:

- All exterior windows and glazing will be required to be tempered glass.
- In some areas of Wildfire Zone 1 the following building materials are allowable but, because of the increased risk of loss of life from wildfires, the following materials will not be allowed: wood and fire-retardant treated wood (except for heavy timber, log wall construction [minimum nominal thickness of at least 6 inches], or 1-hour fire-resistance-rated construction on the exterior side); California Department of Forestry and Fire

Protection, Office of the State Fire Marshal approved materials; and decking with an ASTM E84 (UL 723) greater than 60.

Increased defensible space includes: implementing full defensible space standards on the property will be difficult to achieve with the location of structures less than 100 feet from property boundaries. The US Forest Service has allowed property owners to obtain specific permits/permission to remove vegetation to create and maintain proper defensible space around structures. This is currently done on a case by case basis and will be implemented only when necessary. Once the building site has been finalized, a wildfire mitigation specialist will work with the property owner to navigate this process.

Ignition-Resistant Materials and Construction

Since the proposed development is located within a potentially hazardous area, all exterior building materials (including any proposed decking) must be ignition-resistant construction, or better.

For additional ignition-resistant construction information, please contact the Building Safety & Inspection Services Team at 303-441-3926. For specific requirements, refer to the Boulder County publication: Building with Ignition Resistant Materials. All exterior materials must be clearly noted on the building plans and must be reviewed and approved as "ignition resistant" by the Building Safety & Inspection Services Team.

Defensible Space

Adequate defensible space is required for both existing and new structures to prevent the spread of fire to and from the structures. This requires limbing and/or removal of trees and shrubs to provide necessary vertical and horizontal fuel separation within a minimum of 100 ft. from the home and within 30 ft. along both sides of a driveway. Where the property boundary limits Zone 2 (at least 100 feet from structures), Zone 1 (a buffer of at least 30 feet free of conifer trees and other highly combustible vegetation immediately surrounding the home, including all attachments and accessory structures within 30 feet) may need to begin at the home's dripline. More information can be found by referring to the Colorado State Forest Service publication *Protecting Your Home from Wildfire: Creating Wildfire-Defensible Zones – 2012 Quick Guide*.

Follow the Colorado State University FireWise Plant Materials – 6.305, Fire-Resistant Landscaping – 6.303, and Colorado State Forest Service *Protecting Your Home from Wildfire: Creating Wildfire-Defensible Zones – 2012 Quick Guide* publications when choosing plants and designing revegetation and landscaping.

Emergency Water Supply

Emergency water supply is currently only required for new construction. No emergency water supply will be required for this application.

Emergency Vehicle Clearance

Emergency vehicle clearance is required to allow for safe ingress and egress of emergency vehicles. Emergency personnel try their best to respond to calls in a timely manner, often while negotiating difficult terrain. Planning for access by emergency vehicles improves safety for homeowners and their families by providing for a more efficient response by firefighters and other emergency personnel arriving on the scene. This is especially important in rural and mountainous areas where

response times may be considerably longer than in cities, where emergency services are closer by. For specific clearance related requirements, refer to the Boulder County publication: Driveway Access for Emergency Vehicles.

Timeline

Prior to issuance of any permits, a Wildfire Partners or Regulatory Wildfire Mitigation assessment and defensible space marking shall be completed. Based upon the compliance path selected, either a Wildfire Partners Assessment report or a Wildfire Mitigation Plan will be created which will describe the wildfire mitigation requirements.

Before scheduling rough framing inspections, the defensible space of the plan must be implemented and inspected by the Land Use Department. All trees marked for removal must be cut and all slash, cuttings, and debris must be removed and/or properly disposed.

At the time of final inspection, all remaining required items in the Wildfire Partners Assessment report or the Wildfire Mitigation Plan are to be fully implemented and inspected. Ground surfaces within three feet of both existing and new structures, and at least 2 feet beyond the driplines of decks, bay windows, and other eaves and overhangs, must be covered with an allowable non-combustible ground cover over a weed barrier material. The driveway vertical and horizontal vegetation clearance must be in place and conform to the Parcel Access Design Standards in the Boulder County Multimodal Transportation Standards.

If the applicants should have questions or need additional information, we'd be happy to work with them toward solutions that meet minimum land use and building code requirements. I can be reached at 720.564.2625 or via e-mail at kmccatty@bouldercounty.org.

Building Safety & Inspection Services Team

M E M O

TO: Summer Frederick, AICP, Senior Planner
FROM: Ron Flax, Chief Building Official
DATE: July 2, 2019

RE: Referral Response, Docket SU-17-0006: Rocky Mountain Pathways Ranch. Special Review to expand the existing Resort Lodge/Guest Ranch to allow for the construction of an Indoor Horse Barn, a Hay Storage Barn, and six Duplex Cabins, the remodel and addition to the Main Lodge and Recreational Center, and an increase in occupancy to 80 students and 40 staff during the day and 80 students and 8 staff overnight, and the rental of cabins to the public during summer months.

Location: 15747 State Highway 7

Thank you for the referral. We have the following comments for the applicants:

1. **Building Permits.** Building permits, plan review and inspection approvals and a Certificate of Occupancy ("C.O.") are required. Additions, deconstruction, alterations, remodeling, and any electrical, mechanical or plumbing work, etc. also require building permits. Separate building permits are required for each structure.

   For a complete list of when building permits are required, please refer to the county's adopted 2015 editions of the International Codes and code amendments, which can be found via the internet under the link:

   2015 Building Code Adoption & Amendments, at the following URL: https://assets.bouldercounty.org/wp-content/uploads/2017/03/building-code-2015.pdf

   The **International Existing Building Code** (IEBC) will guide the process for the building code analysis.

   The Commercial Plan Submittal Checklist: https://assets.bouldercounty.org/wp-content/uploads/2017/03/b70-commercial-plan-submittal-checklist.pdf

2. **2015 International Green Construction Code ("IGCC").** Boulder County's adoptions of the 2015 editions of the International Codes include the IGCC as applying to buildings or complexes of buildings on the same property with 25,000 sq. ft. or more of floor area.

3. **Minimum Plumbing Fixtures.** The plumbing fixtures count needs to meet or exceed the requirements of IBC Chapter 29, including the need for accessible restrooms and fixtures.

4. **Accessibility**. Chapter 11 of the IBC and referenced standard ICC A117.1-09 provide for accessibility for persons with disabilities. Any building permit submittals are to include any applicable accessibility requirements, including accessible parking, signage, accessible routes and accessible fixtures and features.

5. **Design Wind and Snow Loads.** The design wind and ground snow loads for the property are 175 mph (Vult) and 55 psf, respectively.

6. **Fire Department.** It appears that the site is served by Allenspark Fire Protection District. A separate referral response from the fire department should also be forthcoming. The fire department may have additional requirements in accordance with their International Fire Code ("IFC") adoption.

7. **Wildfire.** A separate referral response will be forthcoming from the Boulder County wildfire mitigation team. There will be specific requirements to address the hazards created by structures that are less than 100 feet from the property lines. These additional measures will include requirements for ignition-resistant materials as well as increases in defensible space distances. Please refer to this separate referral response for details.

8. **Plan Review.** The items listed above are a general summary of some of the county's building code requirements. A much more detailed plan review will be performed at the time of building permit(s) application, when full details are available for review, to assure that all applicable minimum building codes requirements are to be met.

9. **Meeting**. When you are ready to review construction drawings with the plan review team. Please make an appointment with our Plans Examiner Supervisor Michelle Huebner. mhuebner@bouldercounty.org 720-564-2616.

If the applicants should have questions or need additional information, we'd be happy to work with them toward solutions that meet minimum building code requirements. Please call (720) 564-2640 or contact us via e-mail at building_official@bouldercounty.org

MEMO TO:	Referral Agencies
FROM:	Summer Frederick, AICP, Principal Planner
DATE:	December 21, 2021
RE:	Re-Referral for Docket SU-17-0006

THIS IS A RE-NOTICE FOR THE DOCKET LISTED BELOW

This application is being re-referred because the applicant provided revised materials.

Docket SU-17-0006: Rocky Mountain Pathways Ranch

Request:	**REVISED:** Special Review to expand the existing Resort Lodge/Guest Ranch use to allow for the construction of an Indoor Horse Barn, a Hay Storage Barn, and four Duplex Cabins, the remodel and addition to the Main Lodge and Recreational Center, and an increase in occupancy to 80 students and 40 staff during the day and 80 students and 8 staff overnight, and the rental of cabins to the public during summer months. **ORIGINAL:** Special Review to expand the existing Resort Lodge/Guest Ranch use to allow for the construction of an Indoor Horse Barn, a Hay Storage Barn, and six Duplex Cabins, the remodel and addition to the Main Lodge and Recreational Center, and an increase in occupancy to 80 students and 40 staff during the day and 80 students and 8 staff overnight, and the rental of cabins to the public during summer months.
Location:	15747 State Highway 7, on the north side of SH 7, directly across from its northern intersection with SH 7 Business Route in Allenspark, in Section 25, Township 3N, Range 73W.
Zoning:	Forestry (F) Zoning District
Applicant/Property Owner:	Rocky Mountain Pathways Inc.

Special Use Review / Site Specific Development Plan is required of uses which may have greater impacts on services, neighborhoods, or environment than those allowed with only Building Permit Review. This process will review compatibility, services, environmental impacts, and proposed site plan.

This process includes public hearings before the Boulder County Planning Commission and the Board of County Commissioners. Adjacent property owners and holders of liens, mortgages, easements or other rights in the subject property are notified of these hearings.

The Community Planning & Permitting staff, Planning Commission, and County Commissioners value comments from individuals and referral agencies. Please check the appropriate response below or send a letter to the Community Planning & Permitting Department at P.O. Box 471, Boulder, Colorado 80306 or via email to planner@bouldercounty.org. All comments will be made part of the public record and given to the applicant. Only a portion of the submitted documents may have been enclosed; you are welcome to call the Community Planning & Permitting Department at 303-441-3930 or email planner@bouldercounty.org to request more information. If you have any questions regarding this application, please contact me at 720-564-2603 or sfrederick@bouldercounty.org.

IF YOU HAVE REPLIED TO THE ORIGINAL REFERRAL LETTER AND HAVE NO FURTHER COMMENTS, NO ACTION IS REQUIRED.

Please return responses by **January 25, 2022.**
(Please note that due to circumstances surrounding COVID-19, application timelines and deadlines may need to be modified as explained in the CPP Notice of Emergency Actions issued March 23, 2020 (see https://boco.org/covid-19-cpp-notice-20200323).

_X_ We have reviewed the proposal and have no conflicts.
_____ Letter is enclosed.
Signed _____ PRINTED
Name Steven Rusch
Agency or Address _____

Please note that all Community Planning & Permitting Department property owner's mailing lists and parcel maps are generated from records maintained by the County Assessor and Treasurer Office. We are required to use this list to send notices to the "property owner" of land in Boulder County. If you feel you should not be considered a "property owner," or if the mailing address is incorrect, please contact the County Assessor's Office at (303) 441-3530.

*Note: Any existing electric primary lines that are moved with this project will require new Town approved easements, as will any new primary lines that may be required.

All applicable fees will apply prior to TOEP Power & Communications performing work in the field.

January 26, 2022

TO: Summer Frederick, Planning Division Manager; Community Planning & Permitting, Zoning Development Review

FROM: Amelia Willits, Engineering Development Planner II; Community Planning & Permitting, Development Review – Access & Engineering

SUBJECT: Docket # SU-17-0006: Rocky Mountain Pathways Ranch Re-referral

15747 State Highway 7

The Development Review – Access & Engineering Team has reviewed the above referenced docket and has no additional comments.

All comments from the referral dated December 10, 2019 still apply.

This concludes our comments at this time.

December 10, 2019

TO: Summer Frederick, AICP, Principal Planner; Land Use Department

FROM: Amelia Willits, Development Review Planner

SUBJECT: Docket # SU-17-0006: Rocky Mountain Pathways Ranch REVISED

The Transportation Department has reviewed the above referenced docket and has the following comments:

1. The subject property is accessed via State Highway 7, also known as Peak to Peak Highway, a paved CDOT owned public right-of-way (ROW). Legal access is demonstrated via adjacency to this public ROW.

2. The existing paved driveway measures approximately 23 feet in width, which is in compliance with the Boulder County Multimodal Transportation Standards (Standards) for a commercial use.

    a. During a July 2019 staff site visit, the paved surface of the access appeared significantly degraded and potholed. It is strongly recommended that the applicant repair or replace the surfacing of the driveway to ensure safe ingress/egress from the site.

3. Transportation staff have reviewed and approved the Pre-application Methodology Letter submitted September 2017. As the trip generation for the proposed use is not anticipated to exceed 30 average daily trips (ADT), no additional Transportation System Analysis is required.

4. The proposed access driveway appears to comply with the Boulder County Multimodal Transportation Standards ("the Standards"). The access drive shall be built to the Standards, including without limitation:

    a. Table 5.5.1 – Parcel Access Design Standards *

    b. Standard Drawing 11 – Private Access

    c. Standard Drawing 14 – Access with Roadside Ditch

    d. Standard Drawing 15 – Access Profiles Detail

    e. Standard Drawing 16 – Access & Grade Clearance

    f. Standard Drawing 18 – Access Turnaround

    g. Standard Drawing 19 – Typical Turnaround & Pullout Locations

**Four (4) inches of surfacing material is to be placed along the access road*

5. Final grade cuts and fills shall not be steeper than a 1-½ to 1 slope. Grades steeper than a 1-½ to 1 slope will need to be supported by a retaining wall. Retaining walls greater than four feet in height measured from the bottom of the footer to the top of the wall require building permits for construction. Calculations shall be submitted for all retaining wall heights over 6 feet in height.

