



Community Planning and Permitting

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BOARD OF COUNTY COMMISSIONERS
Public Hearing
September 29, 2022 – 1:30 P.M.
Via Microsoft Teams

PUBLIC HEARING

STAFF PLANNER: Andy Vieth

PLANNING MANAGER: Summer Frederick, AICP

STAFF RECOMMENDATION REGARDING:

Docket LU-22-0019/SPR-22-0050: Nagel Warner Residence and Studio

- Proposal: Limited Impact Special Use Review to allow for 2,571 cubic yards of grading for driveway and site improvements, and Site Plan Review for the constructions of a 4,977-square-foot residence and 940-square-foot studio for a total residential floor area of 5,917 square feet on a 17.50-acre parcel.
- Location: 695 Cutter Lane, Tract 37, Carriage Hills Estates, approximately 1 mile north of the intersection of Wagon Wheel Gap Road and Pinto Drive in Section 10, Township 1N, Range 71W.
- Zoning: Forestry (F) Zoning District
- Applicant/Owner: Derya Nagel & Kelsey Warner
- Architect: Bldg Collective + Design

STAFF RECOMMENDATION: Staff recommends that the Board of County Commissioners conditionally approve docket LU-22-0019/SPR-22-0050: Nagel Warner Residence and Studio

PACKET CONTENTS:

Item	Pages
○ Staff Recommendation	1 – 23
○ Application Materials (Attachment A)	A1 – A30
○ Referral Responses (Attachment B)	B1 – B19

SUMMARY AND RECOMMENDATION:

The applicant proposes the construction of a 4,977-square-foot residence and 940-square-foot detached studio, and 2,571 cubic yards of non-foundational earthwork to construct a driveway at 695 Cutter Lane. Limited Impact Special Review is required for the earthwork portion of the application since it exceeds 500 cubic yards (Art. 4-101.F.3.b.), and this earthwork is analyzed pursuant to the Limited Impact Special Use Review Criteria outlined in Boulder County Land Use Code (Code) Art. 4-601. Site Plan Review is required for the proposed residence and studio since they require building permits on a vacant property (Art. 4-802.A.1), and are analyzed pursuant to the Site Plan Review Standards outlined in Code Art. 4-806.

Staff recommends conditional approval of the proposal because, as conditioned, staff finds the earthwork can meet the Limited Impact Special Use Review Criteria and the residential construction can meet the Site Plan Review Standards in the Code.

DISCUSSION:

The subject parcel is 17.5 acres in size, located on the north side of Cutter Lane (a private road), approximately 1.1 miles north as the crow flies, or 3 miles north measuring along meandering roads, from the intersection of Pinto Drive and Wagonwheel Gap Road (see Vicinity Map, Figure 1 below).

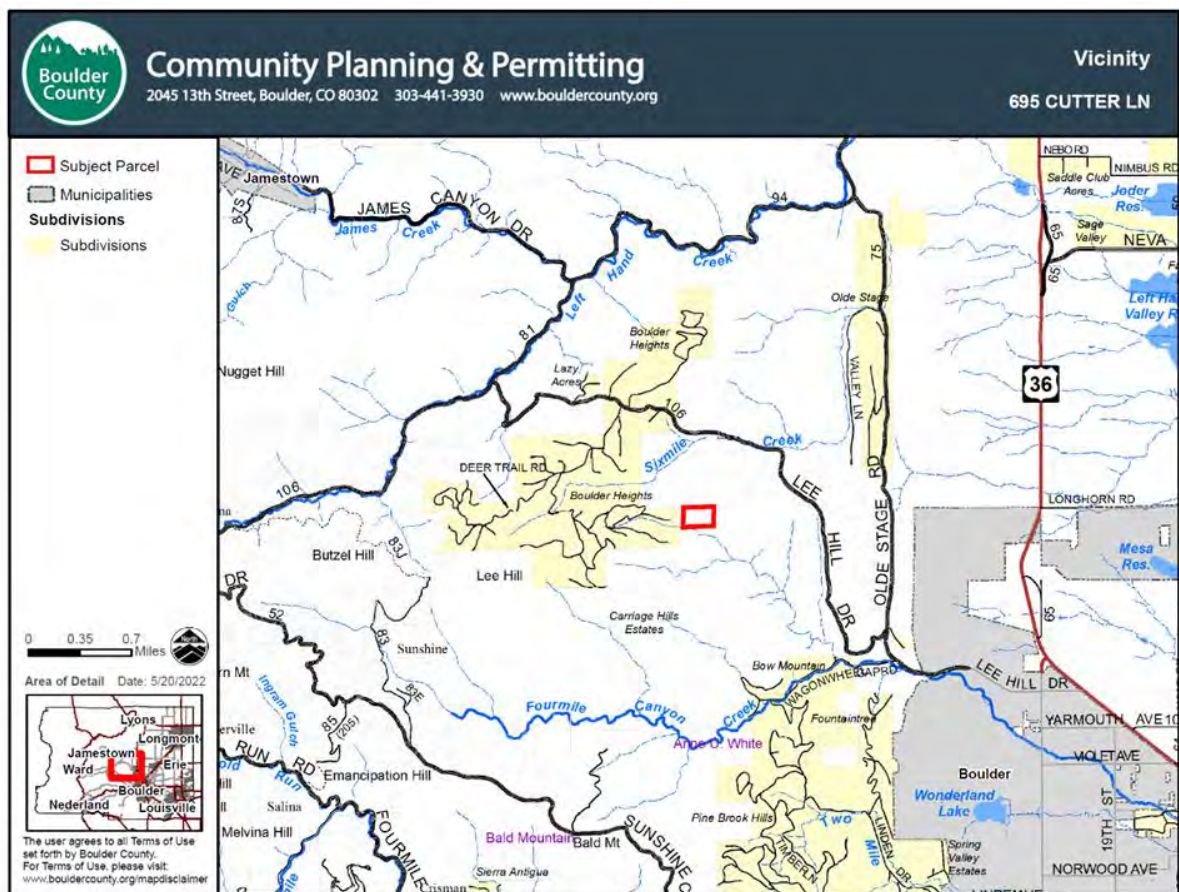


Figure 1: Vicinity Map showing location of the subject parcel

The subject parcel is a legal building lot, as determined by BLD-21-0063, which is identified as Parcel Number 146103009008 and Assessor Account Number R0034338. The parcel was incorporated into the Carriage Hills Estates subdivision exemption (SE-83-0035, plat recorded on 3/12/1985 at Reception #676463). The parcel is physically divided by Cutter Lane (see Aerial Map,

Figure 2 below) at the southeast corner of the parcel. Legal access to the subject parcel is demonstrated via the easement as shown on the Carriage Hills Estates plat referenced above.

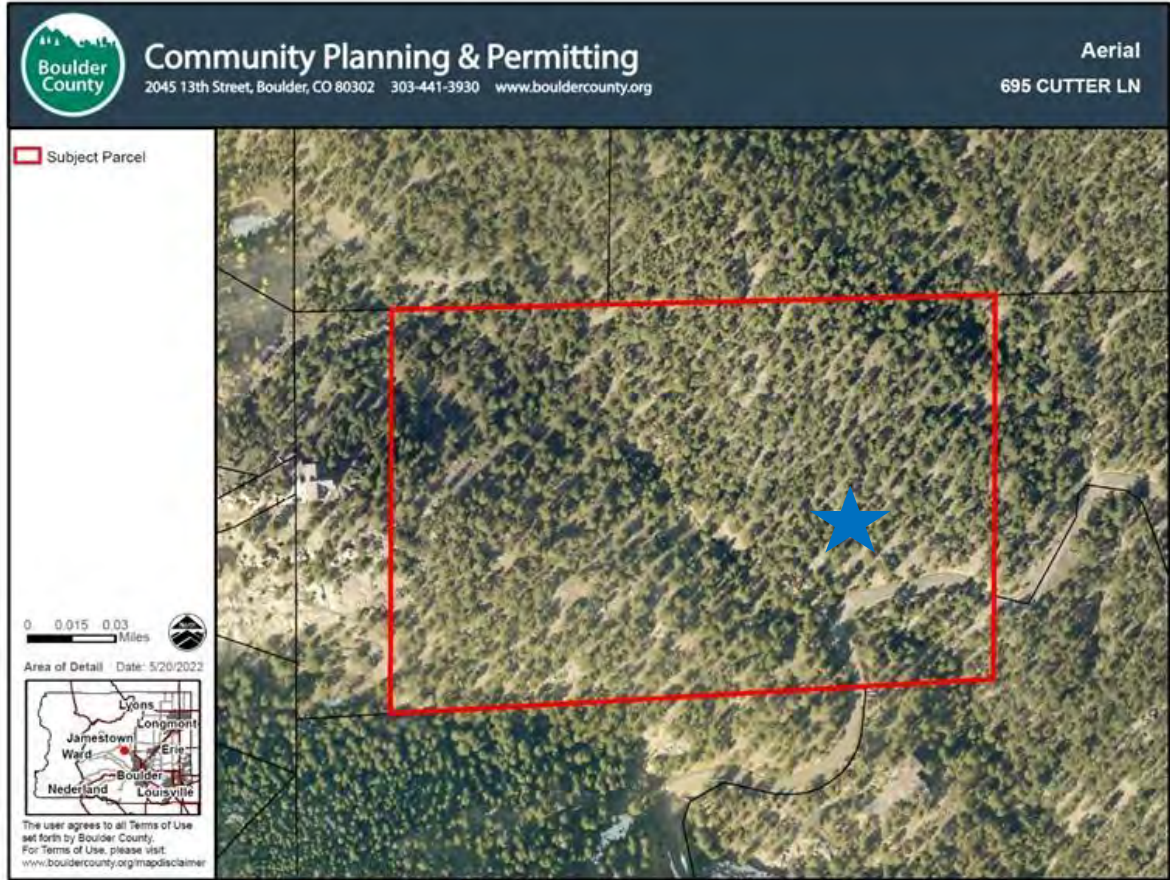


Figure 2: Aerial of the subject parcel and approximate residence and studio location indicated by blue star.

Given the steep topography (see Contour Map, Figure 3 below), substantial earthwork is required to access the proposed residence and studio. However, staff finds the location of the proposed residence and studio to be acceptable (which is reviewed under the SPR criteria below) because there are no level areas on the parcel, the proposed location will avoid any prominent ridgelines or natural drainage-ways, and the location reduces the length of the driveway due to its closer proximity to Cutter Lane. The proposed access drive and residence/studio location limit the impacts to the southeast quarter of the parcel and preserve the steeper portions of the parcel.

Even though the location of the proposed residence and studio will avoid natural drainage-ways, the access drive is proposed to cross a natural drainage and rock outcropping on the parcel. The applicant proposes to implement drainage improvements adjacent to the culvert for Cutter Lane to address impacts of development. Staff recommends a condition of approval requiring a drainage study to illustrate impacts of development, confirm the sizing of culverts, and ensure impacts are adequately considered and mitigated.

The applicant will be required to submit a blasting plan if blasting is required for the access drive improvements. Blasting of the rock outcropping will be limited to the access drive to minimize impacts. The rock outcropping has limited visibility from beyond of the parcel and is not prominent from Cutter Lane; therefore, does not add a significant concern.

During the site visit on September 6, 2022, Staff walked the staked access drive layout and reviewed other potential access locations and drive layouts that could limit impacts to the drainage and the rock outcropping. Staff determined that the proposed access drive location was the most suitable location based on limited options due to the steep terrain and the length of driveway required to provide a safe approach to the proposed residence and studio.