This concludes our comments at this time.

TO: Summer Frederick, Community Planning & Permitting Department
FROM: Ron West, Natural Resource Planner
DATE: February 4, 2022
SUBJECT: Docket SU-17-0005, Rocky Mountain Pathways Ranch, 15747 State Hwy 7

Site Conditions

I have reviewed the submitted materials, and visited the parcel in 2019. The large (62-acre) parcel includes extensive existing developments, mixed conifer montane woodlands, and a significant riparian corridor along Rock Creek. These areas are further examined below.

County Comprehensive Plan Designations

The site has the following designations in the Boulder County Comprehensive Plan, and from other resource inventories.

- High Biodiversity Area (HBA) – N. Sheep Mountain, ranked "B2," of very high significance, by the CSU Natural Heritage Program
- Rare Community Type – ponderosa pine scrub woodland, occurrence ranked "B" in overall quality/size, *Pinus ponderosa/Purshia tridentata*
- Critical Wildlife Habitat – "Lazy H Ranch willow carr and wetlands"
- County Natural Area – N. St. Vrain
- Riparian Area
- Riparian Habitat Connector
- Wetlands
- Environmental Conservation Area (ECA) – N. St. Vrain
- Adjacent to Public Lands – US Forest Service, on north
- View Protection Corridor – Peak to Peak Highway

Discussion

Given the long list of natural resources listed above, staff has several concerns with the proposal: 1) the expanding footprint of developments into a new area; 2) the doubling of human use and activity; 3) the massing and window reflectance of the lodge expansion; and 4) existing, and likely expanding, uses in the riparian corridor.

Expanding footprint of developments into a new area

The placement of four new duplexes, in what staff will call the "upper meadow," would

create a second node of development on the parcel. The existing development complex encompasses about 9 acres of the parcel, or about 15 percent of the overall 62-acres. This already represents a comparatively large and significant development "footprint." These nine acres also do not include the more seasonal use areas of the upper meadow and the Rock Creek riparian corridor.

The proposed new development in the upper meadow would be about 700 linear feet from the closest existing development, or over a tenth of a mile. This would both significantly expand the parcel's development footprint and would also create two development nodes on the parcel. In other words, the new development would not be clustered with the existing developments -- clustering being a common and important concept of good resource and development planning.

Further, the four new duplexes, with their attendant road/utility systems and an increased and more-permanent level of human activities, would:

- Push development into the mapped county Natural Area, where it does not occur currently.
- Extend development further into the High Biodiversity Area (HBA), which is one of the largest and most important HBA's in the county.
- Remove and disturb more of the Rare Community Type.
- Extend into the mapped Environmental Conservation Area.
- And border on US Forest Service public lands, increasing human uses and impacts in this adjacent, off-parcel area as well. All of the four duplexes would be "adjacent" to Forest Service public lands, with the closest duplex being only about 40 feet from the boundary.

The 2015 site development already replaced four older structures with four modern overnight accommodations. Notably, however, these were all located within the existing development footprint. Staff can identify at least six locations within the existing footprint where new duplexes could possibly be placed, along with the two nearby locations that have been removed from the project since the first proposal.

Increases in human use and activity

The new public-use aspect of renting cabins as well as the increase in "normal" students and staff would significantly increase overall human use and activity both on the parcel and on adjacent public lands. This activity would increase both in numbers and duration, by public rentals in the summer.

Details are somewhat unclear, but the application states that current uses occur over 9 months, and the addition of June and July public rentals would extend duration to 11 months, or basically year-round, with the exception of December. Also stated is 22 ten-day programs per year, equaling 220 days, and the addition of an assumed 60+ days in summer, which would bring the total to at least 280 days, or at least 75 percent of the year.

During the school year, the number of students on-site would double from 40 to 80, while

staff would also double from 20 to 40 during the day. Subsequent on- and off-site impacts would, of course, also double, and impacts would expand into the summer months if the public-use aspect is approved.

Massing and window reflectance of the lodge expansion

The current lodge is readily visible from View Protection Corridor of the Peak to Peak Highway. This is a direct view, from the north-bound lane, over about 1000 feet of road. The proposed south façade of the expansion appears to be almost all glass, which would be a significant negative visual impact to the Corridor. The Peak to Peak carries the highest scenic numerical score of any road in the county. Negative impacts would occur both from a reflectance aspect as well as a "lighthouse" effect after dark. The existing visibility of the structure is substantial, while the proposed expansion would result in the structure appearing massive from the highway.

In 1998, a Management Plan for the Peak to Peak Highway was completed (*A Place Apart – The Peak to Peak Scenic and Historic Byway Corridor Management Plan*). This plan was incorporated by reference into the Boulder County Comprehensive Plan. The first "principle" of the plan states that, "The Peak to Peak is a special place and a valuable place. As development and growth proceed along the Front Range, there are fewer and fewer places that are *like they used to* be" (emphasis in original).

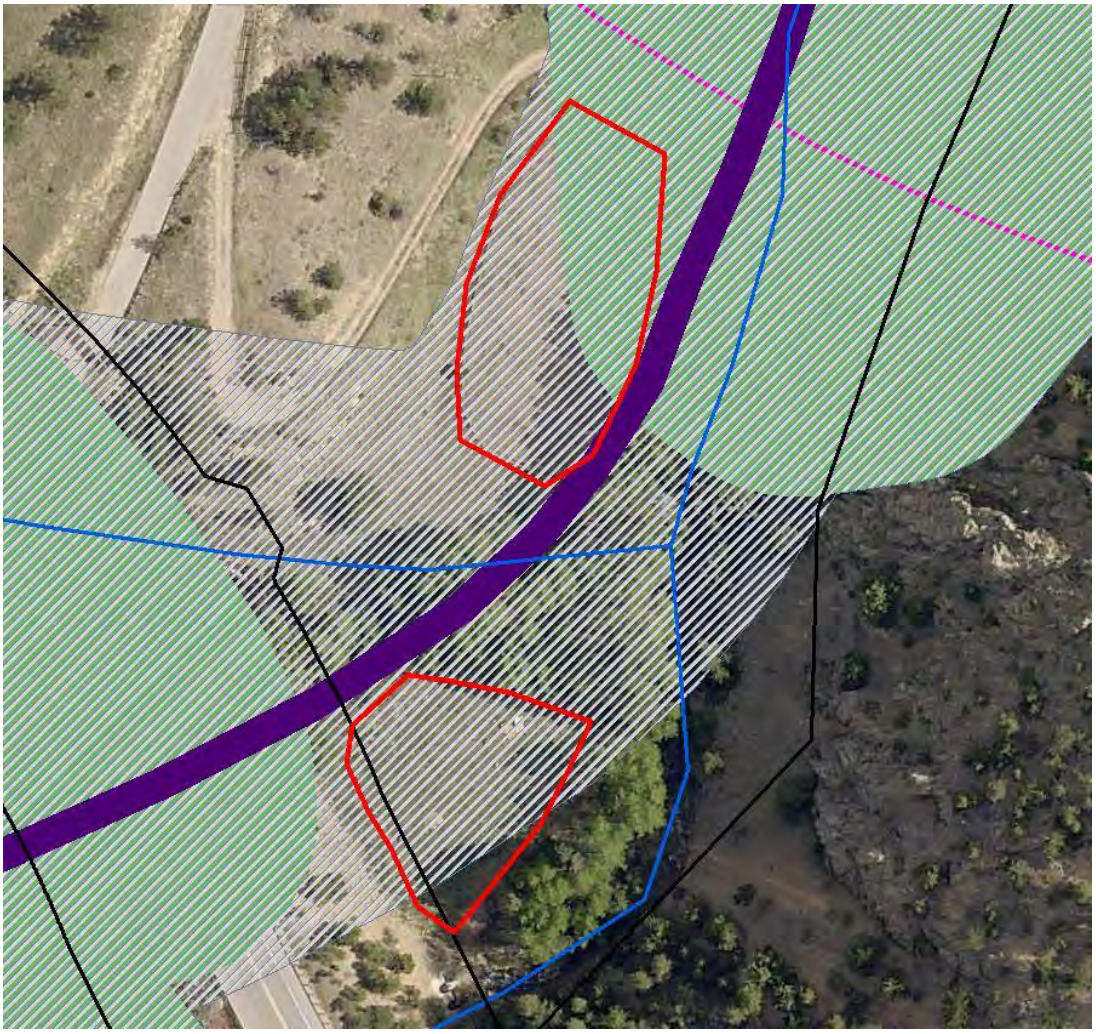
One of the Management Principles states that, "…where development occurs, projects should seek to minimally impact the landscape and character of the Peak to Peak. Projects should be hidden from view…and ridgeline development should be avoided in all cases…." A further Management Principle states that, "…the little things count. By this we mean that we must care enough about this road to manage it with an awareness of the importance that lies in the details of each incremental decision."

Based on this document, staff cannot support the expansion of the lodge as proposed. There were only two revisions to the proposal since the 2019 application. One of these was a commitment to use low-transmittance glass in the new part of the lodge. While this is an improvement, staff still cannot support the overall massing of the structure and the dominating glass façade on the south side.

Existing, and likely expanding, uses in the riparian corridor

About 0.66 acres of the greater riparian area of Rock Creek has already been "developed." This is in two areas: a fenced and assumed horse riding area (0.38 acres); and a more-occasionally used area with a teepee and platforms (0.28 acres) – each outlined in red below.

The next image shows the natural resources in this area, as mapped in the Comprehensive Plan. The white hashed area is riparian, green hashed is wetlands, the thick purple line is the Riparian Habitat Connector (between Environmental Conservation Areas), and the dashed purple line is the beginning of the Critical Wildlife Habitat to the north. Additionally, the riparian area is identified as a Significant Natural Community. Thus, there are five separate, but related natural resources identified in this area.



In the Comprehensive Plan, discussion of wetland and riparian areas includes the following: "Wetlands have high biodiversity, are relatively rare, provide unique wildlife habitat, filter water, and buffer floods. Riparian Areas are a unique combination of terrestrial plant communities and aquatic systems associated with flowing water that provide unique habitat and important movement corridors for wildlife."

Policies for **all** natural resources state that the Boulder County Land Use Code, "…shall…ensure that land uses…minimize the destruction or adverse modification of environmental resources. Land use proposals shall be evaluated on a case-by-case basis for their potential impacts to environmental resources identified in the [Comprehensive Plan]…."

<u>Recommendations</u>

- Staff has major concerns with the proposal and the issues raised in the above discussion should be considered.

- If approved, the proposal would result in a significant increase in development and use on the parcel. As partial mitigation for this, activities in the riparian corridor of Rock Creek should be reduced and removed. Staff recommends: that the fence for the horse riding area be taken down, riding use removed, and the area be allowed to naturally revegetate to aspen and meadow; and that temporary uses in the teepee site also be discontinued.
- If approved, the new duplexes should be located within the existing development footprint.
- A Revegetation Plan is required that includes native grass species to be used, an explanation of the treatment of excavated topsoils, mapped delineation of all disturbance areas (this includes construction staging and soil stockpiling areas, driveway, utility lines, and septic system), locations of silt fences or erosion control logs down slope of all disturbed areas, and matting requirements if necessary.

From: Ott, Jean
To: Frederick, Summer
Subject: SU-17-0006 Heads Up
Date: Monday, December 30, 2019 2:41:11 PM

Also from on call today.. A neighbor from outside of the notification radius called wanting to find out more about what's going on. He mentioned that they just put up several new A-frames and that the light from inside those and from the lights on the barns are very bothersome at night. Their property looks out over this one and it is in their viewshed for Mt. Meeker. I let him know how to stay in the loop about upcoming hearings and such and that he should submit comments in writing. Mainly just wanted to let you know about the A-frames because I couldn't tell from all the deconstruct/reconstruct BPs if they are permitted and because he said the sign fell over and was bent during a recent plowing.

Thanks!
Raini

Jean Lorraine Ott, AICP, CFM
Planner II | Boulder County Land Use
2045 13th Street | Boulder, CO 80302

720.564.2271
jott@bouldercounty.org
Pronouns: she/her/hers

ATTACHMENT E

Boulder County

Post Office Box 471 • Boulder, Colorado 80306

Land Use Department

2040 14th Street • 14th & Spruce Streets • Administrative Services Building, 2nd Floor • Boulder, Colorado 80302 • (303) 441-3930

BOARD OF COUNTY COMMISSIONERS

AGENDA ITEM
MAY 3, 1994 – 9:00 AM

Hearing Room, Third Floor, County Courthouse, Boulder

PUBLIC HEARING

STAFF PLANNER: Greg Oxenfeld

STAFF RECOMMENDATION RE:

Docket SU-94-1: LAZY H GUEST RANCH Renovation

Request: Special Use Review / Site Specific Development Plan, for recognition & additions to a resort lodge / guest ranch; with sewage treatment facility.

Location: Approximately 3/4 mile east of Allenspark, on the north side of State Hwy 7, in Section 25-T3N-R73W.

Zoning: Forestry (F)

Applicant: Phillip & Karen Olbert

Boulder County Comprehensive Plan Designations:
Nonurban Land Use; Open Corridor along Peak-to-Peak Hwy.; Lazy H Ranch Willow Carr (wetlands)

DISCUSSION

The Lazy H Guest Ranch has been in operation on approximately 56 acres since 1950, and was considered a use allowed by right until it became non-conforming when the County Zoning Resolution was amended to require a Special Use for Resort Lodge / Guest Ranch in the Forestry Zoning District in 1972. The facility includes a main lodge with a pool and hot tub, guest and staff cabins, barn, and sheds. Phil & Karen Olbert have submitted an application for Special Use and Site Specific Development Plan for the following uses:

1) Recognize the existing non-conforming resort lodge / guest ranch, and all accessory uses as a legal conforming Special Use;

ATTACHMENT E

2) Expand the resort lodge / guest ranch by adding a 1,800± sq. ft. structure for vehicle garage with owners quarters above; a 525± sq. ft. addition to the recreation building; a new 1900± sq. ft. staff housing facility; and a 225± sq.ft. addition to the Hogan Cabin.

3) Recognize existing sewage treatment facility at the Guest Ranch, which is designed to accommodate over 2,000 gallons per day.

Existing Non-Conforming Uses:

The applicant has provided a site plan of all existing facilities, including: the main lodge and detached guest lodging units/cabins, with 21 bedrooms (57 person capacity); staff lodging units, with 9 bedrooms (20 person capacity); recreation building; swimming pool, hot tub and sauna; and service facility structures, including sheds, a barn, and corrals, etc. The current total capacity of the ranch, including staff is 77 people and no increase to the total capacity is proposed in this application. The number of horses associated with the dude ranch activities range up to 60 horses in the summer.

The applicant has also provided a discussion of the activities that occur at Lazy H Guest Ranch. There are three distinct seasons with the guest ranch. The winter season (mid-October through April) has the least activities with bed and breakfast, weekend getaways, and business conferences and seminars. May and September are the beginning and end of the dude ranch activities, and weddings are typical during these months as well as into October. June, July and August are the primary dude ranch vacation months, where there is extensive horseback riding on the ranch and adjacent Roosevelt National Forest. There are up to 60 horses on site during the summer months.

Proposed Resort Lodge / Guest Ranch Expansion:

The applicant has noted that more efficient staff housing is needed. Therefore, a new staff housing facility of approximately 950 square feet is proposed to replace an existing mobile home. This structure is proposed to be a two story wood frame building, compatible with existing architecture, and will have up to nine sleeping rooms. The applicant is proposing a 1,800± sq.ft. structure for vehicle garage with owners quarters above and will be located immediately north of the existing Lodge. The applicant is also requesting that in the future some of the cabins will need to be remodeled, and staff could support an upgrade to the cabins at no greater than 110% of their current size and no increase to current capacity.

The applicant has stated that guest expectations for evening entertainment are increasing every year, and are, therefore, requesting to add approximately 525 sq. ft. (25' x 25') to the recreation building consistent with the existing architecture. Additionally, the applicant would like to remodel (possibly rebuild) the existing barn and corral areas. No increase in guest or staff capacity is proposed with this application.

Proposed Sewage Treatment Facility:

As a result of the Special Use submittal, the County and State Health Department's have determined that the existing septic system, approved to treat and dispose of 4,875 gallons per day, at the lodge area is designed to receive more than two thousand gallons of sewage per day. Section 28-275 of the County

Zoning Resolution defines this use as a "Sewage Treatment Facility" and requires Special Use approval, per Article 20 of the Zoning Resolution. This system is also subject to Colorado Department of Health site approval process.

REFERRAL RESPONSES

County Transportation - No conflicts.

County Health - Existing individual sewage disposal system was approved on July 28, 1975 to treat and dispose of a maximum daily wastewater flow of 4,875 gallons per day, with subsequent approval for the pool area in 1982. State regulations require systems that are designed to accommodate more than 2,000 gallons per day to receive site approval from the Colorado Department of Health, Division of Water Quality. The County Health Department does not have a conflict proceeding with this Special Use application with a condition that the applicant submitting the application to the State for site approval.

County Parks and Open Space - No conflicts

County Sheriff - No conflicts.

State Engineer - Recommend approval subject to continued compliance with the terms and conditions of the decree in Case No. W-8626-77, which allows for a substitute supply plan approved for the St. Vrain & Left Hand Water Conservancy District.

State Forest Service - No conflicts.

Adjacent Property Owners - No conflicts.

CRITERIA ANALYSIS

An application for a Special Use shall be approved only if the proposal meets the standards and conditions as stated in Section 20-301 of the Boulder County Zoning Resolution. Staff has reviewed these standards and conditions for the existing Resort Lodge / Guest Ranch and accessory uses; expansion to the Resort Lodge / Guest Ranch; and a Sewage Treatment Facility. These standards and conditions are addressed as follows:

(1) Complies with the minimum zoning requirements of the zoning district in which the Special Use is to be established, as set forth in this (Zoning) Resolution, and complies with all other applicable requirements of this (Zoning) Resolution and the Boulder County Subdivision Regulations.

Recognition of the existing resort lodge / guest ranch and all accessory uses use will cause this portion of the use to be conforming with County zoning. The uses and operations of the resort, as defined in the application and this memorandum would become the defined limits, which means the violation of any condition, safeguard, or commitments of record shall be sufficient grounds for revocation of the Special Use, as noted in Section 20-301 of the County Zoning Resolution.

The applicant has submitted a Special Use application for the proposed Resort Lodge / Guest Ranch expansion, and a new Sewage Treatment Facility in compliance with the County Zoning Resolution.

(2) Will be in harmony with the character of the neighborhood and compatible with the surrounding area.

Staff finds the request for additional staff housing, recreation building addition, garage with owners quarters, and general upgrade to existing cabins, barn and corral areas to be harmony and compatible with the character of the area based on the existing resort lodge / guest ranch use of the subject property, and being immediately north of Ferncliff. The applicant is proposing the additional structures to be compatible with existing architecture.

(3) Will be in accordance with the Boulder County Comprehensive Plan.

Goal C.2 of the County Comprehensive Plan states "Adequate parks and recreation facilities should be encouraged throughout the County and should be integrated whenever suitable with public facilities." In further defining recreational land uses, special consideration shall be given to potential impacts on the existing physical and environmental characteristics of the land and impacts on existing surrounding land uses." Staff believes the additions to the existing guest ranch facility will not significantly impact the surrounding land uses.

(4) Will not result in an over-intensive use of land or excessive depletion of natural resources.

There are approximately 56 acres under ownership by the applicant included in this application. The new additions are proposed to be at the existing developed area and staff does not feel that the additions will result in an over-intensive use of land.

(5) Will not have a material adverse effect on community capital improvement programs.

No referral responses indicate that the use or its expansions would have an adverse impact on any community capital improvement programs.

(6) Will not require a level of community facilities and services greater than that which is available.

Review of the application and the referral comments do not reflect any need for additional community facilities and services greater than that which is available.

(7) Will not result in undue traffic congestion or traffic hazards.

The County Transportation Department and the State Highway Department have not identified any conflicts with this application.

(8) Will not cause significant air, odor, water, or noise pollution (as amended 12-1-88).

This application request includes recognition of the existing Sewage Treatment Facility. The facility is designed to meet State and County Health Department standards. Additionally, the applicant will provide for manure removal in accordance with Health Department regulations.

(9) Will be adequately landscaped, buffered, and screened.

The site is well screened from the highway due to the topography and existing trees, and, therefore, no additional landscaping is proposed.

(10) Will not otherwise be detrimental to the health, safety, or welfare of the present or future inhabitants of Boulder County.

Provided all commitments of the applicant are followed, the proposal should not be detrimental to the health, safety, or welfare of the present or future inhabitants of Boulder County.

Staff further finds that the application will meet the criteria for a Site Specific Development Plan with the submission of the standard Development Agreement.

SUMMARY / CONCLUSION

The staff finds that the application for recognition of the existing non-conforming resort lodge / guest ranch and all accessory uses as a legal conforming Special Use is appropriate and can support the historical uses as described by the applicant and identified in this memorandum. Based on the review of referral comments and review of standards and conditions of a Special Use, staff can support the application for the additions proposed by the applicant. Staff would suggest conditions to provide "defensible space" for the new garage be incorporated, per State Forest Service guidelines and that the remodeling of the cabins be limited to 110% of existing square footage.

The Planning Commission held a public hearing regarding this request on March 16, 1994. No new information was presented at that hearing and Planning Commission concurred with the staff recommendation for a conditional approval.

RECOMMENDATION

Therefore, the Land Use staff and Planning Commission recommend that the Board of County Commissioners CONDITIONALLY APPROVE Docket SU-94-1: LAZY H GUEST RANCH Resort Lodge / Guest Ranch, with the proposed additions, and the Sewage Treatment Facility with the following conditions:

1) The applicant acquire all necessary State and County Health Department permits and approvals prior to the issuance of any new building permits.

2) The applicant provide "defensible space" around all new construction, as per the State Forest Service guidelines.

3) The remodeling of cabins shall be limited to 110% of the existing square footage, and all other applicable permits at the time of permit application shall be required.

4) The applicant shall remove and dispose manure in accordance with all applicable County and State regulations.

5) This Special Use shall limit the number of guests to a maximum of fifty-seven (57) people and a maximum of twenty (20) employees.

6) The applicant shall be subject to the terms, conditions, and commitments of record and in the file for Docket #SU-94-1: Lazy H Guest Ranch.

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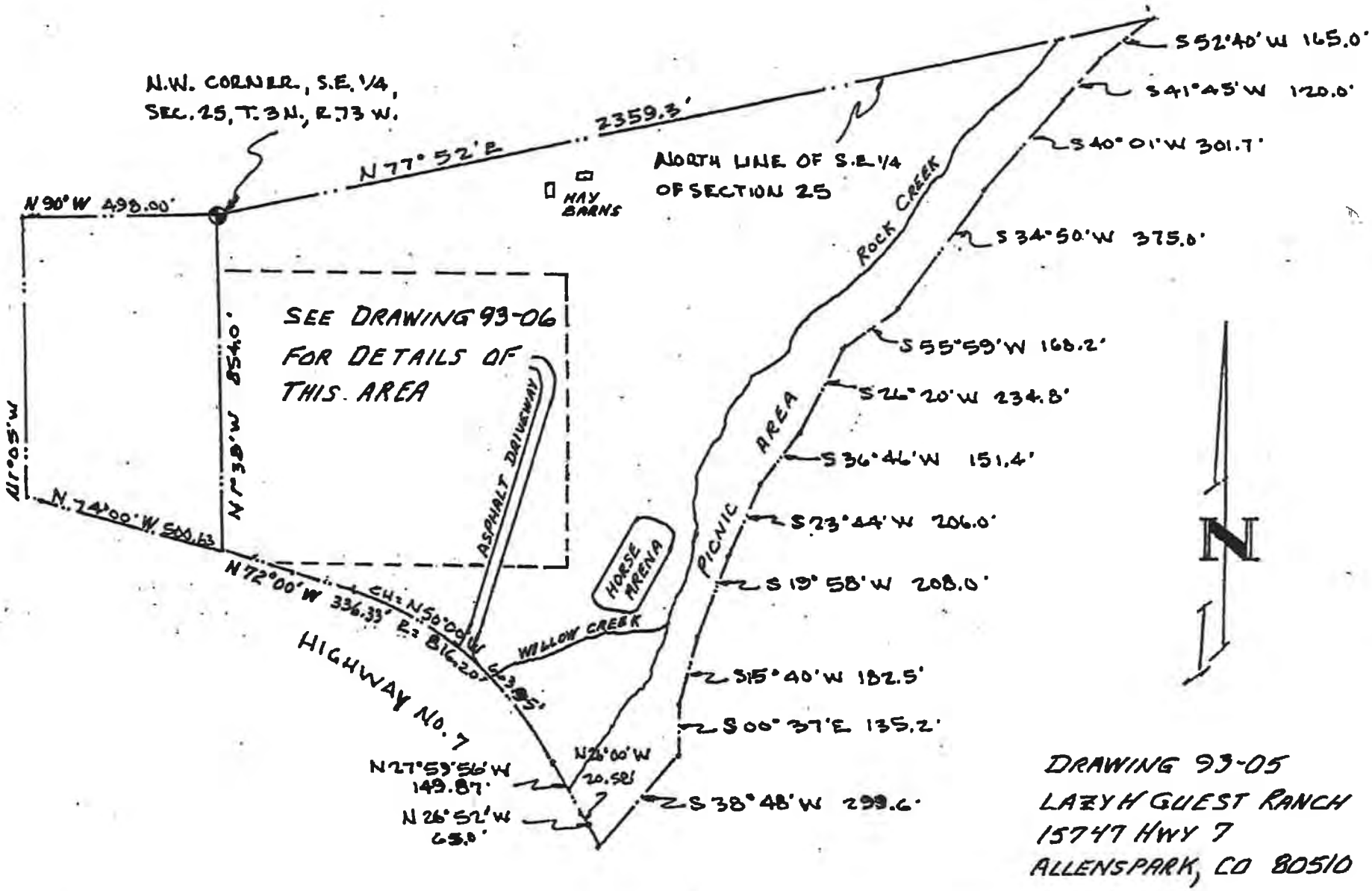
LAZY H GUEST RANCH

12/28/93



DRAWING 93-05
LAZY H GUEST RANCH
15747 HWY 7
ALLENSPARK, CO 80510

ATTACHMENT E

PO Box 248
Allenspark, CO 80510
Phone 747 2532
December 30, 1993

Boulder County Land Use Department
2040 14th Street
Boulder, CO 80302

Dear Sirs:

The following "Written Discussion" portion of the Special Use documentation package is broken into four parts:

I Introduction
II Existing use, existing structures, etc.
III Proposed modifications to use and structures.
IV Summary of water, sewer, signage and other factors that may be of interest to neighbors, the environment, etc.