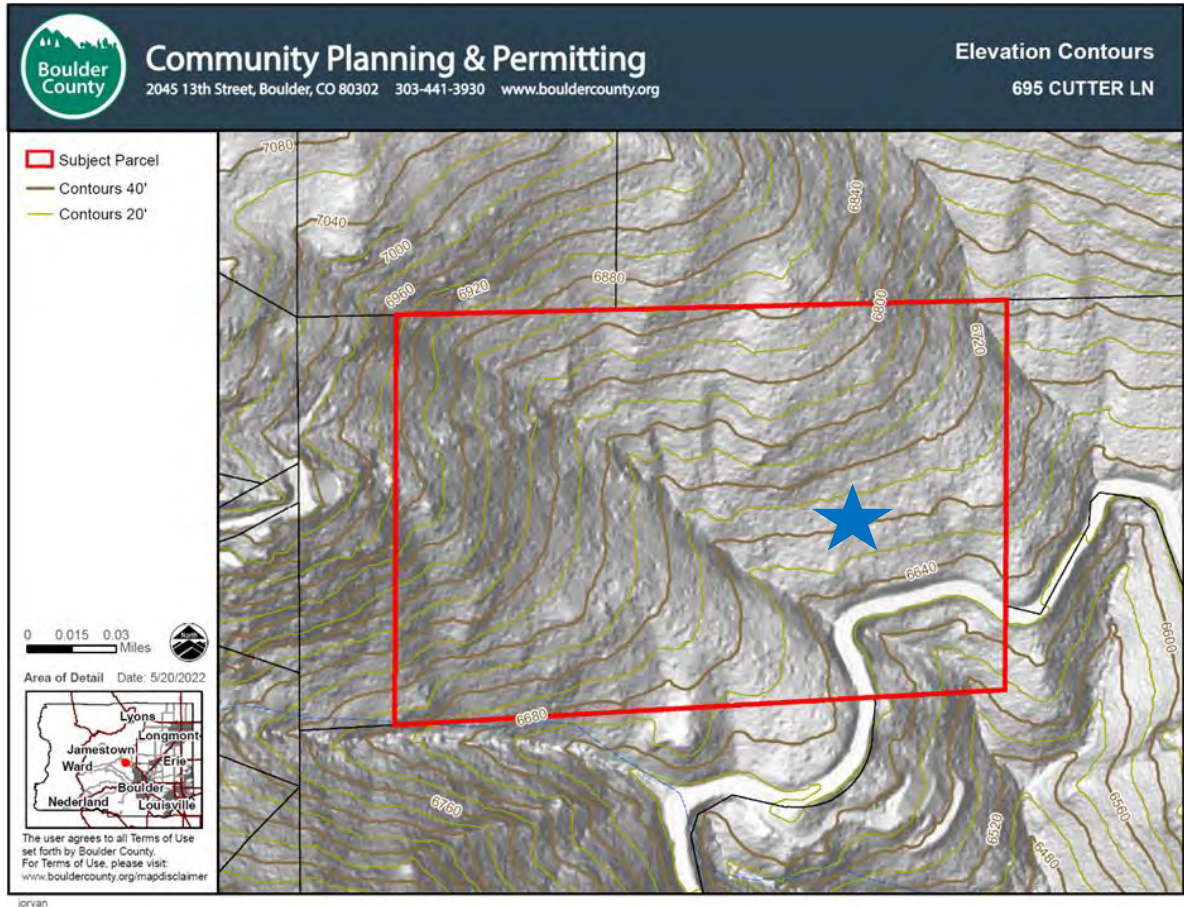


Figure 3: Contours of the subject parcel and approximate residence and studio location indicated by blue star

The subject parcel also features Archeological Sensitive Areas as identified in the Boulder County Comprehensive Plan (shown in Figure 4 below). The proposed building site is located on the boundary of the Archeological Sensitive Areas boundary. The Community Planning and Permitting Historic Review Staff reviewed the proposal and did not identify any conflicts. In the event human remains are found during construction, the following notifications are required pursuant to C.R.S. § 24-80-1302:

(1) Except as provided in section 24-80-1303 with regard to anthropological investigations, any person who discovers on any land suspected human skeletal remains or who knowingly disturbs such remains shall immediately notify the coroner or medical examiner of the county wherein the remains are located and the sheriff, police chief, or land managing agency official.

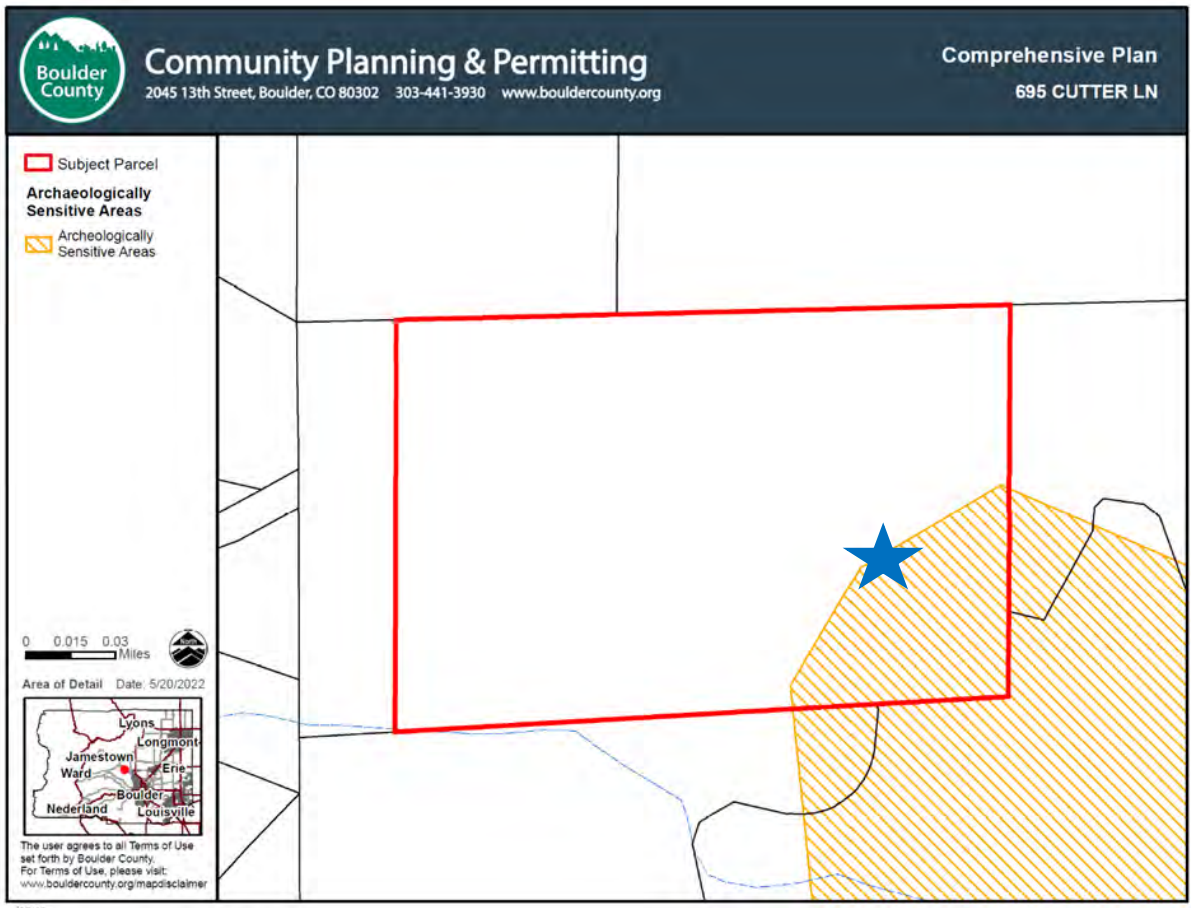
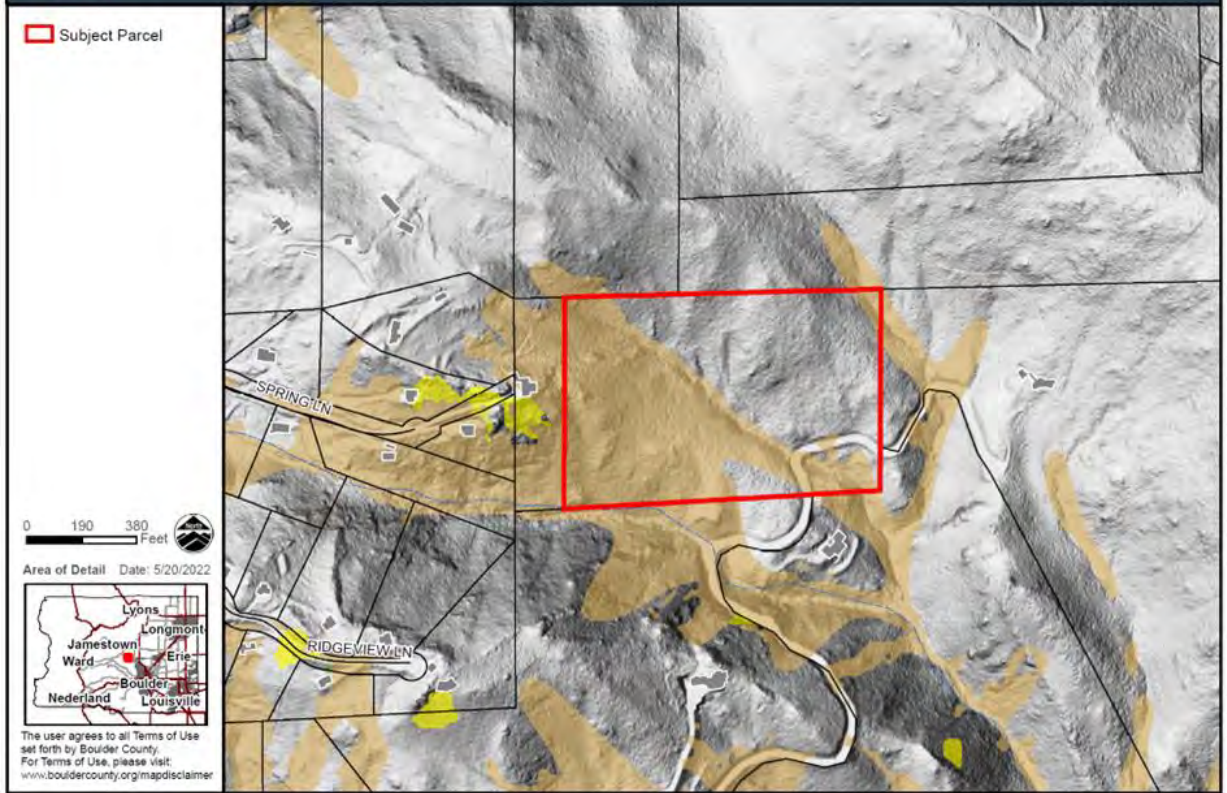


Figure 4: Boulder County Comprehensive Plan layers located on the Subject Parcel.

Portions of the parcel are identified as having debris flow or rockfall susceptibility (see Geologic Hazards Map, Figure 5 below). The proposed access drive will pass through areas of debris flow susceptibility, but the location of the proposed residence and studio is not within an area of identified geologic hazard.



joryan

Figure 5: Geological hazards located on the subject parcel.

The parcel is not directly adjacent to any County Open Space or Public Lands (see Public Lands Map, Figure 5 below). As proposed, the new residential structures and driveway should not affect the nearby property that is encumbered by the Harrison conservation easement.