I Introduction:

In the spring of 1992 myself, and my wife Karen, purchased the Lazy H Guest Ranch near Allenspark, CO. Since then we have two seasons of operation experience behind us. We now have a very good idea of just what it will require for us to maintain a first rate competitive ranch vacation experience for guests from throughout the world.

The Lazy H is one of only two guest ranches in Boulder County that is approved by the Colorado Dude and Guest Ranch Association. As such it provides a significant asset to the county, both in terms of employment and tax revenues. These are funds that come from out of the county, and would not be coming to Boulder county were it not for the Lazy H Ranch.

II Existing Use, Existing Structures, etc.

We have found the current total guest capacity of the ranch to be almost ideal for meeting our vision of what we want our ranch experience to be for our guests. As such I want to emphasize that although we will be requesting permission to do some remodeling, and in a couple of instances to enlarge current facilities, we do not want or intend to increase the total capacity of the ranch by a single bed.

There are three distinct seasons with associated use and activities at the ranch. The winter season, from about the middle of October through the end of April, has the least activities; being primarily bed and breakfast, weekend get-aways and business conferences and seminars. May and September see the beginning and end of the dude ranch vacation activities. Also many weddings take place at the ranch during both of these months as well as into October.

June, July and August are the primary dude ranch vacation months, and as such receive much of the attention and effort at the ranch. Typical ranch summer activities include but are not limited to the following:

* Extensive horseback riding, both on the ranch and in Roosevelt National Forest. This includes a specific children's as well as adult riding program.
* Care and maintenance of up to 60 horses.
* Picnics and cookouts at the recreation building and along Rock Creek.
* Supervised children's program.
* Swimming pool, hot tub and sauna activities.
* Evening entertainment such as sing-alongs, story telling, magic shows, native American and mountain man lore and nature studies. Guests also take advantage of our living room and/or saloon for relaxing. Adults may play ping pong or pool in the games area, and the children may watch a video in the lounge area of the recreation building.
* Food for all meals is prepared and served on the premises.
* Lodging.

The staff required to make all this happen is fairly extensive. The full time summer staff which lives on the premises is comprised approximately as follows:

Wranglers and barn manager	5
Kitchen	5
Children's program	2
Housekeeping	3
Maintenance	1
Bartender	1
Office manager	1
Guest relations manager	1
General manager	1

Each staff member is cross trained, and may be called on to help in areas other than their specialty. In addition, various entertainers, rafting specialists, etc. come to the ranch once a week.

Year round staff is significantly less than the summer staff. During the winter, the wranglers are reduced to one, the kitchen to two and housekeeping to one. The children's counselors and bartender are summer only. A full time marketing person is needed during the fall and winter.

Existing structures are shown in Lazy H Site Plan drawing No. 93-06. There use is summarized below:

Main Lodge	Number	Capacity
Guest Rooms	12	35
Staff Rooms	4	14
Dining Room	1	70+
Kitchen	2	
Cold Storage/Pantry	3	
Office	2	
Conference	1	
Shop	1	
Cheyenne Cabin		
Guest Rooms	3	9

Ute Cabin		
Guest Rooms	3	6
Sundance Cabin		
Guest Rooms	3	7
Hogan Cabin		
Staff Rooms	2	2
Mobile Home		
Staff Rooms	3	4
Total Capacity		77 ^^

^^ Note: because of guest family distribution, the total actual occupancy seldom exceeds 60 people.

Recreation Building - Game room, lounge room, restrooms.
Pool Building - Machinery for pool and hot tub. Sauna
Tack Barn - Saddle and tack storage.
Various sheds for horse shelter, hay and storage.
Hay sheds located near north boundary of ranch used for summer storage of hay.

III Proposed Modifications to Structures and Activities

We expect no significant change to the activities at the ranch. We are constantly looking to improve and upgrade our activities and program, however it should continue to fit within the bounds of the present described activities.

It has apparently been at least 25 years since there has been any significant upgrading of guest and staff accommodations at the Lazy H. Since purchasing the ranch we have done extensive redecorating by installing new carpeting, drapes, beds and comforters, etc. This seems to be somewhat sufficient for the time being, however we have experienced a real need to lower the guest density, i.e. fewer or larger beds in many of our rooms, if we are to remain competitive in the years to come. In addition, our current staff accommodations are not sufficient to keep us in a good position for acquiring and maintaining a high quality staff.

We belive we currently have sufficient guest rooms in the lodge and cabins to accommodate our guests at a density level that will be competitive for the foreseeable future. Unfortunately we are presently using several of these rooms as dormitory style staff rooms.

Guest expectations for evening entertainment are increasing every year. As such we feel we need to upgrade and enlarge part of our recreation building.

Our barn and corral area has been neglected for many years. Extensive fixing is required, and remodeling the barn

(probably most efficient to tear the old one down and build a new one) would greatly improve our efficiency in dealing with the many demands the wranglers are faced with each day.

Finally, we very much want, at some future point, to build a garage for our car and truck with owners quarters above. There is currently no vehicle shelter nor specific owners quarters at the ranch. This would also facilitate our final attempt to lower guest density while maintaining our current total capacity.

In order to accommodate the above mentioned various goals, I have outlined the following plan which hopefully will be approved under Special Review. Please see accompanying drawings for location and size details of the present and proposed ranch layout.

1) Beginning spring, 1994: Remove mobile home, which is currently being used as staff quarters, and build a two story frame staff quarters at approximately the same location.

2) 1994 or 1995: Extend the recreation building approximately 20 (no more than 25) feet to the west. Rebuild the east covered area which is in disrepair.

3) 1995: Rebuild barn and tack area. Continue indefinitely repairing and rebuilding corrals as necessary.

4) 1996: Build vehicle garage with owners quarters above.

5) Beginning as early as 1994: Remodel the four 1 story cabins. The three cabins to the east are seasonal guest cabins and remodeling would simply be to upgrade. No significant expansion of area is anticipated, and certainly no expansion of capacity. Sundance cabin needs a new roof. The small cabin furthest to the west is a year around residence for our married daughter, and remodeling this unit will probably involve an increase in size. We anticipate extending the cabin about 20 feet to the north and removing and rebuilding the covered porch area. We feel that our married daughter and her husband who are key permanent staff certainly deserves accommodations upgraded from the current cabin.

The proposed changes result in the following distribution of guests and staff:

	Number	Capacity
<u>Main Lodge</u>		
Guest Rooms	15	41
Staff Rooms	1	1
<u>Cheyenne Cabin</u>		
Guest Rooms	3	6

Ute Cabin		
Guest Rooms	3	4
Sundance Cabin		
Guest Rooms	3	6
Hogan Cabin		
Staff Rooms	2	2
Mobile Home		
Staff Rooms	Removed	
Staff Quarters	9	14
Owners Quarters	2	3
Total Capacity		77

IV Summary of Water, Sewer, Signage and Other Factors that may be of Interest to Neighbors, Environment, etc.

Because there is no proposed increase in water usage, the current industrial water adjudication of 15 gallons per minute is more than adequate. For the same reason, the present septic system will be used within its design limits, and has proven more than adequate over the years to handle the proposed usage requirement. The system is carefully maintained, and should not require repair or replacement in the foreseeable future.

As mentioned above, the current signage is one half the allotted 32 square ft. There are no specific plans to increase the present sign. However, we would like to have the freedom to increase the total sign area to 32 square ft. if sometime in the future such an increase seemed useful.

Except for the barn, the proposed structural changes are only partially visible from neighbor areas at a great distance. Any upgrading to the barn should enhance neighbor satisfaction as it will not present a larger visible structure, and it will replace the present somewhat ramshackle building. All structural changes or additions will be painted with the same deep earthtone red (Navajo Red) as the present buildings.

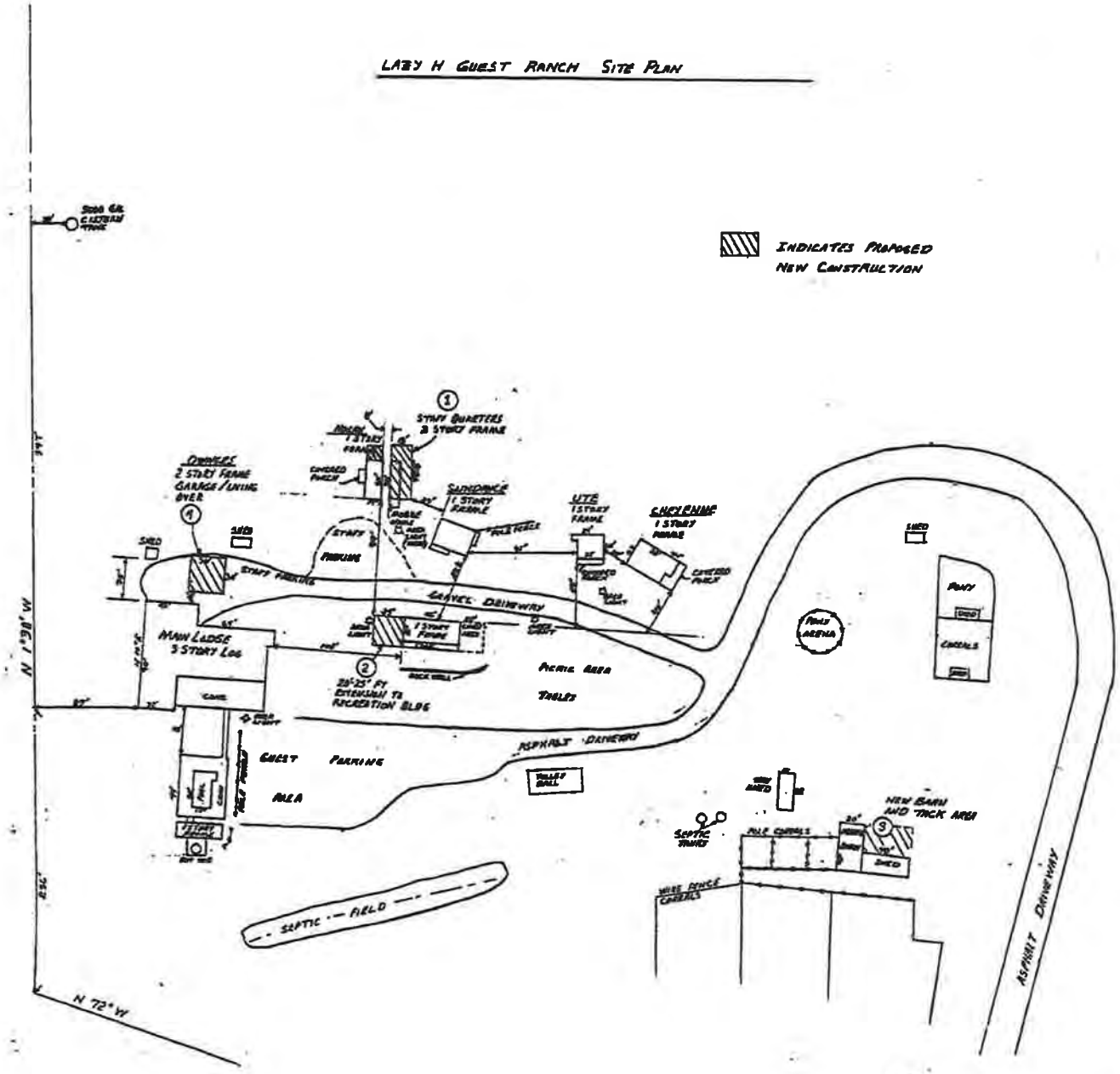
We know of no factors within our proposal that would be detrimental to our neighbors, the environment, or to the county.

Sincerely,

Phillip D. Olbert

Phillip D. Olbert
Partner/Manager Lazy H Guest Ranch

LAZY H GUEST RANCH SITE PLAN

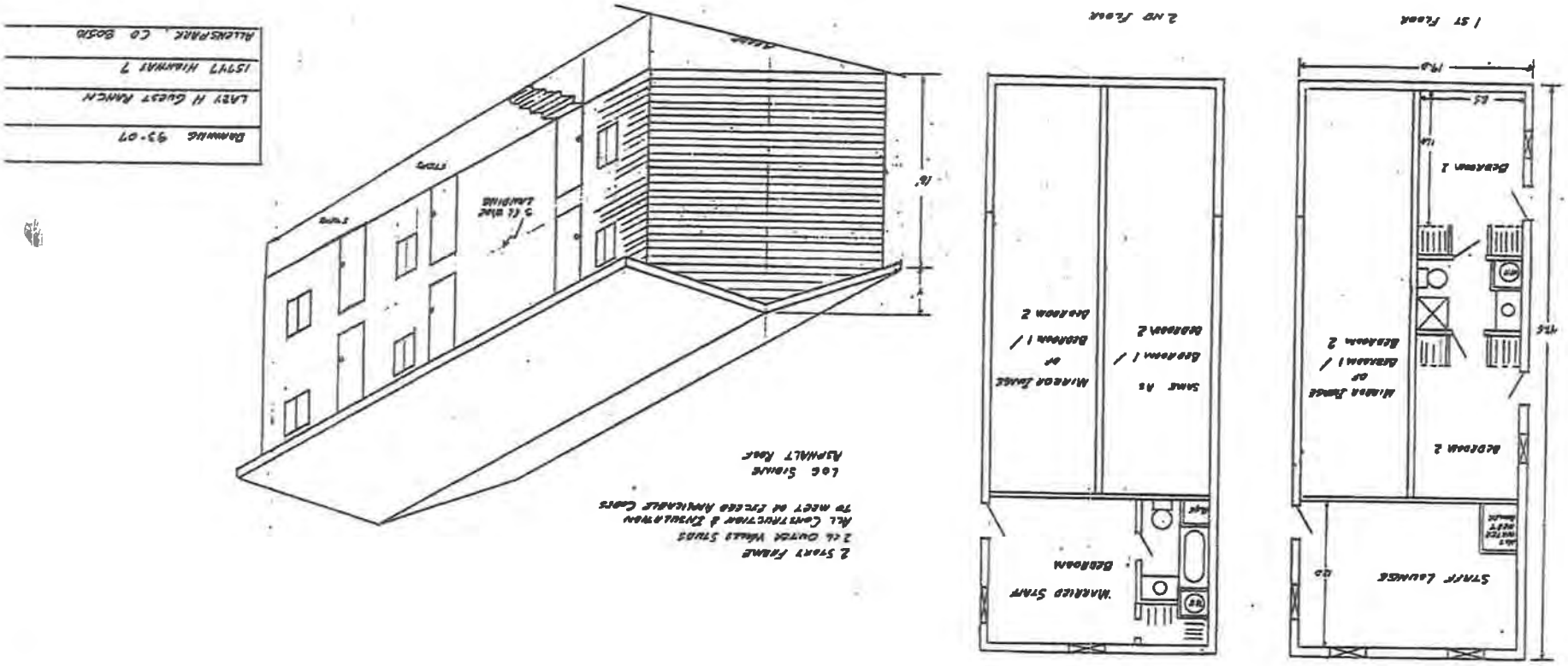


CERTIFICATION

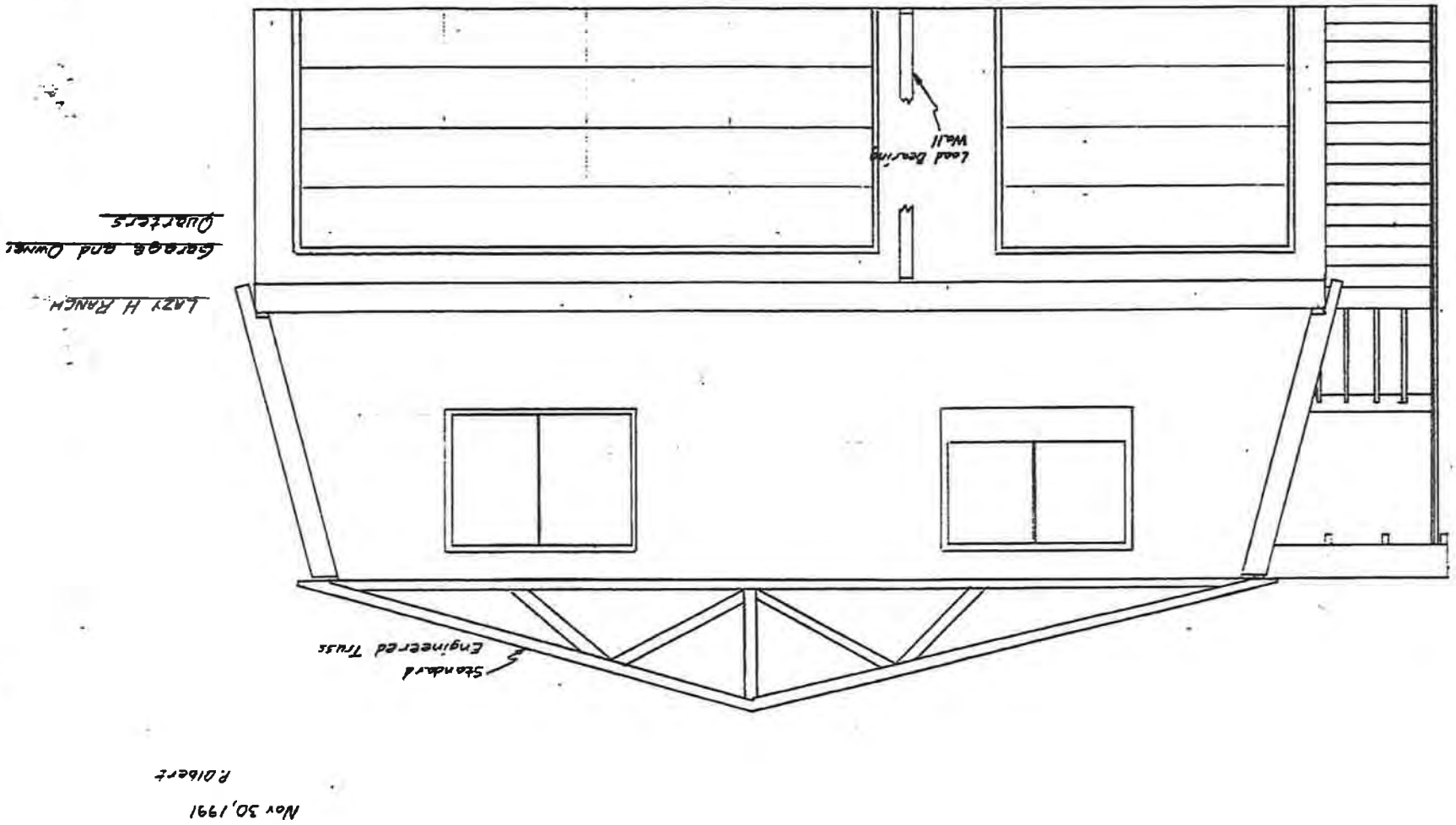
I, PHILLIP D. OLBERT, BEING THE OWNER/OPERATOR OF THE LAZY H GUEST RANCH DO HEREBY CERTIFY THAT THIS SITE PLAN BASED ON A 1978 SURVEY BY HOWARD MILLER, A REGISTERED LAND SURVEYOR, AND ON SITE MEASUREMENTS IS A GOOD AND ACCURATE REPRESENTATION OF THE CURRENT AND PROPOSED IMPROVEMENTS FOR BOULDER COUNTY SPECIAL USE APPROVAL.

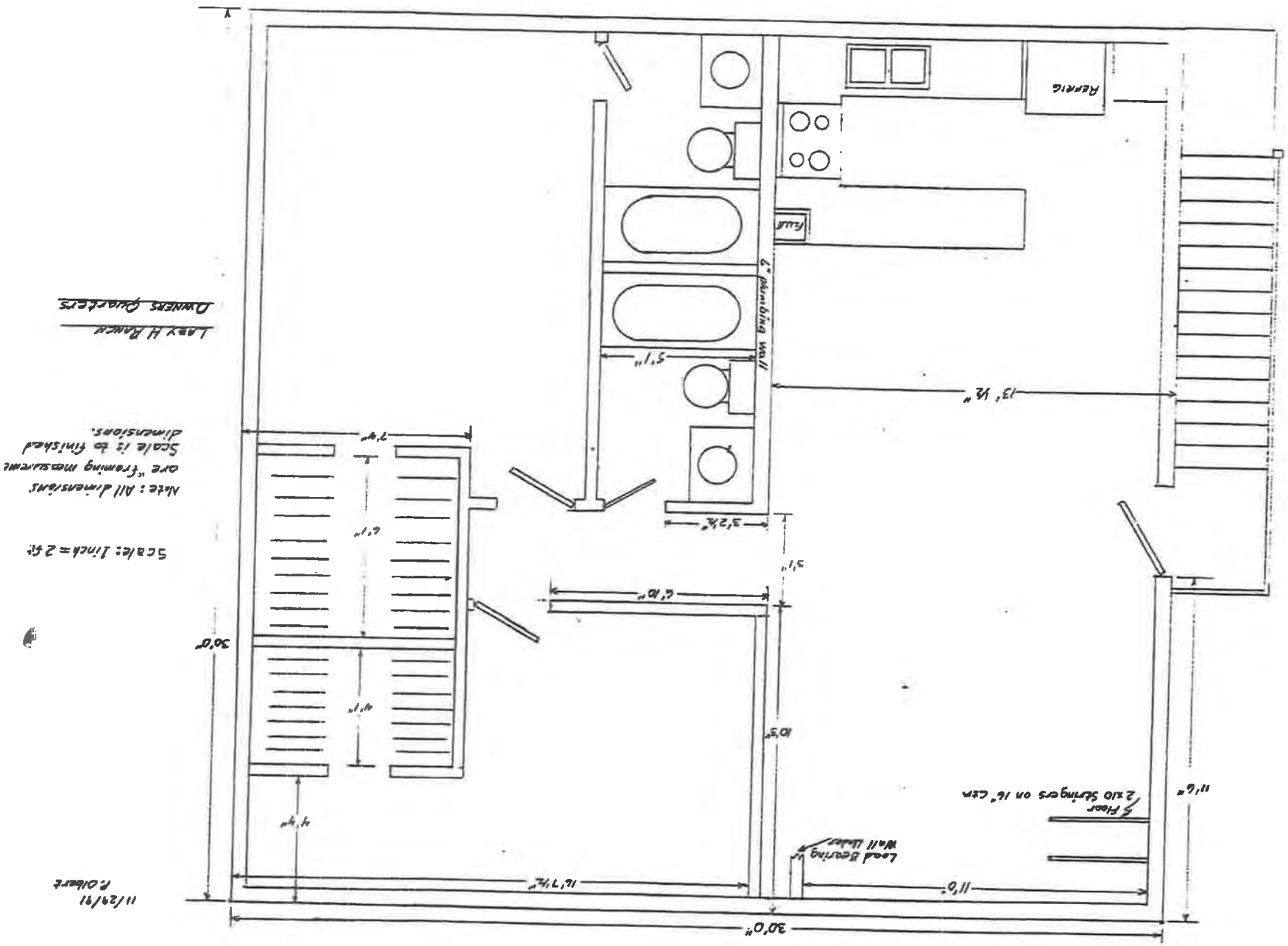
Phillip D. Olbert 12/2/93

DRAWING No 93-06
LAZY H GUEST RANCH
15747 HIGHWAY 7
ALLENSPARK, CO 80510


Drawing 93-07
LAZY H GUEST RANCH
15717 HIGHWAY 7
ALLENSPARK, CO 80510
2 Story Frame
2 x 6 Outer Walls Studs
All Construction & Insulation
To meet or Exceed Americans Codes
Log Siding
Asphalt Roof
5 ft wide landings
Stairs
Stairs
16'
1 ST Floor
2 ND Floor
Staff Lounge
Bedroom 2
Mirror Image of Bedroom 1 / Bedroom 2
Bedroom 1
Same As Bedroom 1 / Bedroom 2
Mirror Image of Bedroom 1 / Bedroom 2
Married Staff Bedroom
19.5
11.5
6.5
10.5
14
LAZY H RANCH STAFF QUARTERS

12/20/03


Nov 30, 1991
Robert
Standard
Engineered Truss
Load Bearing
Wall
Lazy H Ranch
Garage and Owner
Quarters


30'0"
11'0"
16'7½"
Load Bearing Wall Below
Floor 2x10 Stringers on 16" ctrs
11'6"
10½"
4'4"
4'1"
30'0"
6'10"
3'1"
3'2½"
6'1"
7'4"
Scale: 1inch = 2 ft.
Note: All dimensions are "framing measurement
Scale is to finished dimensions.
13' ½"
5'1"
6" plumbing wall
Range
Refrig
Larry H Rankin
Owners Quarters
11/29/91
R. Olbert

ATTACHMENT E

land use department
po box 471 11th and spruce west / boulder, colorado 80306-449-3930

DEVELOPMENT SUMMARY FORM

DEPARTMENT USE ONLY
DOCKET NUMBER
SUB. TYPE
EXE. TYPE
S.U. TYPE
D.U. TYPE

PROJECT NAME: LAZY H GUEST RANCH

APPLICANT: PHILLIP/KAREN OLBERT

PROPERTY OWNER: SAME

TYPE OF REQUEST

- ☐ ROAD NAME CHANGE
- ☐ VACATION
- ☐ REZONING
- ☐ BOA VARIANCE/APPEAL
- ☒ SPECIAL USE
- ☐ LOCATION & EXTENT
- ☐ SUBDIVISION EXEMPTION
- ☐ OTHER: _____
- ☐ SUBDIVISION SKETCH PLAN
- ☐ SUBDIVISION PRELIMINARY PLAN
- ☐ SUBDIVISION FINAL PLAT
- ☐ RESUBDIVISION (REPLAT)

NATURE OF REQUEST OR (FOR BOA VARIANCE ONLY) STATEMENT OF HARDSHIP

GENERAL UPGRADING OR REPLACING OF EXISTING STRUCTURES TO MORE NEARLY MEET CURRENT REQUIREMENTS. ADD 3 CAR GARAGE WITH OWNERS' QUARTERS ABOVE.