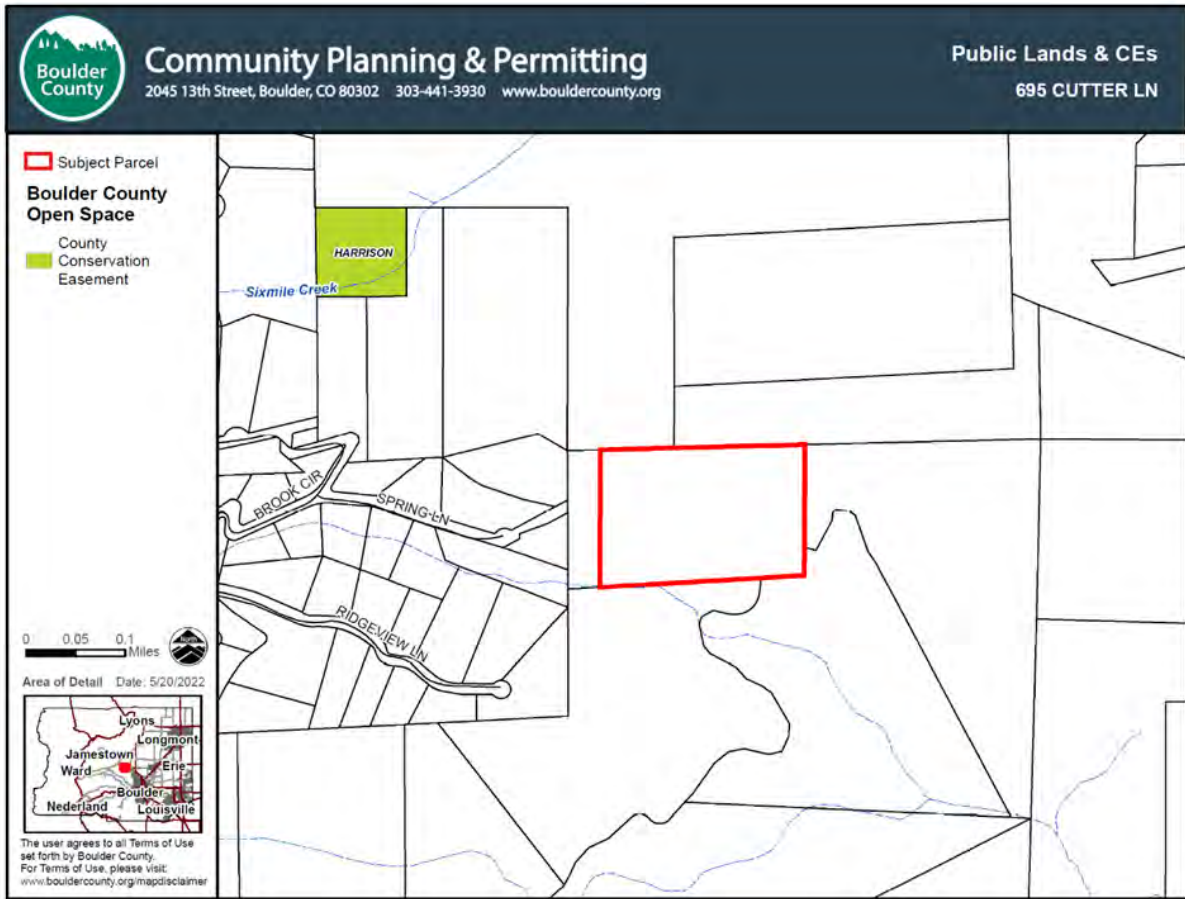


Figure 5: Public Lands near the subject parcel.

REFERRALS:

This application was referred to the typical agencies, departments, and nearby property owners. All responses received are attached and summarized below.

Boulder County Building Safety and Inspection Services Team: Boulder County Building Safety and Inspection Services reviewed the proposal and had no conflicts. Building permits are required for the residence, and a separate grading permit and plan review is needed for the proposed retaining walls and non-foundational grading. The proposed residence will be required to meet the County’s BuildSmart requirements and must have an automated fire sprinkler system installed, be constructed with ignition-resistant materials and defensible space for wildfire mitigation, and include an electrical vehicle charging outlet in the garage. A more detailed plan review will be performed at the time of permit application, when full details are available, to assure that the proposal will meet all applicable minimum requirements.

Boulder County Development Review Team – Engineering: Boulder County Development Review Team – Access & Engineering (DRT-A&E) reviewed the proposal and found that legal access to the property has been demonstrated. The proposed driveway appears to comply with the Boulder County Multimodal Transportation Standards and no emergency turnaround will be required since the rear of the residence is less than 150 feet from Cutter Lane. A drainage study must be included in the plans submitted for building permit to demonstrate the drainage impacts. A revised grading plan must also be submitted at permit which incorporates the results of the drainage study. The DRT A&E team also

noted that retaining walls should be considered in the design in order to reduce the amount of fill that's required to achieve the maximum allowed 1.5:1 slope. A catch fence must be placed between the residential improvements and Cutter Lane to protect the road from construction debris. An Access Improvement and Maintenance agreement will be issued for Cutter Lane at permitting. Finally, worker vehicles may park along one side of Cutter Lane during construction; however, all machinery and materials must be staged on the subject property.

Boulder County Public Health Department: The Public Health Department reviewed the proposal and found that an onsite wastewater treatment system (OWTS) permit has not been issued for this property. The OWTS permit must be applied for and issued prior to installation and before a building permit can be obtained. The OWTS must be installed, inspected, and approved before issuance of a Certificate of Occupancy. Boulder County Public Health must conduct an onsite investigation and review percolation rates, soil conditions and any design plans and specifications prior to OWTS permit issuance. The OWTS absorption field must be located a minimum distance of 100' from all wells, 25' from waterlines, 50' from waterways and 10' from property lines.

Boulder County Wildfire Mitigation Team: The Wildfire Mitigation Team reviewed the proposal and noted that wildfire mitigation will be required for the proposed driveway and residence, including site location, ignition-resistant materials and defensible space, emergency water supply, and emergency vehicle access.

Boulder County Parks & Open Space: Parks & Open Space staff reviewed the proposal and found that it was unlikely to cause significant natural resource impacts as long as adequate erosion control is used during construction. Staff also recommended a requirement for a revegetation plan and reduction of steep slopes to less than the proposed 1.5:1 by utilizing retaining walls or terracing to improve revegetation of impacted slopes. Staff has no visibility concerns.

Xcel Energy Public Service Company of Colorado: Xcel Energy Public Service Company of Colorado (PSCo) suggested that overhead electrical distribution facilities that exist in the project area and on the larger parcel be shown on the plans and noted that an application is necessary for any new electrical service to the property.

Adjacent Property Owners: 51 application notices were mailed to nearby property owners, but CP&P staff did not receive any public comments regarding the proposal.

Agencies that did not respond include: Boulder County Long Range Planning, Boulder Valley Longmont Conservation District, Boulder Mountain Fire Protection District, History Colorado, City of Boulder, Jamestown

LIMITED IMPACT SPECIAL REVIEW SUMMARY:

The Community Planning & Permitting (CPP) staff reviewed the conditions and standards for approval of a Limited Impact Special Review. Only those standards applicable to this project are included in this list. Staff has reviewed these standards as they apply to the proposed 2,571 cubic yards of non-foundational earthwork per Article 4-601 of the Code and finds the following:

Driveway Earthwork	1,406 cubic yards of cut and 621 cubic yards of fill
Other Earthwork (Site Grading)	526 cubic yards of cut and 18 cubic yards of fill

- (1) ***Complies with the minimum zoning requirements of the zoning district in which the use is to be established, and will also comply with all other applicable requirements;***

The subject parcel is zoned Forestry and is legal building lot. Earthwork in excess of 500 cubic yards can be permitted as an accessory use (Article 4-516), pending approval through Limited Impact Special Review. The Site Plan Review (SPR) regulations (evaluated for the proposed residence and studio) require driveways or grading to have a demonstrated associated Principal Use (Art. 4-806.A.11); consequently, this driveway must be reviewed in combination with the proposed SPR. Staff finds this criterion can be met.

- (2) ***Will be compatible with the surrounding area. In determining compatibility, the Board should consider the location of structures and other improvements on the site; the size, height and massing of the structures; the number and arrangement of structures; the design of structures and other site features; the proposed removal or addition of vegetation; the extent of site disturbance, including, but not limited to, any grading and changes to natural topography; and the nature and intensity of the activities that will take place on the site. In determining the surrounding area, the Board should consider the unique location and environment of the proposed use; assess the relevant area that the use is expected to impact; and take note of important features in the area including, but not limited to, scenic vistas, historic townsites and rural communities, mountainous terrain, agricultural lands and activities, sensitive environmental areas, and the characteristics of nearby development and neighborhoods;***

The proposed access is an approximately 375-foot-long driveway. Existing development within the surrounding area consists primarily of single-family residences, often on steep slopes with driveway lengths similar to that proposed by the applicant.

After reviewing the application materials and the unique features of the parcel, staff finds that the proposed driveway appears to meet the Boulder County Multimodal Transportation Standards (MMTS). However, the amount of cut and fill could be reduced through the implementation of retaining walls, which would also help to lessen the proposed 1.5:1 slopes to shallower slopes. Staff recommends that the applicant consider the use of retaining walls in order to reduce the proposed slopes to a maximum of 2:1.

Because the proposed earthwork is necessary to provide access to the proposed residence and studio, which staff finds to be the most suitable location, and is similar to existing driveways within the defined neighborhood, staff find that the proposal is compatible with the surrounding area.

Therefore, staff finds that this criterion can be met.

- (3) ***The use will be in accordance with the Comprehensive Plan;***

Only one feature is identified on the Comprehensive Plan, which is an Archeological Sensitive Area. The proposed building site is located on the boundary of the Archeological Sensitive Areas boundary. The Community Planning and Permitting Historic Review Staff reviewed the proposal and did not identify any conflicts. If human remains are found on the parcel during construction, the applicants will need to comply with C.R.S. § 24-80-1302:

- (1) *Except as provided in section 24-80-1303 with regard to anthropological investigations, any person who discovers on any land suspected human skeletal remains or who knowingly disturbs such remains shall immediately notify the coroner or medical examiner of the county wherein the remains are located and the sheriff, police chief, or land managing agency official.*

Therefore, staff finds that this criterion can be met.

- (4) ***Will not result in an over-intensive use of land or excessive depletion of natural resources. In evaluating the intensity of the use, the Board should consider the extent of the proposed development in relation to parcel size and the natural landscape/topography; the area of impermeable surface; the amount of blasting, grading or other alteration of the natural topography; the elimination or disruption of agricultural lands; the effect on significant natural areas and environmental resources; the disturbance of plant and animal habitat, and wildlife migration corridors; the relationship of the proposed development to natural hazards; and available mitigation measures such as the preservation of open lands, the addition or restoration of natural features and screening, the reduction or arrangement of structures and land disturbance, and the use of sustainable construction techniques, resource use, and transportation management.***

Based on the steep topography of the subject property and the need to design a driveway that complies with the MMTS, the length of the proposed driveway and the associated earthwork required is not excessive.

No significant natural areas or environmental resources, plant or animal habitat or wildlife migration corridors have been identified on the property; however, the resulting 1.5:1 slope would be very difficult to revegetate. Retaining walls or terracing should be considered to reduce the slope and increase revegetation success. Steep sloped areas of stable exposed bedrock are acceptable in lieu of constructing a retaining wall.

In order to restore the disturbed areas created through this project, staff recommends a Revegetation and Erosion Control Plan as a condition of approval.

As conditioned, staff finds that this criterion can be met.

- (5) ***Will not have a material adverse effect on community capital improvement programs;***

There is no indication the proposal will have an adverse effect on community capital improvement programs, and no referral agency has responded with such a concern.

Therefore, staff finds this criterion is met.

- (6) ***The use will not require a level of community facilities and services greater than that which is available;***

There is no indication that the non-foundational earthwork associated with the proposed driveway or residential structures will require a level of community facilities or services greater than that which is currently available, and no referral agency responded with such a concern.

Therefore, staff find that this criterion can be met.

- (7) ***Will support a multimodal transportation system and not result in significant negative impacts to the transportation system or traffic hazards;***

The subject property is accessed from Cutter Lane, a paved privately owned and maintained 18-foot-wide road within a 60-foot-wide access easement as shown on the Carriage Hills Estates plat. Legal access to the subject parcel is demonstrated via the easement as shown on the plat recorded 03/12/1985 at Reception # 06476063.