GENERAL LOCATION • LEGAL DESCRIPTION

GENERAL LOCATION: 3/4 MILE EAST OF ALLENSPARK TOWN			ADDRESS: 15747 HWY 7		
LOT: NA	BLOCK: NA	SUBDIVISION: NA	SECTION: 25	TOWNSHIP: 3N	RANGE: 73W
AREA IN ACRES: 56	EXISTING ZONING: FORESTRY		PROPOSED ZONING: FORESTRY		
PERCENT SINGLE FAMILY: NA	PERCENT MULTI FAMILY: NA		PERCENT OPEN OR UNDEVELOPED: 60		
EXISTING USE OF PROPERTY: DUDE RANCH	NUMBER OF EXISTING LOTS: NA		NUMBER OF PROPOSED LOTS: NA		
NUMBER OF EXISTING DWELLINGS: 6	NUMBER OF PROPOSED DWELLINGS: 7		PROPOSED SQUARE FEET COMMERCIAL/INDUSTRIAL: 17000		
WATER: WELL	SEWAGE: SEPTIC		ELECTRIC: TOWN OF ESTES PARK		
TELEPHONE: 747-2532	GAS: PROPANE	DITCHES: NONE	CITY OR TOWN WITHIN 2 MILES: ALLENSPARK		
FIRE RESPONSE AREA: ALLENSPARK		SCHOOL DISTRICT: LR-P-3.1	PARCEL I.D. NUMBER(S): NA		
COMPREHENSIVE PLAN LAND USE DESIGNATION		BOULDER COUNTY COMPREHENSIVE PLAN ANALYSIS AREA	ACRES OF AGRICULTURAL LAND REMOVED FROM PRODUCTION		

SUBDIVISION INFORMATION

PROPOSED ACRES IN OPEN SPACE/AGRICULTURAL PRESERVATION		PRICE RANGE OF LOTS/DWELLINGS $	$
ROADS	MILES OF NEW ROADS	PUBLIC	PRIVATE
	ACRES DEDICATED TO ROADS	PUBLIC	PRIVATE
ESTIMATED CONSTRUCTION DATES		BEGIN	COMPLETE

OTHER

PROJECT NAME

DOCKET NUMBER

RESOLUTION 94-129

A RESOLUTION CONDITIONALLY APPROVING BOULDER COUNTY LAND USE DOCKET #SU-94-1 ("LAZY H GUEST RANCH RENOVATION"): A SPECIAL USE AND SITE SPECIFIC DEVELOPMENT PLAN REQUEST FOR RECOGNITION OF AND ADDITIONS TO A RESORT LODGE AND GUEST RANCH LOCATED APPROXIMATELY 3/4 MILE EAST OF ALLENSPARK, ON THE NORTH SIDE OF STATE HIGHWAY 7, IN SECTION 25-T3N-R73W.

WHEREAS, Phillip and Karen Olbert ("Applicants") have requested approval for a special use permit and site specific development plan for recognition of their existing resort lodge/guest ranch as a conforming (special) use, on the property which is located as described in the caption to this Resolution, above ("the Subject Property"), in the Forestry (F) Zoning District in unincorporated Boulder County; and

WHEREAS, the Applicants are also requesting to expand the resort lodge/guest ranch by adding 1,800+- square feet for a vehicle garage with owners' quarters above; 525+- square feet to the recreation building; a new 1900+- square foot staff housing facility; and 225+- square feet to the Hogan cabin; as well as to have recognized the ranch's existing sewage treatment facility which is designed to accommodate over 2,000 gallons per day; and

WHEREAS, the above-described request was processed and reviewed as Boulder County Land Use Docket #SU-94-1 ("the Docket"), all as further described in the Boulder County Land Use Department Planning Staff's Memorandum and written recommendation to the Boulder County Board of County Commissioners ("the Board") dated May 3, 1994, with its attachments ("the Staff Recommendation"); and

WHEREAS, on March 16, 1994, the Boulder County Planning Commission ("the Planning Commission") held a duly-noticed public hearing on the Docket, and recommended conditional approval of the Docket to the Board; and

WHEREAS, on June 9, 1994, as tabled without a hearing from May 3, 1994, the Board held a duly-noticed public hearing on the Docket ("the Public Hearing"), at which time the Board considered the Staff Recommendation and the recommendation of the Planning Commission, and also considered documents and testimony presented by the County Land Use Department Planning Staff, as well as by the Applicant, Phil Olbert, with no members of the public being present to speak to the Docket; and

WHEREAS, based on the Public Hearing, the Board finds that the Docket meets the criteria for special use approval set forth in Article 20-301 of the Boulder County Zoning Resolution, and, with the submission of the standard development agreement, also meets the criteria for approval of a site specific development plan set forth in Article 19-301 of the Boulder County Zoning Resolution, subject to the conditions stated below.

NOW, THEREFORE, BE IT RESOLVED that the Docket is hereby approved, on the basis and terms set forth in this Resolution, above, and subject to the following conditions:

1. The Applicants acquire all necessary State and County Health Department permits and approvals prior to the issuance of any new building permits.

2. The Applicants provide "defensible space" around all new construction, as per the State Forest Service guidelines.

3. The remodeling of cabins shall be limited to 110% of the existing square footage, and all other applicable permits at the time of permit application shall be required.

4. The Applicants shall remove and dispose of manure in accordance with all applicable County and State regulations.

5. This Special Use shall limit the number of guests to a maximum of fifty-seven (57) people and a maximum of twenty (20) employees.

6. The Applicant shall be subject to the terms, conditions, and commitments of record and in the file for Docket #SU-94-1: Lazy H Guest Ranch.

A motion to approve the Docket, as stated above, was made by Commissioner Page, seconded by Commissioner Hume, and passed by a 3-0 vote.

ADOPTED this 9th day of August, 1994, nunc pro tunc the 9th day of June, 1994.

BOARD OF COUNTY COMMISSIONERS OF BOULDER COUNTY:

Ronald K. Stewart

Ronald K. Stewart, Chair

Homer Page

Homer Page, Vice Chair

Sandy Hume

Sandy Hume

ATTEST:

Susan M. Ashcraft

Clerk to the Board

ATTACHMENT E

11-1

#01554285 10/11/95 09:12 AM REAL ESTATE RECORDS
F2082 CHARLOTTE HOUSTON BOULDER CNTY CO RECORDER

DEVELOPMENT AGREEMENT
RELATING TO DEVELOPER'S OBLIGATIONS IN
LAZY H GUEST RANCH RENOVATION

560

THIS AGREEMENT is made on this 14th day of September, 1995, by and between the Board of County Commissioners of Boulder County, Colorado, hereinafter referred to as "County," and Phillip and Karen Olbert, hereinafter referred to as "Developer".

WHEREAS, Developer has submitted to County for approval of Special Use Review/Site Specific Development Plan for recognition and additions to a resort lodge/guest ranch; with sewage treatment facility, hereinafter referred to as "development;" and

WHEREAS, County has fully considered the proposed development and the requirements to be imposed upon the land and properties by reason of the proposed development; and

WHEREAS, County is willing to approve the development upon the agreement of the Developer to the matters herein described; and

WHEREAS, County and Developer mutually acknowledge and agree that the matters hereinafter set forth are reasonable conditions and requirements to be imposed by the County in connection with its approval of the development, and that such matters are necessary to protect, promote and enhance the general welfare.

WHEREAS, County has determined that this agreement is consistent with the Boulder County Comprehensive Plan and applicable county regulations; and

NOW, THEREFORE in consideration of the premises, the mutual covenants herein contained and the approval of the development, it is agreed as follows:

1. Types of Development -
   A) Recognize the existing Resort Lodge/Guest Ranch, and all accessory uses including sewage treatment facility
      - Main Lodge: Approximately 13000 sq. ft. with 14 guest bedrooms, dining room, living room, commercial kitchen, conference room, two staff quarters, licensed bar, shop, office, laundry and machinery rooms.
      - 15 ft. X 30 ft. swimming pool
      - Pool house including pool and hot tub machinery and sauna.
      - Large hot tub.
      - 14 X 28 ft. metal storage shed.
      - 15 X 15 ft. frame storage shed.

* 100 X 27 ft. frame recreation building (includes 27 X 30 ft. cookout patio area)
* Four one story frame cabins:
  1) "Hogan"; 850 sq. ft.
  2) "Sundance"; Three bedroom, two bath duplex. 690 sq. ft. plus porches.
  3) "Ute"; Two bedroom plus living room. 485 sq. ft. plus porch.
  4) "Cheyenne"; Three bedroom, two bath duplex. 870 sq. ft. plus porches.
* Corrals, about three acres divided into approximately 10 separate pens.
* Three hay sheds, each approximately 10 X 30 ft.
* Round pen, approximately 53 ft. diameter.
* Arena, approximately 150 ft. X 300 ft.
* Two 3000 gallon septic tanks with two septic absorption fields totaling 5040 sq. ft.

B) Allow for proposed Resort Lodge/Guest Ranch expansion as follows:
* Staff quarters building (new). 19 X 47 ft. two story frame. HOGAN
* Barn: 40 X 60 ft. Note, we are currently studying the possibility that we could be significantly more environmentaly friendly by enlarging the barn and greatly reducing the total corral size and number of horse shelters.
* Seven horse shelters. As with the barn, if we were to build a larger barn we could reduce the number of horse shelters.
* Vehicle garage with owners quarters above; total of approximately 1800 sq.ft. two story frame (new).

Development shall be consistent with the commitments of architecture record and conditions of approval established in Special Use approval SU-94-1-Lazy H Guest Ranch Renovation and with the attached plans and supporting documents (including location, directional orientation, height and dimension of all structures and buildings existing and proposed with total number of square feet of floor area of principal buildings).

2. Water Supply: where individual wells are proposed - The Developer shall provide Well Permits as issued by the Colorado State Engineer for all individual or domestic wells.
3. Sewage: where individual septic systems are utilized-Septic Permits shall be required for individual systems prior to obtaining a Building

Permit. The Septic Permit shall be obtained from the Boulder County Health Department. The developer shall acquire all necessary State and County Health Department permits and approvals prior to the issuance of any new building permits.

4. Developer shall provide "defensible space" around all new construction, as per the State Forest Service guidelines.
5. The remodeling of cabins shall be limited to 110% of the existing square footage, and all other applicable permits at the time of permit application shall be required.
6. This Special Use shall limit the number of guests to a maximum of fifty seven (57) people and a maximum of twenty (20) living on site employees.
7. Signage and Exterior Lighting: A sixteen sq. ft. sign identifying the Lazy H Guest Ranch currently exists at the main entrance to the ranch. This sign is illuminated at night with a small flood light. Up to 16 sq. ft. additional signage may be added. Small area lighting is placed at various locations throughout the ranch to provide minimum safe illumination for walkways normally used by guests after dark.
8. Horse manure disposal: The developer shall remove and dispose manure in accordance with all applicable County and State regulations.
9. Parking: Adequate parking is provided for both staff and guests as is diagramed in the Site Specific Plan, Lazy H Ranch drawing No. 93-06.
10. Boulder County may conduct a periodic review of the status of the development which is the subject of this agreement, said review to occur at 12 month intervals.
11. In consideration of the above conditions and covenants, the County agrees to grant a vested property right for the proposed development to proceed pursuant to the terms of this agreement. The approval shall have a term of (3) years subject to the provisions for modification and termination contained herein. The developer may request an extension of said vested right.
12. The vested property right granted herein shall be terminated if Boulder County determines that the developer is not in good faith compliance with the terms of the agreement.
13. Subsequent regulation enacted by Boulder County shall be applicable to the proposed development if necessary to protect the health and safety of the inhabitants of Boulder County or if general in

nature and applicable to all properties subject to County land use regulations.

14. The developer shall participate in the appropriate road impact fee fund if and when Boulder County adopts a county wide road impact fee system prior to the issuance of building permits pursuant to this agreement.
15. This agreement may be canceled or amended on the mutual consent of the parties or to bring the proposed development into conformance with federal or state law.
16. Developers' compliance with the terms of this agreement may be enforced by any legal means, including but not limited to, termination of developers' vested right granted herein, revocation of developers' approval, denial of building permits, or action for breach of contract.
17. The terms and conditions of this agreement shall be covenants which run with the lands and inure to the benefit of and are binding upon the heirs, successors in interests and signs of the parties hereto.
18. This agreement, upon execution, shall be recorded in the records of the Boulder County Clerk and Recorder.
19. Enforcement - Boulder County alone may waive or modify requirements herein. It is agreed that Boulder County or any purchaser of any land subject to the restrictions or requirements of the Development Agreement shall have the authority to bring an action in the Boulder District Court to compel the enforcement of this agreement and the restrictions and requirements herein provided for. If the property becomes included within the boundaries of any city or town, Boulder County's right to enforce this agreement shall automatically pass to the governing body of the city or town. Boulder County shall have the right to waive its rights to enforce this agreement or to modify the same (with the consent of the Developer) without obtaining the consent of any other entity or person; provided that if the property becomes included within the boundaries of any city or town, such rights of Boulder County shall automatically pass to the governing body of the city or town.
20. Liability - The individuals signing as Developers assume personal responsibility for the execution of all requirements contained in this Development Agreement.
21. Recordation - The Developer shall file for recording

with the Boulder County Clerk and Recorder this Development Agreement, reduced site plan and/or any other documents required as part of the approval by the Board of County Commissioners of the above referenced development.

IN WITNESS WHEREOF, the parties have hereunto set their hands and seals this _____ day of _____, 199___.

OWNER - DEVELOPER

Phillip D. Olbert

Karen K. Olbert

BOULDER COUNTY

Ronald K. Stewart

CHAIR, BOULDER COUNTY
BOARD OF COUNTY COMMISSIONERS

ATTEST

Susan M. Ashcraft

CLERK OF THE BOARD

STATE OF COLORADO
COUNTY OF BOULDER
The foregoing instrument was acknowledged before me this 13th day of September, 1995,

by Phillip D. Olbert and Karen K. Olbert.

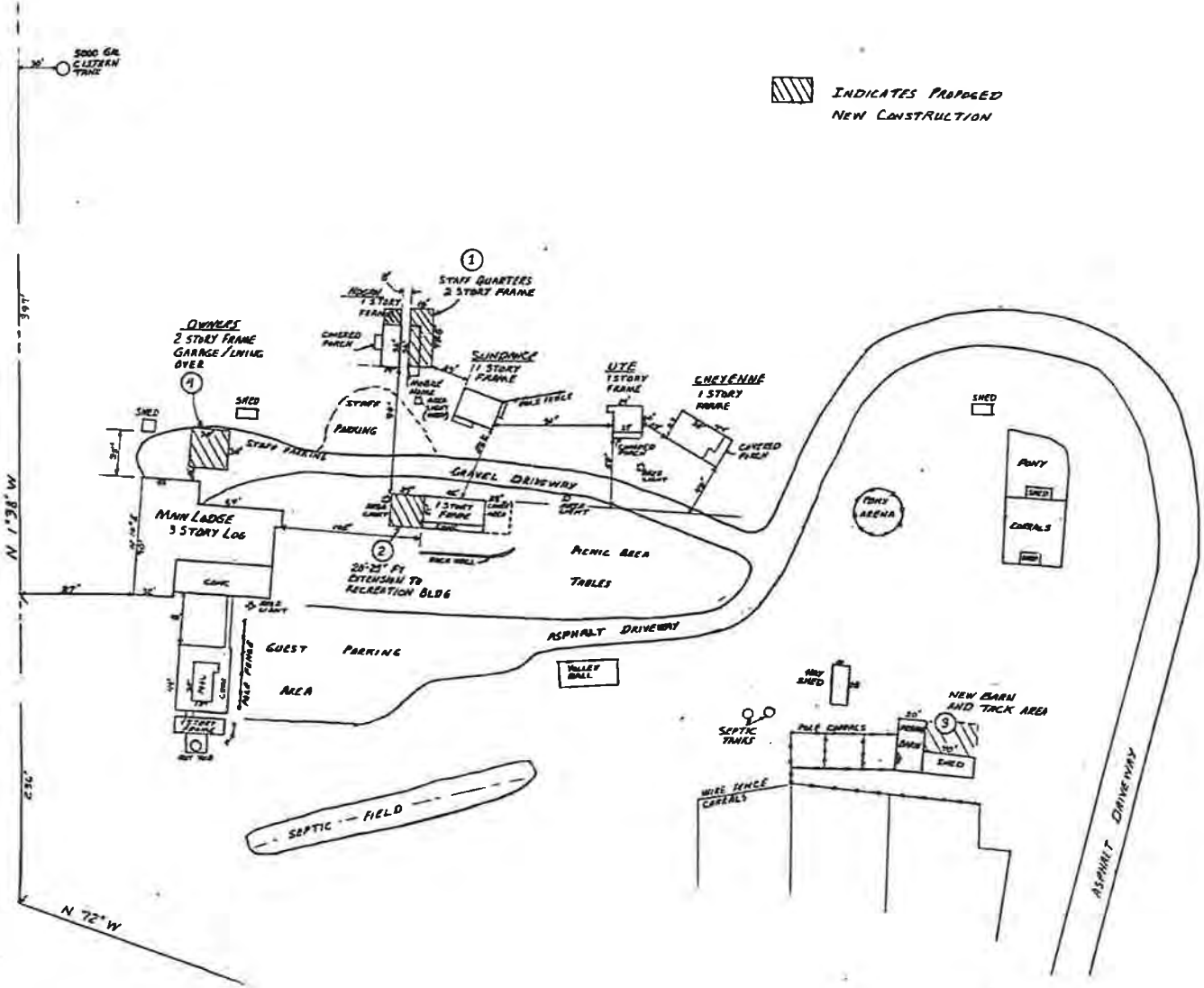
Witness my hand and official seal.

My commission expires 4/15/96

Joyce Becker

NOTARY PUBLIC

LAZY H GUEST RANCH SITE PLAN



CERTIFICATION

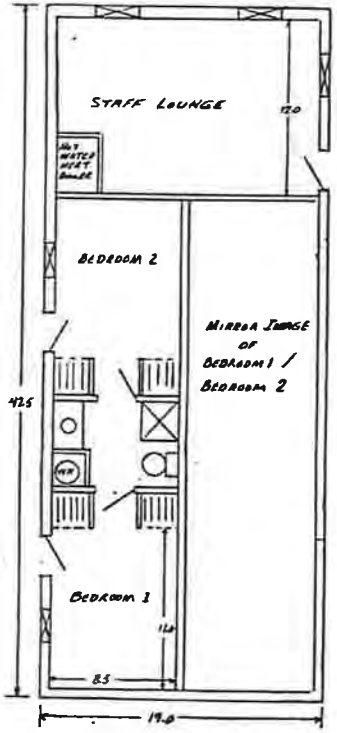
I, PHILLIP D. OLBERT, BEING THE OWNER/PARTNER OF THE LAZY H GUEST RANCH DO HEREBY CERTIFY THAT THIS SITE PLAN BASED ON A 1978 SURVEY BY HOWARD MILLER, A REGISTER LAND SURVEYER, AND ON SITE MEASUREMENTS IS A GOOD AND ACCURATE REPRESENTATION OF THE CURRENT AND PROPOSED IMPROVEMEN FOR BOULDER COUNTY SPECIAL USE APPROVAL.