As proposed, the width and grades of the new driveway appear to comply with the Boulder County Multimodal Transportation Standards (the Standards) for residential access in the mountains. Staff recommend a condition of approval that plans submitted for permit demonstrate the driveway has been designed to comply with the Standards, including without limitation:

- a. Table 5.5.1 – Parcel Access Design Standards (1-Lane Mountain Access)
- b. Standard Drawings 11 – Private Access
- c. Standard Drawing 14 – Access with Roadside Ditch
- d. Standard Drawing 15 – Access Profiles Detail
- e. Standard Drawing 16 – Access Grade & Clearance

An Access Improvement and Maintenance Agreement (AIMA), which is an agreement for future maintenance responsibility, is required for Cutter Lane. The AIMA will be issued during building permit review. The AIMA will be prepared by the Access & Engineering staff, signed by the property owner and notarized, and approved as part of the building permit process.

DRT A&E staff also recommended conditions that during construction, all materials, machinery, dumpsters, and other items shall be staged on the subject property; no items shall be stored or staged along Cutter Lane; and all vehicles shall be parked on site or to one side of Cutter Lane so as to not impede the travel way.

The grading fact sheet indicates there will be a total of 3,344 cubic yards of excess cut material (1,293 cubic yards non-foundational and 2,051 cubic yards foundational) that will be exported from the site. A Haul Plan is required that shows the anticipated haul route and estimated number and capacity of haul vehicles that will be running at any one time. The Haul Plan must be submitted with the building permit application. A Traffic Control Plan (TCP) is also required that addresses flaggers and the locations and types of warning signs to be used during hauling operations. The TCP must be completed by a certified Traffic Control Supervisor and submitted with the building permit application.

As conditioned, staff finds this criterion can be met.

(8) *Will not cause significant air, odor, water, or noise pollution;*

There is no indication that the proposal will cause significant air, odor, water, or noise pollution, and no referral agency responded with such a concern. As previously stated under criterion four, erosion control methods should be submitted as part of the recommended Revegetation and Erosion Control Plan to ensure no silt, sediment, or debris leaves the construction site. A blasting plan is also recommended as a condition of approval to address any adverse effects if required on the site during construction.

Therefore, as conditioned, staff finds this criterion can be met.

(9) *Will be adequately buffered or screened to mitigate any undue visual impacts of the use;*

The proposed driveway will be somewhat visible from Cutter Lane, which is a private road, and adjacent private parcels. The proposed driveway will not be visible from any public rights-of-way or public lands. Driveways with similar visual impacts and levels of disturbance are common in the area, and visual impacts are low due to the remoteness of the site and lack of an outlet at the terminus of the private road.

Due to these factors, staff finds this criterion can be met.

- (10) ***Will not otherwise be detrimental to the health, safety, or welfare of the present or future inhabitants of Boulder County;***

With the recommended conditions of approval, staff has not identified any issues that would result in the project being detrimental to the health, safety, or welfare of the present or future inhabitants of Boulder County, and no referral agency has responded with such a concern.

To prevent construction debris from falling downhill and damaging any public or private property, condition to install a catch is recommended fence during construction.

As conditioned, staff finds this criterion can be met.

- (11) ***Will establish an appropriate balance between current and future economic, environmental, and societal needs by minimizing the consumption and inefficient use of energy, materials, minerals, water, land, and other finite resources;***

With the recommended conditions, staff finds that the project as proposed represents a balance between the need to provide access to the proposed residential structures while staying mindful of the greater impact to the overall topography of the area.

Therefore, as conditioned, staff finds this criterion can be met.

- (12) ***The use will not result in unreasonable risk of harm to people or property – both onsite and in the surrounding area – from natural hazards. Development or activity associated with the use must avoid natural hazards, including those on the subject property and those originating off-site with a reasonable likelihood of affecting the subject property. Natural hazards include, without limitation, expansive soils or claystone, subsiding soils, soil creep areas, or questionable soils where the safe-sustaining power of the soils is in doubt; landslides, mudslides, mudfalls, debris fans, unstable slopes, and rockfalls; flash flooding corridors, alluvial fans, floodways, floodplains, and flood-prone areas; and avalanche corridors; all as identified in the Comprehensive Plan Geologic Hazard and Constraint Areas Map or through the Special Review or Limited Impact Special Review process using the best available information. Best available information includes, without limitation, updated topographic or geologic data, Colorado Geologic Survey landslide or earth/debris flow data, interim floodplain mapping data, and creek planning studies.***

The parcel through which the proposed driveway crosses is encumbered by areas identified as having debris flow susceptibility. However, the proposed residence and studio is located outside of the hazard areas, and there is no feasible route for a driveway to the residence and studio location that would not cross the hazard areas. Development occurring in these areas is not uncommon in the mountainous areas of the County and will be mitigated by implementing drainage improvements as described in Section 13 below. All fill slopes must be well compacted (95% or more) to ensure slope stability and prevent erosion.

As conditioned, staff find that this criterion can be met.

- (13) ***The proposed use shall not alter historic drainage patterns and/or flow rates unless the associated development includes acceptable mitigation measures to compensate for anticipated drainage impacts. The best available information should be used to evaluate***

these impacts, including without limitation the Boulder County Storm Drainage Criteria Manual, hydrologic evaluations to determine peak flows, floodplain mapping studies, updated topographic data, Colorado Geologic Survey landslide, earth/debris flow data, and creek planning studies, all as applicable given the context of the subject property and the application.

DRT-A&E staff have indicated that a drainage study must be included in the plans submitted for building permit to demonstrate the drainage impacts. A revised grading plan must also be submitted at permit which illustrate the results of the drainage study.

With these recommended conditions of approval, staff finds that this criterion can be met.

SITE PLAN REVIEW SUMMARY:

Article 4-806 of the Boulder County Land Use Code states that no Site Plan Review can be approved without compliance with the following standards. All site plan review applications shall be reviewed in accordance with the following standards, which the Director has determined to be applicable based on the nature and extent of the proposed development. Only those standards applicable to this project are included in this list. Staff has reviewed these standards as they apply to the proposed residence and studio and finds the following:

(1) *To provide a greater measure of certainty as to the applicable neighborhood relevant for comparison, the following definition of neighborhood shall be used to review proposed Site Plan Review applications:*

c. For applications outside of platted subdivisions with seven or more developed lots or the townsites of Allenspark, Eldora, Eldorado Springs, Raymond and Riverside, the defined neighborhood is the area within 1,500 feet from the applicable parcel. The neighborhood shall not include any parcels inside municipal boundaries, platted subdivisions with seven or more developed lots or the townsites of Allenspark, Eldora, Eldorado Springs, Raymond and Riverside.

The applicable neighborhood for the subject parcel is the area within 1,500 feet of the subject parcel.

(2) *The size of the resulting development (residential or nonresidential) must be compatible with the general character of the defined neighborhood.*

a. In determining size compatibility of residential structures within the defined neighborhood, it is presumed that structures of a size within the larger of a total residential floor area of either (1) 125% of the median residential floor area for that defined neighborhood or (2) of a total residential floor area of 1,500 square feet in the mapped townsites of Allenspark, Eldora, Eldorado Springs, Raymond, and Riverside, or 2,500 square feet for all other areas of the County, are compatible with that neighborhood, subject also to a determination that the resulting size complies with the other Site Plan Review standards in this section 4-806.A.

A. SIZE PRESUMPTION

The presumed compatible size of residential structures within the defined neighborhood (see Standard 1 above for the applicable neighborhood) is 4,074 square feet.

Median (total residential floor area) in the defined neighborhood*	5,451 square feet
125% of the median residential floor area in the defined neighborhood	6,814 square feet
Total existing residential floor area on the subject parcel*	0 square feet
Total proposed residential floor area	5,917 square feet

**Source: Boulder County Assessor's records, as verified by CPP staff for the subject parcel.*

B. APPROVED SIZE

RESIDENTIAL FLOOR AREA*	
Total existing residential floor area on the subject parcel to remain	0 square feet
Approved NEW residential floor area	Approximately 5,917 square feet (4,977-square-foot residence and a 940-square-foot detached studio/ workshop)
TOTAL approved resulting residential floor area	Approximately 5,917 square feet

**Residential Floor Area includes all attached and detached floor area on a parcel including principal and accessory structures used or customarily used for residential purposes, such as garages, studios, pool houses, home offices, and workshops, excluding covered deck. Floor area does not include the area of any covered porch. Gazebos, carports, detached greenhouses and hoopouses up to a total combined size of 400 square feet are also exempt.*

The application materials indicate the size of the proposed new development will include a 4,977-square-foot residence consisting of a 2,415-square-foot first floor, 1,010-square-foot second floor, 585-square-foot walk-out basement, and 967-square-foot attached garage. A 940-square-foot detached studio/workshop is also proposed on the parcel. 584 square feet of covered porch is also proposed on the residence, but covered porches are not included in the calculation of residential floor area when attached the principal structure (Land Use Code Art. 18-131A); therefore, the proposed covered porch is not included in the residential floor area approved above.

Staff supports the size of the residence and studio structures as proposed because it is less than 125% of the median for the neighborhood and is therefore presumed to be compatible with the general character of the defined neighborhood, given that no conflicts with other SPR standards are found.

Staff also reviewed the above-grade and visible floor area of which consists of approximately 5,332 square feet for the residence and studio (about 585 square feet is below-grade). Staff found this to be typical of development within the defined neighborhood, where other homes range from 2,500 to about 6,200 square feet of above grade floor area.

Therefore, staff finds that this standard can be met.

- (3) ***The location of existing or proposed buildings, structures, equipment, grading, or uses shall not impose an undue burden on public services and infrastructure.***

The grading fact sheet indicates there will be a total of 3,344 cubic yards of excess cut material to be exported from the site (2,051 cubic yards of which is foundational). The requirement of a Haul Plan and Traffic Control Plan will ensure no burden is placed on the surrounding transportation network during hauling activities.

As conditioned, staff finds that this standard can be met.

- (4) ***The proposed development shall avoid natural hazards, including those on the subject property and those originating off-site with a reasonable likelihood of affecting the subject property. Natural hazards include, without limitation, expansive soils or claystone, subsiding soils, soil creep areas, or questionable soils where the safe-sustaining power of the soils is in doubt; landslides, mudslides, mudfalls, debris fans, unstable slopes, and rockfalls; flash flooding corridors, alluvial fans, floodways, floodplains, and flood-prone areas; and avalanche corridors. Natural hazards may be identified in the Comprehensive Plan Geologic Hazard and Constraint Areas Map or through the Site Plan Review process using the best available information. Best available information includes, without limitation, updated topographic or geologic data, Colorado Geologic Survey landslide or earth/debris flow data, interim floodplain mapping data, and creek planning studies. Development within or affecting such natural hazards may be approved, subject to acceptable measures that will satisfactorily mitigate all significant hazard risk posed by the proposed development to the subject property and surrounding area, only if there is no way to avoid one or more hazards, no other sites on the subject property can be reasonably developed, or if reasonably necessary to avoid significant adverse impacts based upon other applicable Site Plan Review criteria.***

Since the proposed residence and studio avoids the natural hazards identified on the Geologic Hazards Map, staff does not anticipate any unreasonable risk to the subject property and surrounding area.

Therefore, staff finds that this standard can be met.

- (5) ***The site plan shall satisfactorily mitigate the risk of wildfire both to the subject property and those posed to neighboring properties in the surrounding area by the proposed development. In assessing the applicable wildfire risk and appropriate mitigation measures, the Director shall consider the referral comments of the County Wildfire Mitigation Coordinator and the applicable fire district, and may also consult accepted national standards as amended, such as the 2003 Urban-Wildland Interface Code; NFPA / 80A, 299, 1231; 2003 International Fire Code; and the 2003 International Building Code.***

The proposed project is in Wildfire Zone 1 of unincorporated Boulder County. Therefore, wildfire mitigation is required. The Boulder County wildfire mitigation requirements are composed of site location, ignition-resistant materials and construction, defensible space, emergency water supply, and emergency vehicle access.

As conditioned, staff finds that this standard can be met.

- (6) ***The proposed development shall not alter historic drainage patterns and/or flow rates or shall include acceptable mitigation measures to compensate for anticipated drainage impacts. The best available information should be used to evaluate these impacts, including but not limited to hydrologic evaluations to determine peak flows, floodplain mapping studies, updated topographic data, Colorado Geologic Survey landslide, earth/debris flow data, and creek planning studies.***

Since the proposed residence and studio avoids the natural drainage-way on the property, Staff does not anticipate the proposed residence or studio will alter historic drainage patterns or flow rates. As discussed in the Limited Impacted Special Use Review criteria above, the proposed driveway will cross a natural drainage-way. Staff recommends requiring a drainage study and grading plan to confirm any drainage impacts will be mitigated.

As conditioned, staff finds that this standard can be met.

- (7) ***The development shall avoid significant natural ecosystems or environmental features, including but not necessarily limited to riparian corridors and wetland areas, plant communities, and wildlife habitat and migration corridors, as identified in the Comprehensive Plan or through the site plan review process. Development within or affecting such areas may be approved, subject to acceptable mitigation measures and in the discretion of the Director, only if no other sites on the subject property can be reasonably developed, or only if reasonably necessary to avoid significant adverse impacts based upon other applicable site plan review criteria.***

No natural ecosystems or environmental features were identified on the Comprehensive Plan.

Therefore, staff finds this standard is not applicable.

- (8) ***The development shall avoid agricultural lands of local, state or national significance as identified in the Comprehensive Plan or through the site plan review process. Development within or affecting such lands may be approved, subject to acceptable mitigation measures and in the discretion of the Director, only if no other sites on the subject property can be reasonably developed, or only if reasonably necessary to avoid significant adverse impacts based upon other applicable site plan review criteria.***

The subject property is not on agricultural lands of local, state, or national significance as identified in the Comprehensive Plan.

Therefore, staff finds this standard is not applicable.

- (9) ***The development shall avoid significant historic or archaeological resources as identified in the Comprehensive Plan or the Historic Sites Survey of Boulder County, or through the site plan review process. Development within or affecting such resources may be approved, subject to acceptable mitigation measures and in the discretion of the Director, only if no other sites on the subject property can be reasonably developed, or only if reasonably***

necessary to avoid significant adverse impacts based upon other applicable site plan review criteria.

Archeological Sensitive Areas were identified on the Comprehensive Plan. The proposed building site is located on the boundary of the Archeological Sensitive Areas boundary. The County Planning and Permitting Historic Review reviewed the proposal and have no conflicts. In the event human remains are found on the parcel during construction, the applicants shall comply with C.R.S. § 24-80-1302:

(2) Except as provided in section 24-80-1303 with regard to anthropological investigations, any person who discovers on any land suspected human skeletal remains or who knowingly disturbs such remains shall immediately notify the coroner or medical examiner of the county wherein the remains are located and the sheriff, police chief, or land managing agency official.

As conditioned, staff finds that this standard can be met.

(10) *The development shall not have a significant negative visual impact on the natural features or neighborhood character of surrounding area. Development shall avoid prominent, steeply sloped, or visually exposed portions of the property. Particular consideration shall be given to protecting views from public lands and rights-of-way, although impacts on views of or from private properties shall also be considered. Development within or affecting features or areas of visual significance may be approved, subject to acceptable mitigation measures and in the discretion of the Director, only if no other sites on the subject property can be reasonably developed, or only if reasonably necessary to avoid significant adverse impacts based upon other applicable site plan review criteria.*

a. *For development anywhere in the unincorporated areas of the county, mitigation of visual impact may include changing structure location, reducing or relocating windows and glazing to minimize visibility, reducing structure height, changing structure orientation, requiring exterior color and materials that blend into the natural environment, and/or lighting requirements to reduce visibility at night.*

Location	Approved as shown in the site plan dated May 16, 2022
Elevations	Approved as shown on the elevations dated May 16, 2022
Height	Residence: Approved at 29'8" from existing grade Studio: Approved at 18'-11" from existing grade
Exterior Materials	Residence and Studio: Concrete and metal siding; EPDM with Densdeck roof
Exterior Colors	Residence and Studio: Grey walls; dark grey, green, or brown roof

Staff recommend that the proposed elevations and height be approved as proposed in the application materials.

A. TREE PRESERVATION

The preservation of existing trees and ground vegetation will provide visual screening from nearby areas, reduce soil erosion, and deter weed infestation. Only those trees necessary to clear the building site, provide access, install the individual sewage disposal system, and provide for defensible space/forest management may be removed. Staff recommends a condition of approval requiring the submittal of a Tree Preservation Plan, to be designed in

combination with the required Wildfire Mitigation Plan, prior to the issuance of any building or grading permits.

B. EXTERIOR COLORS AND MATERIALS

The application materials indicate that the proposed residence and studio will have grey concrete, dark bronze corrugated metal and thermally modified cedar siding. The proposed residence and studio will have a dark grey, green or brown EPDM roof covered with Densdeck. Materials should have a matte finish to reduce visual impacts

Staff recommend that the exterior colors and materials listed in the table above be approved as proposed, with the exception of the cedar siding, which should not be approved since additional review for ignition resistant characteristic is needed prior to application for Building Permit.

As conditioned, staff finds no conflict with this standard.

C. EXTERIOR LIGHTING

The locations and types of exterior lighting fixtures were not provided in the application. Given the visible position in the landscape and the rural character of the area, lighting has the potential to cause negative visual impacts. In order to minimize adverse visual impacts, staff recommends a condition of approval requiring the submittal of a proposed lighting plan prior to the issuance of any building or grading permits. Lighting on site should be limited to one fixture for each exterior entrance and the use of landscape or driveway lighting is discouraged.

As conditioned, staff finds that this standard can be met.

- (11) The location of the development shall be compatible with the natural topography and existing vegetation and the development shall not cause unnecessary or excessive site disturbance. Such disturbance may include but is not limited to long driveways, over-sized parking areas, or severe alteration of a site’s topography. Driveways or grading shall have a demonstrated associated principal use.***

A. LOCATION

The proposed location for the residence and studio is moderately sloped, as is typical for land within the mountainous areas of the County. Staff finds that the proposed residence and studio location is well suited for development when considering the difficulty of physically accessing other legally buildable areas of the parcel and grades of the parcel. Therefore, staff recommends approval of the location of the residence and studio as shown on the site plan dated May 16, 2022.

B. EARTHWORK AND GRADING

The proposed non-foundational earthwork exceeds that which is allowed under the Site Plan Review Standards and is therefore addressed under the Limited Impact Special Use Review Standards above. The following foundational earthwork and grading requirements associated with the proposed house and detached studio/workshop are recommended for approval:

Foundational Earthwork (exempt from 500 cubic yards threshold)	2,056 cubic yards cut and 5 cubic yards backfill (2,051 cubic yards excess foundation cut to be transported offsite)
--	---

Final grade cuts and fills shall not be steeper than a 1-½ to 1 slope. Grades steeper than a 1-½ to 1 slope must be supported by a retaining wall. Retaining walls or series of walls greater than four feet in height, as measured from the bottom of the footer to the top of the wall, must be included in the building permit application for the residence. Details for retaining walls/wall series greater than four feet in height must be designed and stamped by a qualified Colorado-licensed professional engineer. Calculations shall be submitted for all retaining walls greater than 6 feet in height.

C. GRADING NARRATIVE

The application materials indicate that construction of the residence and detached studio/workshop will require 2,051 cubic yards of foundation cut and 5 cubic yards of backfill, with the excess cut to be removed from the property. 544 cubic yards of other grading is proposed on site, as discussed under the Limited Impact Special Use Review criteria above. A narrative description indicating where the excess cut will be transported should be included with the traffic control plan recommended as a condition of approval under Limited Impact Special Use Review criteria seven above.

D. UTILITIES

To minimize disturbances to the site, all utility service lines should be routed underground (see [Article 7-1200](#) of the Land Use Code) and located in areas already disturbed or proposed to be disturbed (e.g., along driveway).

As conditioned, staff find no conflict with this standard.

(12) *Runoff, erosion, and/or sedimentation from the development shall not have a significant adverse impact on the surrounding area*

In order to limit the potential for runoff, erosion, or sedimentation to cause adverse impacts to the surrounding area, staff recommend conditioning a Revegetation and Erosion Control Plan, as recommended under LU criteria #4 above, to include provisions for silt fencing downslope of all construction areas.

As conditioned, staff find no conflict with this standard.

(15) *The proposal shall be consistent with the Comprehensive Plan, any applicable intergovernmental agreement affecting land use or development, and this Code.*

As conditioned, staff find no conflict with this standard.

RECOMMENDATION:

Staff has determined that, as conditioned, the proposal can meet all the applicable criteria of the Boulder County Land Use Code for Limited Impact Special Review and for Site Plan Review. Therefore, staff recommend that the Board of County Commissioners **CONDITIONALLY APPROVE** Docket LU-22-0019/SPR-22-0050: Nagel Warner Residence and Studio, subject to the following conditions:

1. The development is subject to the requirements of the Boulder County Building Safety and Inspection Services Team and adopted County Building Codes, as outlined in the referral

comments, including, but not limited to required sprinklering, ignition resistant materials and defensible space, and the BuildSmart energy efficiency and sustainability requirements.

2. ***At building or grading permit submittal***, a driveway and access plan must be submitted which illustrates compliance with the MMTS standards, including without limitation:

- a. Table 5.5.1 – Parcel Access Design Standards (1-Lane Mountain Access)
- b. Standard Drawings 11 – Private Access
- c. Standard Drawing 14 – Access with Roadside Ditch
- d. Standard Drawing 15 – Access Profiles Detail
- e. Standard Drawing 16 – Access Grade & Clearance

Because the rear of the residence is within 150 feet of Cutter Lane, no emergency turnaround is required.

The driveway must be surfaced with 4" ABC (Class 6) or other suitable material as approved by the County Engineer.

Because of the large radius of the curve in the driveway, the proposed 12-foot travelway width is acceptable.

- a. ***Prior to issuance of a Certificate of Occupancy***, the Community Planning & Permitting Department must verify that the access and driveway has been constructed to meet the Parcel Access Design Standards in the [Boulder County Multimodal Transportation Standards](#).

3. ***At building or grading permit submittal***, a Drainage Study is required that clearly shows how the proposed development impacts the existing and proposed drainage on the site. The study must show that all drainage improvements (culverts, driveway and roadside ditch, existing culvert under Cutter Lane, etc.) are sized appropriately to accommodate runoff from the developed site. NOTE: if the Drainage Study determines the existing culvert under Cutter Lane is undersized, the applicant will be responsible for replacing it with an adequately sized culvert and this work must be included in the plans submitted for building permit.

4. ***At building or grading permit submittal***, the civil plans submitted for permitting must be revised to address the following issues:
 - a. The grading plan must be updated to show mitigation treatments as necessary based on the conclusions of the Drainage Study.
 - b. Drainage impacts related to the proposed development must be mitigated on-site.
 - c. How will drainage be handled between the outlet of the proposed driveway culvert and the inlet of the existing cross-culvert under Cutter Lane?
 - d. Although the diversion swale uphill of the new residence will convey the majority of uphill runoff around the footprint of the house, it appears some runoff will reach the small retaining walls on the east and west side of the residence. The swale must be redesigned to minimize the amount of runoff that reaches these walls; a small amount of sheet flow over the wall(s) is acceptable.
 - e. The plans must better demonstrate how the drainage in the proposed driveway ditch will be handled where it approaches the new driveway culvert located at STA 2+36 and as it approaches Cutter Lane at the bottom of the drive.