Phillip D. Olbert 12/20/93

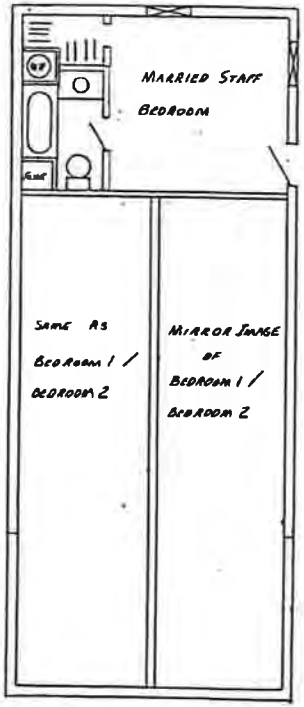
DRAWING No 93-06
LAZY H GUEST RANCH
15747 HIGHWAY 7
ALLENSPARK, CO 80510

12/20/93

LAZY H RANCH STAFF QUARTERS



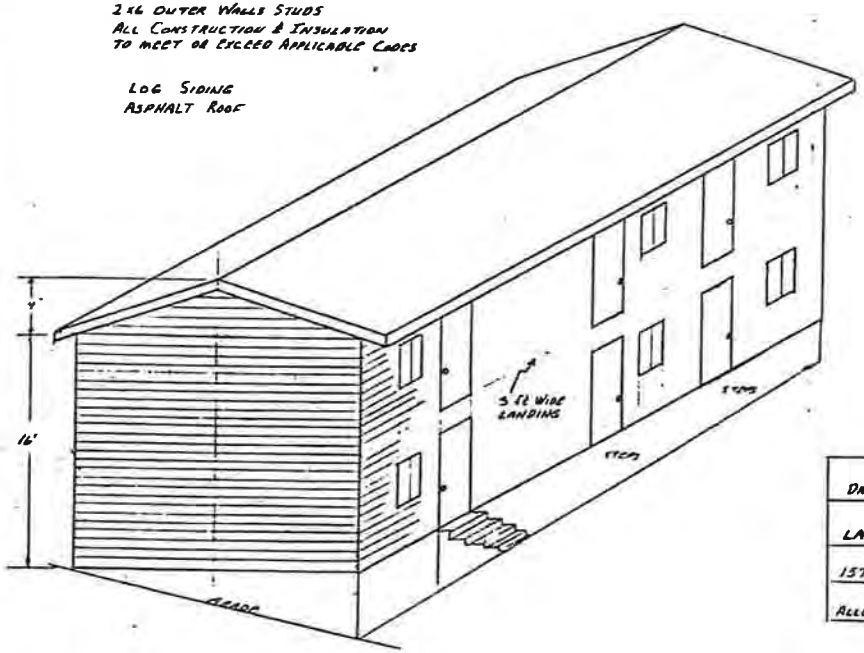
1 ST FLOOR



2 ND FLOOR

2 STORY FRAME
2 x 6 OUTER WALLS STUDS
ALL CONSTRUCTION & INSULATION
TO MEET OR EXCEED APPLICABLE CODES

LOG SIDING
ASPHALT ROOF



DRAWING 93-07

LAZY H GUEST RANCH

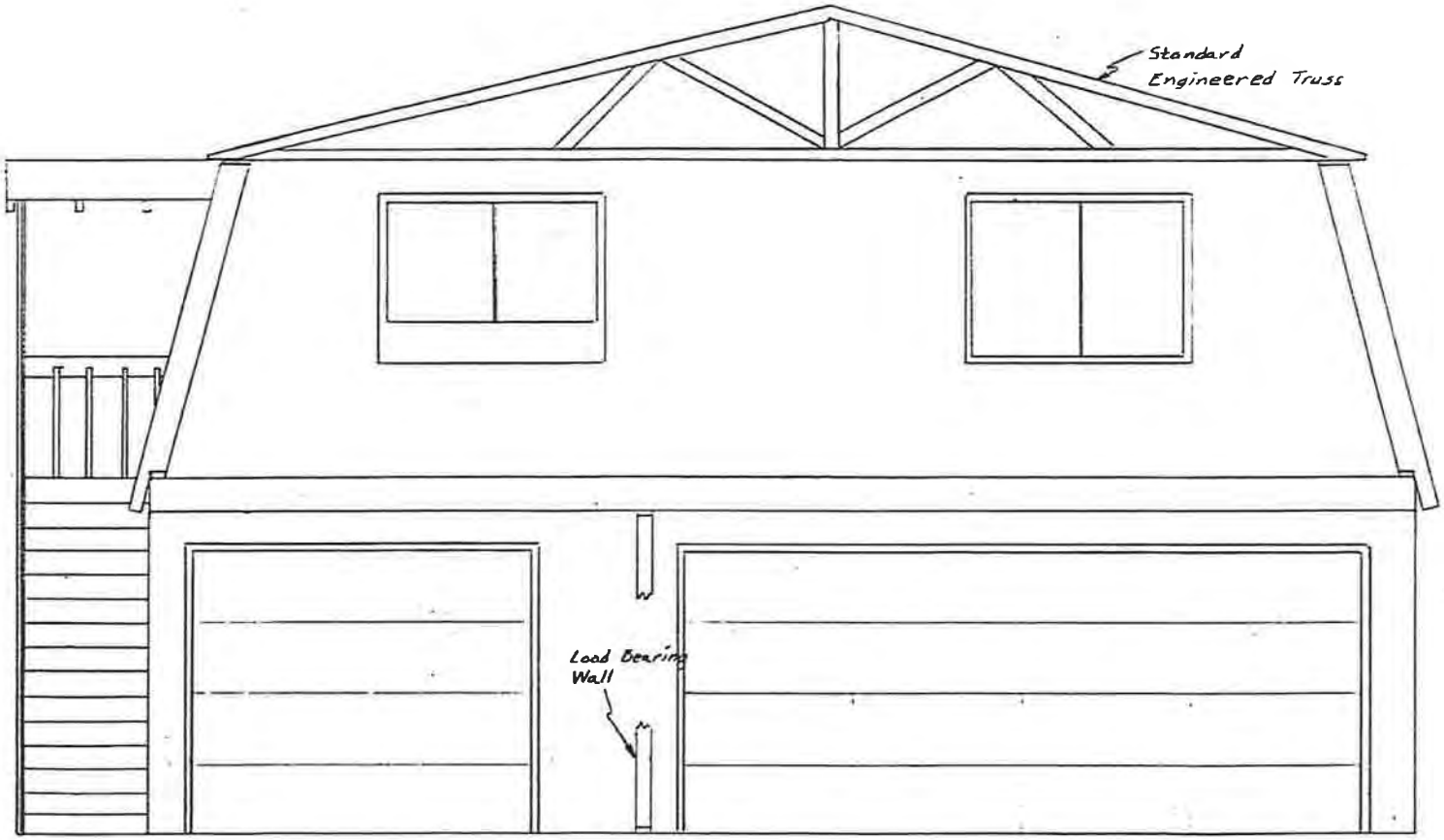
15747 HIGHWAY 7

ALLENSPARK, CO 80510

8-11

Nov 30, 1991

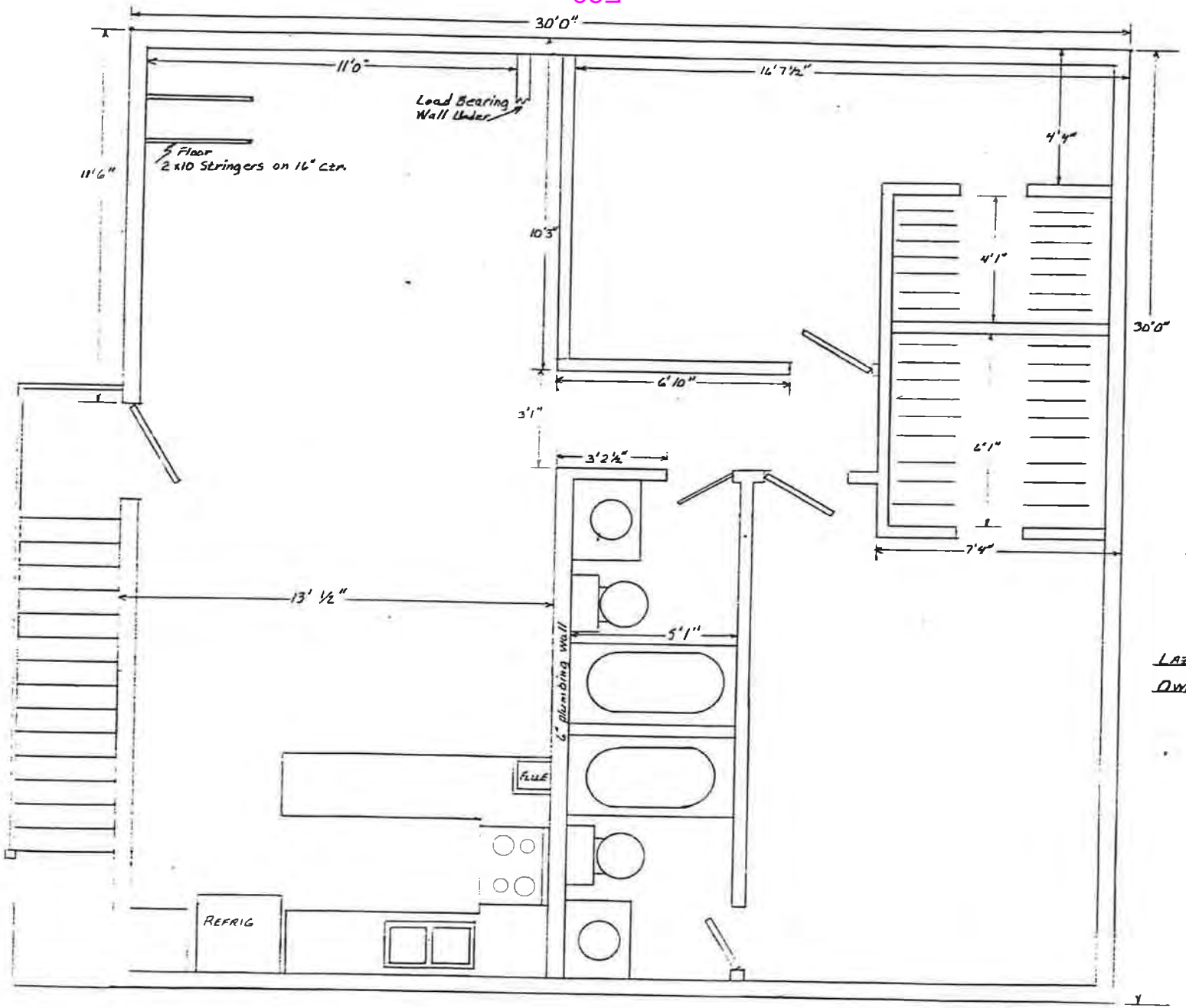
P. Olbert



LAZY H RANCH

Garage and Own
Quarters

11-9



11/29/91
P. Olbert

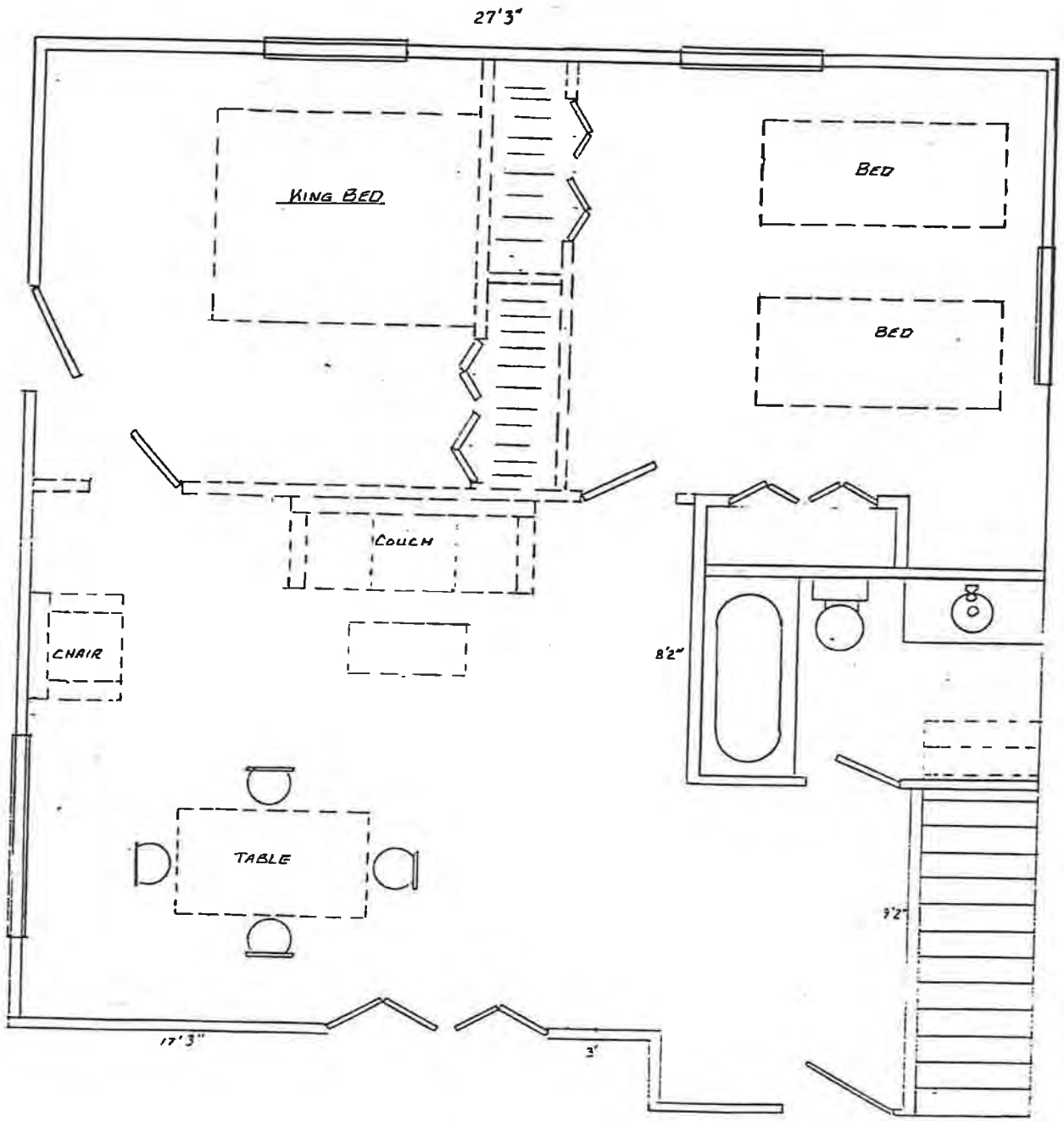
Scale: 1 inch = 2 ft

Note: All dimensions are "framing measurem
Scale is to finished dimensions.

LAZY H RANCH
OWNERS Quarters

11-10

1/15/92
PCD



PROPOSED REMODEL TO MAINTAIN SAME TOTAL PERSON CAPACITY AT THE LAZY H RANCH WITH ADDITION OF OWNERS QUARTERS

SCALE 1" = 2 ft

LAZY H LARGE BARRACKS ROOM

- CURRENT SHOWN IN SOLID
- REMODEL TO CONVERT TO LUXURY FAMILY SUITE SHOWN IN DOTTED. CURRENT FIVE BUNK BEDS REMOVED. ONE KING BED AND TWO SINGLE BEDS INSTALLED.

BOUNDARY SURVEY

15757 STATE HIGHWAY NO. 7

PARCELS OF LAND LOCATED IN THE SOUTH 1/2 OF SECTION 25, T3N, R73W OF THE 6TH P.M., BOULDER COUNTY, COLORADO.

N
W E
S

SCALE: 1" = 100'

LEGEND:

W. 1/4 COR., SEC. 25, T3N, R73W, 6TH. P.M.

C. 1/4 COR., SEC. 25, T3N, R73W, 6TH. P.M.

E. 1/4 COR., SEC. 25, T3N, R73W, 6TH. P.M.

PARCEL 1

PARCEL 2

BOULDER COUNTY ASSESSOR PARCEL #118725000001

S. 1/16 COR., SEC. 25, T3N, R73W, 6TH. P.M.

S. 1/4 COR., SEC. 25, T3N, R73W, 6TH. P.M.

SE. COR., SEC. 25, T3N, R73W, 6TH. P.M.

S00°31'16"E, 2630.41'

SURVEYOR'S CERTIFICATE:

LEGAL DESCRIPTION

BASIS OF BEARING:

NOTES:

NOTICE:

DATE	REVISION	BY

PROJECT TITLE: BOUNDARY SURVEY

15757 STATE HIGHWAY NO. 7

CLIENT: ROCKY MOUNTAIN PATHWAYS

DESIGNED BY:	APPROVED BY:	JOB NO.	SHEET	SHEET
DRAWN BY:	DATE:	86.50	1	1
CHECKED BY:	SCALE:			

LYONS

ENGLAND surveying

"Boundaries & Mountains Surveying"

P.O. Box 1910 Lyons, CO 80540

(303) 823-5481

LS-10-02.NB

Must collect taxes for: STATE COLORADO COUNTY BOULDER RTD/CD/FD

SALES TAX LICENSE

USE ACCOUNT NUMBER for all references	LIABILITY INFORMATION					ISSUE DATE			LICENSE VALID TO DECEMBER 31
	county	city		type	subtrack	month	day	year	
42-86375-0000	07001				C 070110	SEP	13	10	2011

THIS LICENSE MUST BE POSTED AT THE FOLLOWING LOCATION IN A CONSPICUOUS PLACE:

15747 STATE HWY 7
ALLENSPARK CO

THIS LICENSE IS NOT TRANSFERABLE

26

ROCKY MOUNTAIN PATHWAYS INC
ROCKY MOUNTAIN PATHWAYS
48 N EL MOLINO STE A
PASADENA CA 91101

Roger Stuber
Executive Director
Department of Revenue

RECEIVED
SEP 24 2010
BY: JR

▲ DETACH HERE ▲

IMPORTANT NOTICE
from the
Colorado Department of Revenue

Please VERIFY that all information on your new sales license is correct. You can notify the Department of errors by calling (303) 238-SERV (7378), by e-mail at Customer Support on our web site ***www.taxcolorado.com*** or by writing to:

Colorado Department of Revenue
Denver CO 80261-0013

Preprinted forms will be mailed within six weeks. Tax reporting and payment are your responsibility whether or not you receive your returns before the filing deadline. Blank tax forms can be obtained from our Web site ***www.taxcolorado.com*** or by calling (303) 238-FAST (3278). In order to avoid late penalties and interest, returns must be POSTMARKED on or before the due date. You must notify the Department if you discontinue sales at this location.

IMPORTANT INFORMATION ABOUT YOUR LICENSE

Colorado law requires that you file the required sales tax returns even when you have no retail sales activity. If you do not file the required sales tax returns, the Department will automatically close your account and this license will no longer be valid.

NEW AUTOMATED SERVICES FOR AND ABOUT BUSINESSES

The Colorado Department of Revenue Sales Tax Information System provides the following automated services:

* Colorado Sales Tax rates - find specific city, county and special district rates.
* Verification of Sales Tax License and Exemption Numbers - determine whether a Colorado sales tax license or exemption certificate is valid.
* Tax Rates by Account Number - find sales tax rates and locations for specific sales tax accounts.

The new system is online at ***www.taxview.state.co.us*** or by phone at (303) 238-FAST (3278). For general information visit ***www.taxcolorado.com*** or call (303) 238-SERV (7378).

SERVICE CENTER LOCATIONS:

DENVER SERVICE CENTER
1375 Sherman Street
Denver CO 80261

COLORADO SPRINGS REGIONAL SERVICE CENTER
4420 Austin Bluffs Parkway
Colorado Springs CO 80918

FORT COLLINS REGIONAL SERVICE CENTER
1121 W. Prospect Rd., Building D
Fort Collins CO 80526

GRAND JUNCTION SERVICE CENTER
222 S. Sixth Street, Room 208
Grand Junction CO 81501

PUEBLO SERVICE CENTER
310 E. Abriendo Avenue, Suite A4
Pueblo CO 81004

ATTACHMENT E

From: Baum, David
Sent: Monday, October 11, 2010 9:42 AM
To: Oxenfeld, Greg
Subject: Lazy H (Rocky Mountain Pathways Ranch

Greg,
Our records indicate this facility operated as Alpine Mountain Ranch as of 5-8-00. The facility became inactive 5-8-06. Plans were approved for a remodel as Rocky Mountain Pathways Ranch. My approval letter is attached. The facility will need a formal inspection and license prior to operation.

Please contact me if you have any questions. Iris will be able to provide information regarding the adequacy of the OWS.

Sincerely,

David Baum
Environmental Health Specialist
Boulder County Public Health
3450 Broadway
Boulder, Colorado 80304
303-441-1188
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