- f. Staff suggests the addition of check dams in the driveway ditch to mitigate potential erosion during runoff and diverting the runoff from the upper part of the driveway into the culvert to reduce the volume of runoff directed toward the lower part of the driveway near Cutter Lane.
 - g. No culvert is shown at the bottom of the driveway where it meets the road; if there is an existing drainage ditch along Cutter Lane in this location, a new culvert must be installed at the bottom of the driveway to facilitate ditch flow under the driveway.
 - h. All culverts must be metal or concrete; no plastic culverts are allowed.
 - i. Adding low retaining walls is recommended (< 6 feet high to lessen visible impacts) to reduce the amount of earthwork necessary.
 - j. All fill slopes must be well compacted (95% or more) to ensure slope stability and prevent erosion.
5. ***At building or grading permit submittal***, submit to this office a narrative describing where excess foundation cut (other than that used for backfill within the foundation) will be transported. If the cut will be located on site as fill, be sure to delineate the fill location on the revegetation plan as well as indicate the method of revegetation for any disturbed areas. The location of any excess fill on the site will have to be approved by the Community Planning & Permitting Department.
 - a. ***Prior to issuance of a Certificate of Occupancy***, the location and receipt for transport and dumping of excess earthwork must be submitted to the Community Planning & Permitting Department so that receipt of fill materials may be verified.
6. ***At building or grading permit submittal***, submit a Traffic Control Plan (TCP) for Community Planning & Permitting approval. The TCP must be completed by a certified Traffic Control Supervisor. The plan must address flaggers, locations and types of warning signs to be used during hauling operations.
7. ***At building or grading permit submittal***, a Haul Plan must be submitted, that shows the anticipated haul route and estimated number and capacity of haul vehicles that will be running at any one time.
8. ***At building or grading permit submittal***, an Onsite Wastewater Treatment System (OWTS) permit must be applied for and issued by Boulder County Public Health prior to issuance of permits.
9. ***At building or grading permit submittal***, submit to the Community Planning and Permitting Department for review and approval a plan depicting the routing of all utility services. The utility routing plan shall be included as part of the building plan set required at the time of permit application. To minimize disturbances to the site, all utility service lines shall be routed underground (see Article 7-1200 of the Land Use Code) and should be located in areas already disturbed or proposed to be disturbed (e.g., along driveway).
 - a. ***At the time of building inspections***, full installation of the utilities per the approved plan must be inspected and confirmed by the Community Planning and Permitting Department.
10. ***At building or grading permit submittal***, a Revegetation and Erosion Control Plan must be submitted for approval. This plan must conform to the revegetation requirements as described on the materials located on our [Revegetation Page](#). Details regarding the placement and construction of the erosion control devices must be submitted to and approved by the Community Planning & Permitting Department. A catch fence must be placed between the

proposed residence and studio and Cutter Lane during construction. The catch fence must be placed upslope of erosion control treatments.

- a. ***Prior to any grading or site disturbance***, the erosion control devices must be installed as required per the approved plans.
- b. ***At the time of the footing foundation inspection and all subsequent inspections***, the Community Planning & Permitting Department must confirm the erosion control devices have been installed as required per the approved plans. Any other areas on site are subject to installation of erosion control, if needed.
- c. ***Prior to issuance of a Certificate of Occupancy***, the full installation of the approved revegetation plan must be inspected and approved by the Community Planning & Permitting Department. If weather is not conducive to seeding or if adequate revegetation efforts have not occurred and vegetation is not adequately established at the time of final inspection request, an irrevocable letter of credit or monies deposited into a County Treasurer account will be required to assure the success of revegetation. You should consider the following well in advance of your revegetation inspection:
 - i. Whether you are applying for a Certificate of Occupancy, final inspection, or the return of funds held in escrow for completion of revegetation, some level of germination and growth of grass seed is required.
 - ii. Keep in mind that the steeper the slopes and dryer the soil, the greater the attention needed to establish a level of germination adequate to obtain revegetation approval.
 - iii. Areas of disturbance found at inspection not included on the revegetation plan are still subject to reseeding and matting.

11. ***At building or grading permit submittal***, submit to the Community Planning & Permitting Department, for review and approval, a Tree Preservation Plan that indicates which trees will be preserved. The Tree Preservation Plan shall be included as part of the building plan set required at the time of permit application.

- a. ***Prior to issuance of a Certificate of Occupancy***, the full installation of the approved Tree Preservation Plan must be inspected and approved by the Community Planning & Permitting Department

12. ***On Building Permit application***, select either the Wildfire Partners or the Regulatory Wildfire Mitigation path.

Prior to issuance of any permits, a Wildfire Partners or Regulatory Wildfire Mitigation assessment and defensible space marking shall be completed. Based upon the path selected, either a Wildfire Partners Assessment report or a Wildfire Mitigation Plan will be created which will describe the wildfire mitigation requirements to be implemented.

Before scheduling rough inspections, vegetation marked for removal must be cut and all slash, cuttings, and debris must be removed or properly disposed of and inspected by the Boulder County Community Planning & Permitting Department.

At the time of final inspections, all required items in the Wildfire Partners Assessment Report or Regulatory Wildfire Mitigation Plan are to be implemented, inspected and approved by a Wildfire Mitigation Specialist.

Please refer to Section R327 of the Boulder County Building Code for Ignition-Resistant Construction requirements. See the referral from the Wildfire Mitigation Team for more information on the County's wildfire mitigation requirements, including: site location, emergency water supply, and emergency vehicle access. See the referral from the Building Safety & Inspection Services Team for more information on the County's Automatic Fire Sprinkler System requirement.

13. ***At building permit submittal***, one copy of a proposed lighting plan must be submitted to the Community Planning & Permitting Department for review and approval. The lighting plan shall be included as part of the building plan set required at the time of permit application.

NOTE: [Down lighting](#) is required, meaning that all bulbs must be fully shielded to prevent light emissions above a horizontal plane drawn from the bottom of the fixture. All exterior light fixtures must be in conformance with [Article 7-1600](#) and [Article 18-162A](#) of the Boulder County Land Use Code.

- a. ***Prior to issuance of a Certificate of Occupancy***, the full installation of the approved lighting plan must be inspected and approved by the Community Planning & Permitting Department.
14. ***During construction***, all materials, machinery, dumpsters, and other items shall be staged on the subject property; no items shall be stored or staged along Cutter Lane. all vehicles shall be parked on site or to one side of Cutter Lane so as to not impede the travel way.
15. ***Prior to issuance of a Certificate of Occupancy***, the Community Planning and Permitting Department must inspect and verify that the approved exterior colors and materials are used on the new structure.
16. The Applicants shall be subject to the terms, conditions, and commitments of record and in the file for Docket LU-22-0019/SPR-22-0050: Nagel Warner Residence and Studio.

ATTACHMENT A



Boulder County Land Use Department

Courthouse Annex Building
 2045 13th Street • PO Box 471 • Boulder, Colorado 80302
 Phone: 303-441-3930
 Email: planner@bouldercounty.org
 Web: www.bouldercounty.org/lu
 Office Hours: Mon., Wed., Thurs., Fri. 8 a.m. to 4:30 p.m.
 Tuesday 10 a.m. to 4:30 p.m.

<i>Shaded Areas for Staff Use Only</i>
Intake Stamp

Planning Application Form

The Land Use Department maintains a submittal schedule for accepting applications. Planning applications are accepted on Mondays, by appointment only. Please call 303-441-3930 to schedule a submittal appointment.

Project Number		Project Name CUTTER LANE RESIDENCE AND STUDIO	
<input type="checkbox"/> Appeal <input type="checkbox"/> Correction Plat <input type="checkbox"/> Exemption Plat <input type="checkbox"/> Final Plat <input checked="" type="checkbox"/> Limited Impact Special Use <input type="checkbox"/> Limited Impact Special Use Waiver <input type="checkbox"/> Location and Extent	<input type="checkbox"/> Modification of Site Plan Review <input type="checkbox"/> Modification of Special Use <input type="checkbox"/> Preliminary Plan <input type="checkbox"/> Resubdivision (Replat) <input type="checkbox"/> Rezoning	<input type="checkbox"/> Road Name Change <input type="checkbox"/> Road/Easement Vacation <input checked="" type="checkbox"/> Site Plan Review <input type="checkbox"/> Site Plan Review Waiver <input type="checkbox"/> Sketch Plan <input type="checkbox"/> Special Use/SSDP	<input type="checkbox"/> Special Use (Oil & Gas development) <input type="checkbox"/> State Interest Review (1041) <input type="checkbox"/> Subdivision Exemption <input type="checkbox"/> Variance <input type="checkbox"/> Other:
Location(s)/Street Address(es) 695 CUTTER LANE, BOULDER CO, 80302			
Subdivision Name CARRIAGE HILLS ESTATES - BOV			
Lot(s) PARCEL #: 14610309008	Block(s)	Section(s) 10	Township(s) 1N
Area in Acres 17.88 ACRES	Existing Zoning F- FORESTRY	Existing Use of Property RESIDENTIAL	
Proposed Water Supply WELL		Proposed Sewage Disposal Method SEPTIC FIELD	
Range(s) 71			
Number of Proposed Lots 1			

Applicants:

Applicant/Property Owner DERYA NAGLE & KELSEY WARNER			Email deryanagle@gmail.com / kelsey.r.warner@gmail.com	
Mailing Address 3160 REPLIER ST				
City BOULDER	State CO	Zip Code 80304	Phone 202-492-7953	
Applicant/Property Owner/Agent/Consultant			Email	
Mailing Address N/A				
City	State	Zip Code	Phone	
Agent/Consultant BLDG.COLLECTIVE ARCHITECTURE + DESIGN			Email ANNIE@BLDGCOLLECTIVE.COM	
Mailing Address 2872 BLUFF ST				
City BOULDER	State CO	Zip Code 80301	Phone (303) 357-1364	

Certification (Please refer to the Regulations and Application Submittal Package for complete application requirements.)

I certify that I am signing this Application Form as an owner of record of the property included in the Application. I certify that the information and exhibits I have submitted are true and correct to the best of my knowledge. I understand that all materials required by Boulder County must be submitted prior to having this matter processed. I understand that public hearings or meetings may be required. I understand that I must sign an Agreement of Payment for Application processing fees, and that additional fees or materials may be required as a result of considerations which may arise in the processing of this docket. I understand that the road, school, and park dedications may be required as a condition of approval.

I understand that I am consenting to allow the County Staff involved in this application or their designees to enter onto and inspect the subject property at any reasonable time, without obtaining any prior consent.

All landowners are required to sign application. If additional space is needed, attach additional sheet signed and dated.

Signature of Property Owner	Printed Name Derya Nagle	Date 5.16.22
Signature of Property Owner	Printed Name Kelsey Warner	Date 5.16.22

The Land Use Director may waive the landowner signature requirement for good cause, under the applicable provisions of the Land Use Code.



ATTACHMENT A

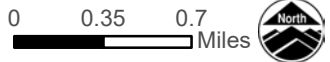
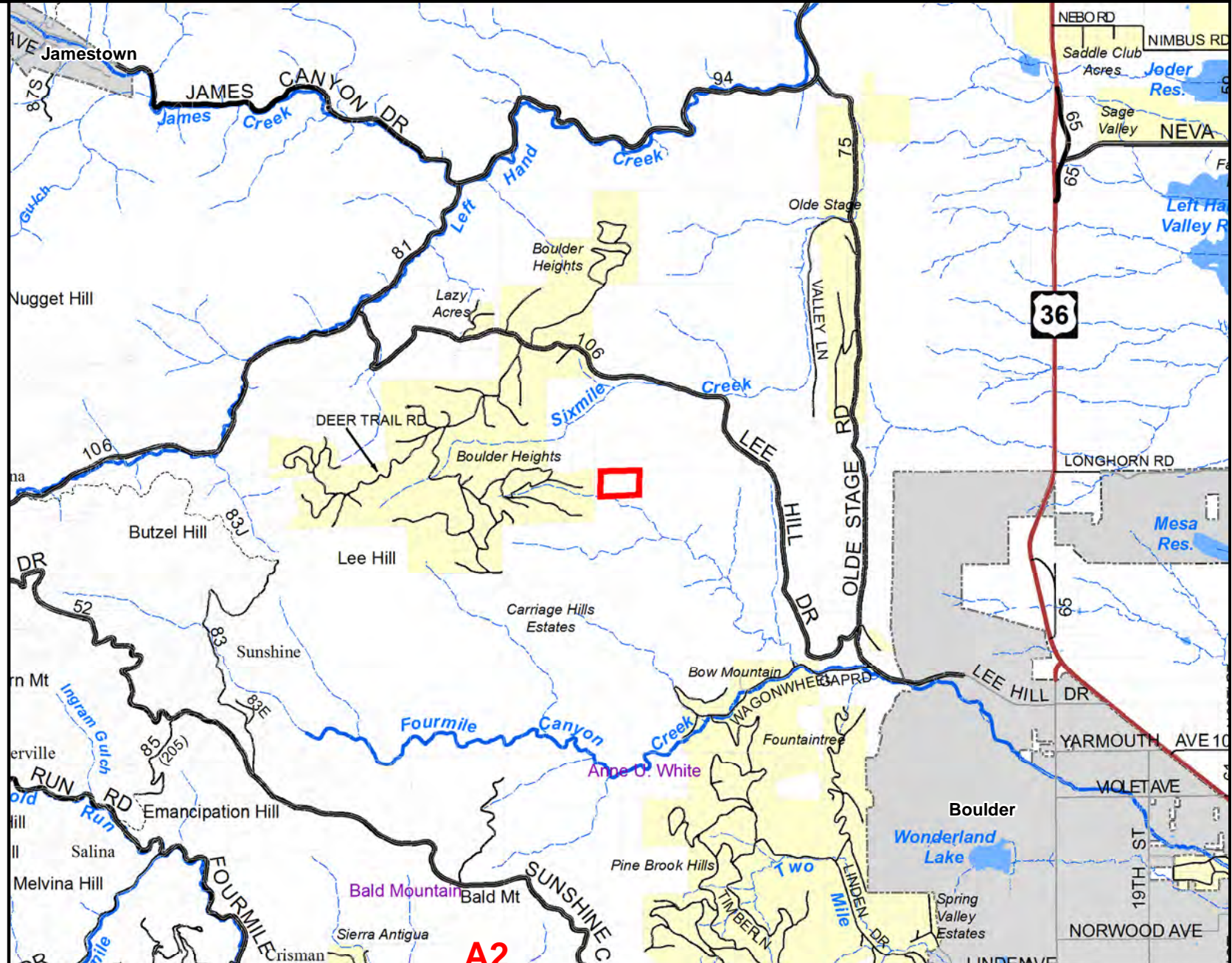
Community Planning & Permitting

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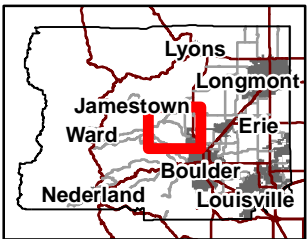
Vicinity

695 CUTTER LN

- Subject Parcel
- Municipalities
- Subdivisions**
- Subdivisions



Area of Detail Date: 5/20/2022



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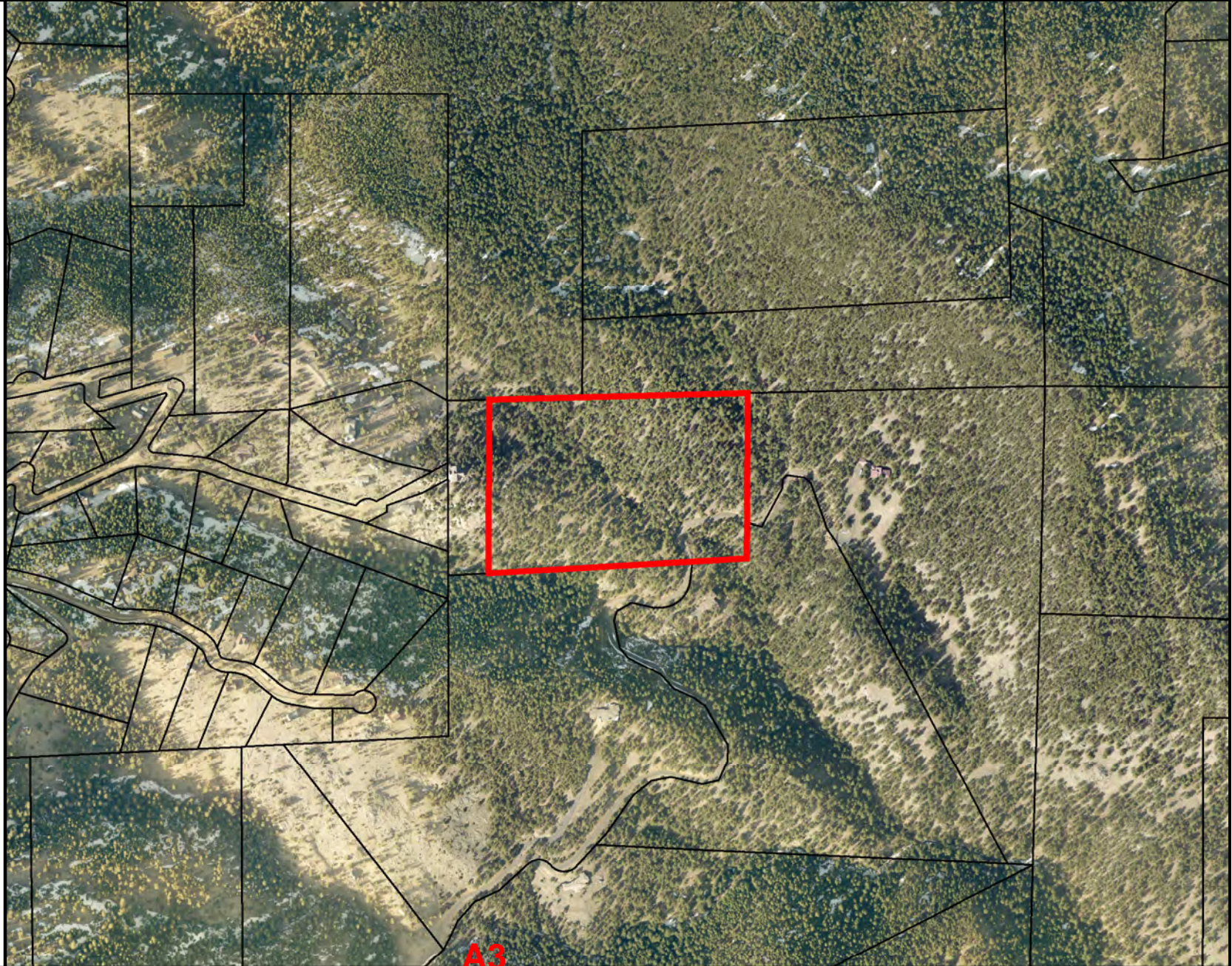
ATTACHMENT A

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Aerial
695 CUTTER LN

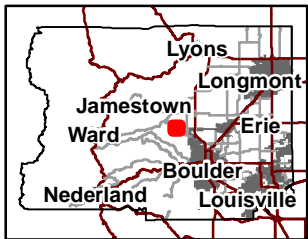
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Area of Detail Date: 5/20/2022



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A3



Community Planning & Permitting

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ATTACHMENT A

Aerial
695 CUTTER LN

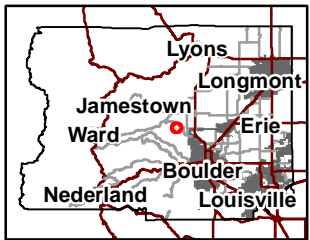
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Miles



Area of Detail Date: 5/20/2022



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A4



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Comprehensive Plan

695 CUTTER LN

ATTACHMENT A

 Subject Parcel

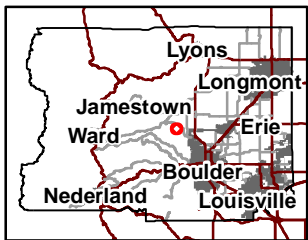
Archaeologically Sensitive Areas

 Archeologically Sensitive Areas

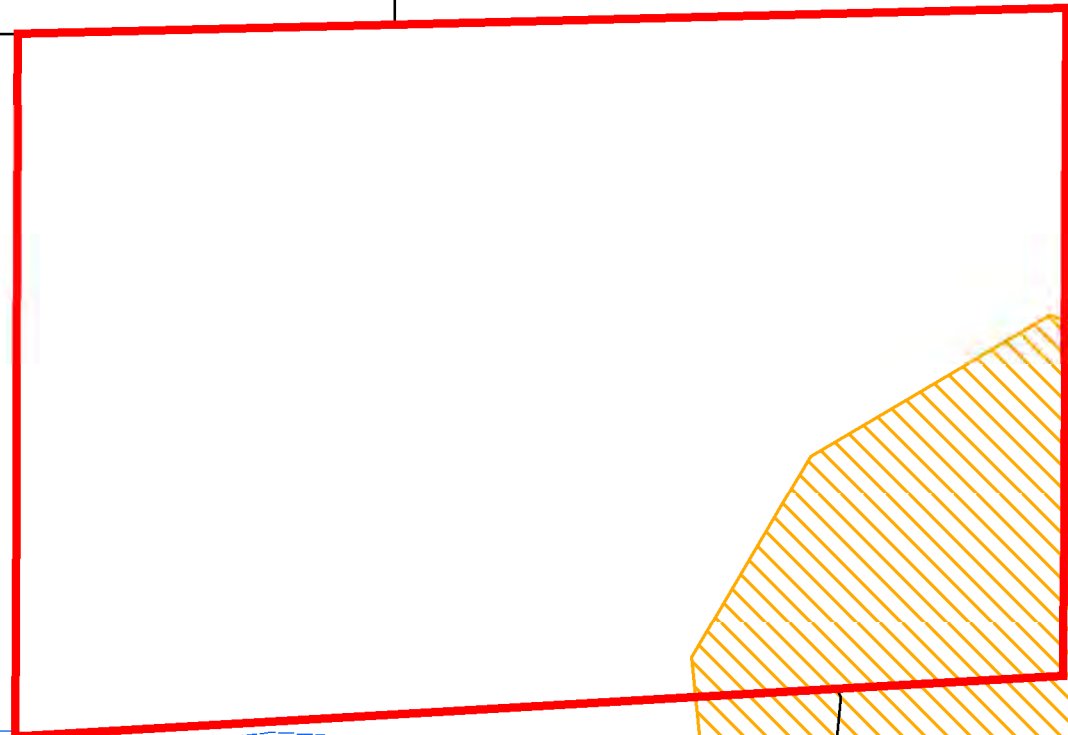
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A5



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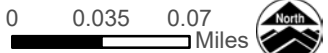
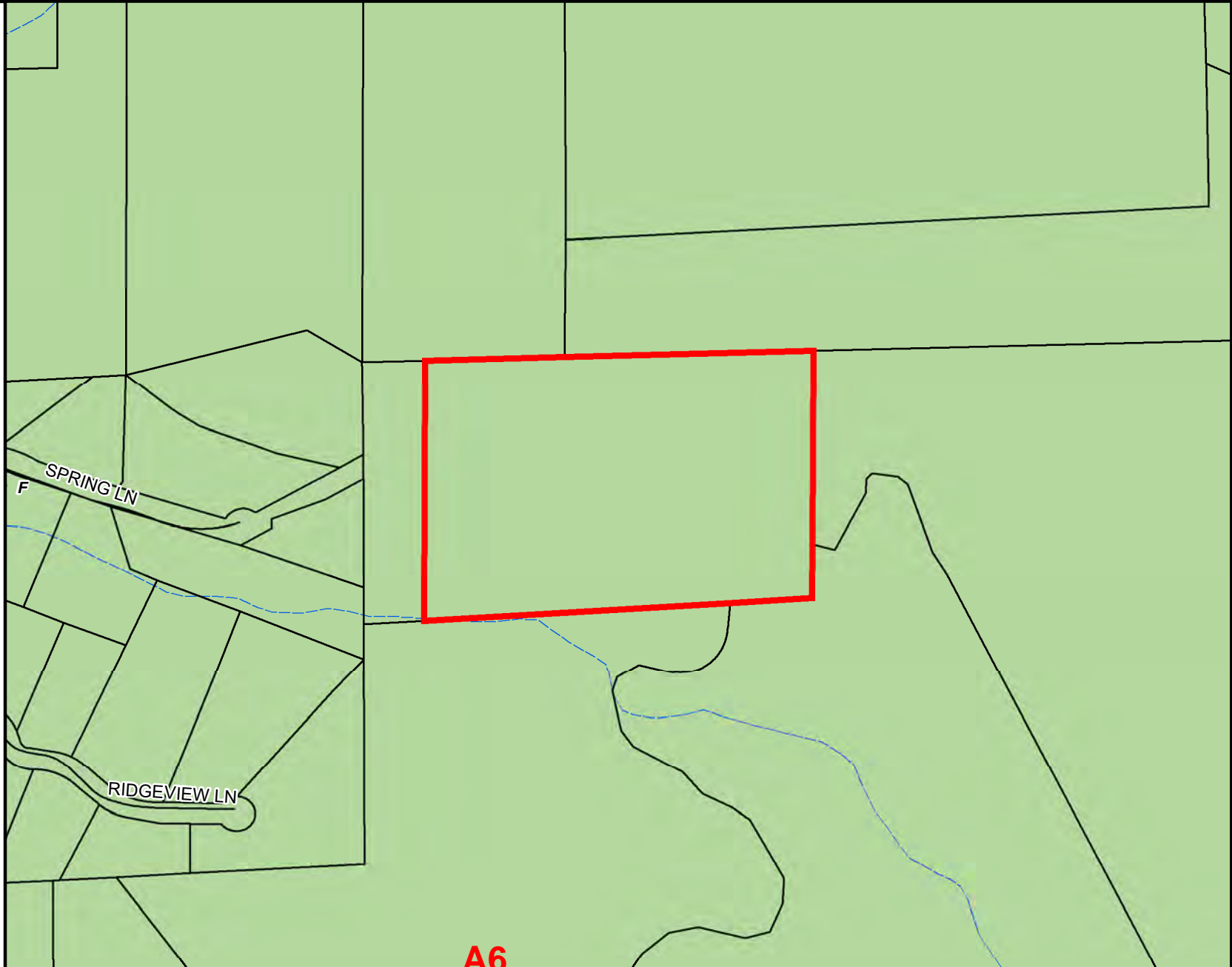
ATTACHMENT A

Zoning
695 CUTTER LN

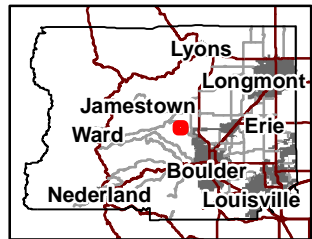
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Zoning Districts

 Forestry



Area of Detail Date: 5/20/2022



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A6



Community Planning & Permitting

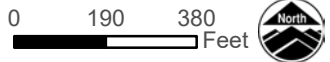
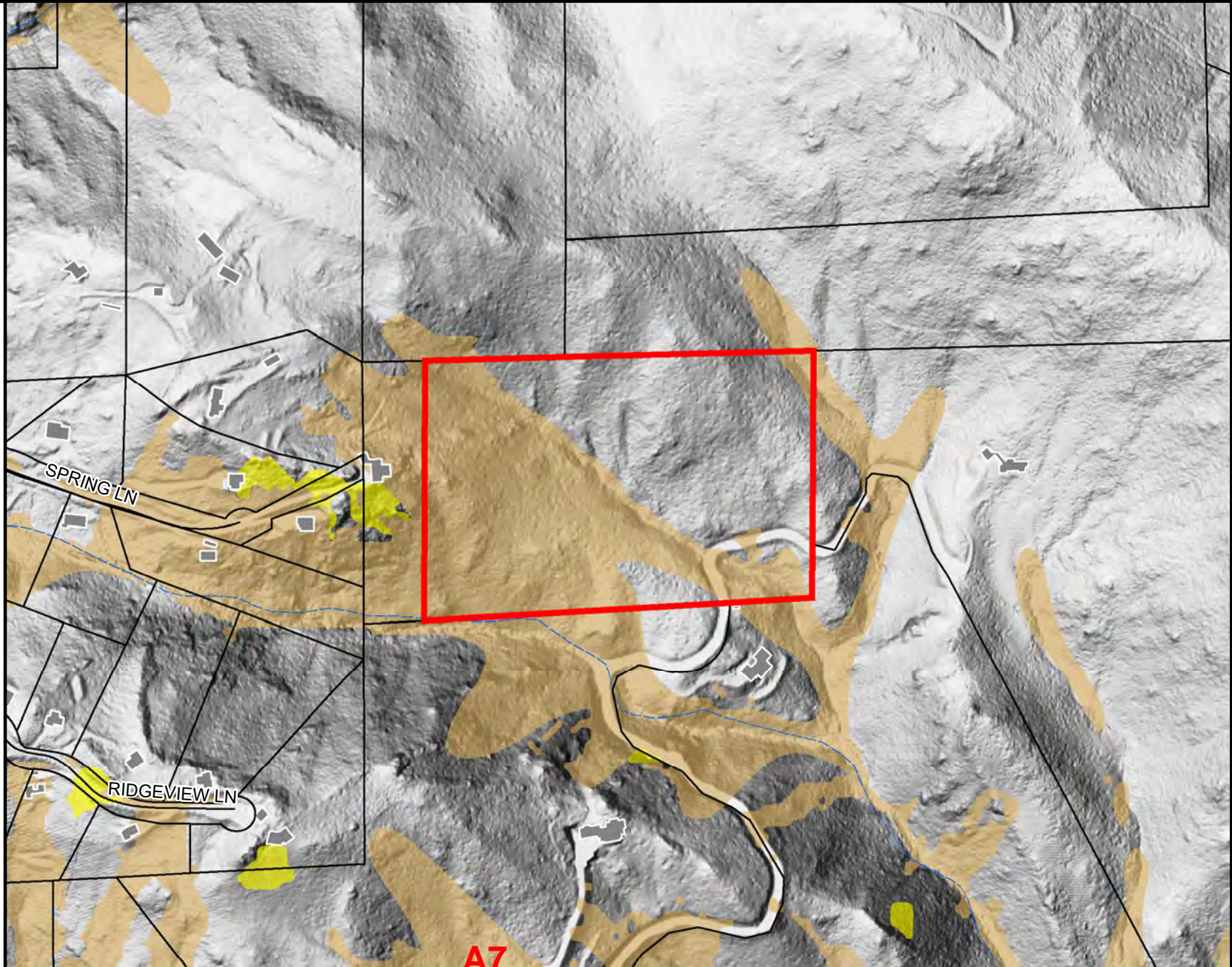
2045 13th Street, Boulder, CO 80302 303-441-3930 www.bouldercounty.org

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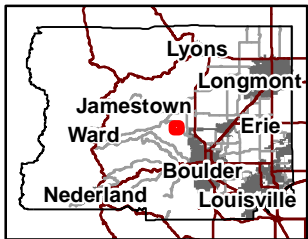
Geologic Hazards

695 CUTTER LN

 Subject Parcel



Area of Detail Date: 5/20/2022



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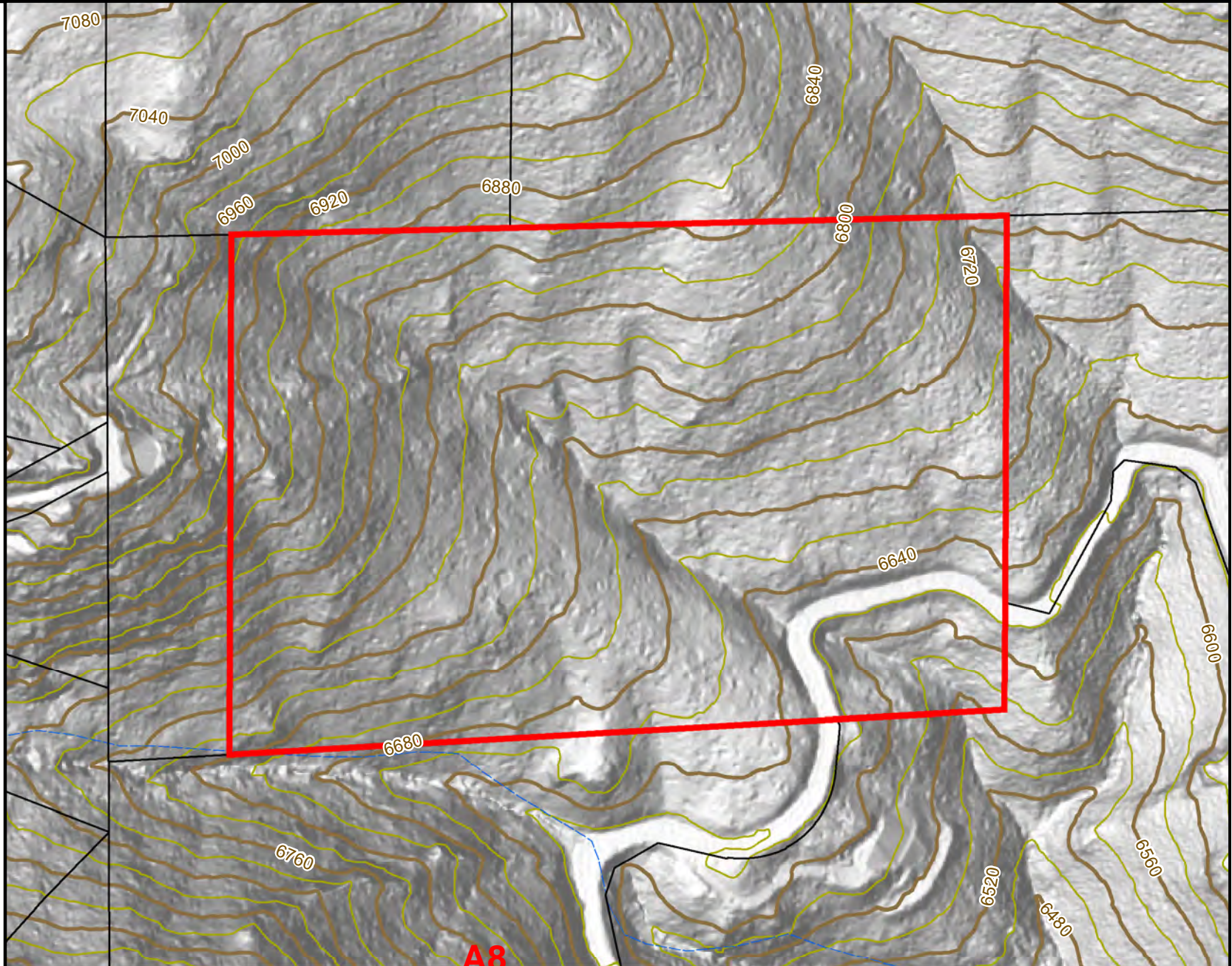
Community Planning & Permitting

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Elevation Contours

695 CUTTER LN

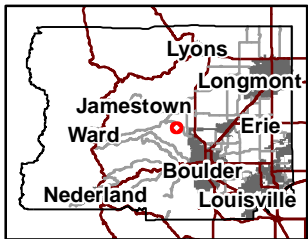
- Subject Parcel
- Contours 40'
- Contours 20'



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A8



Community Planning & Permitting

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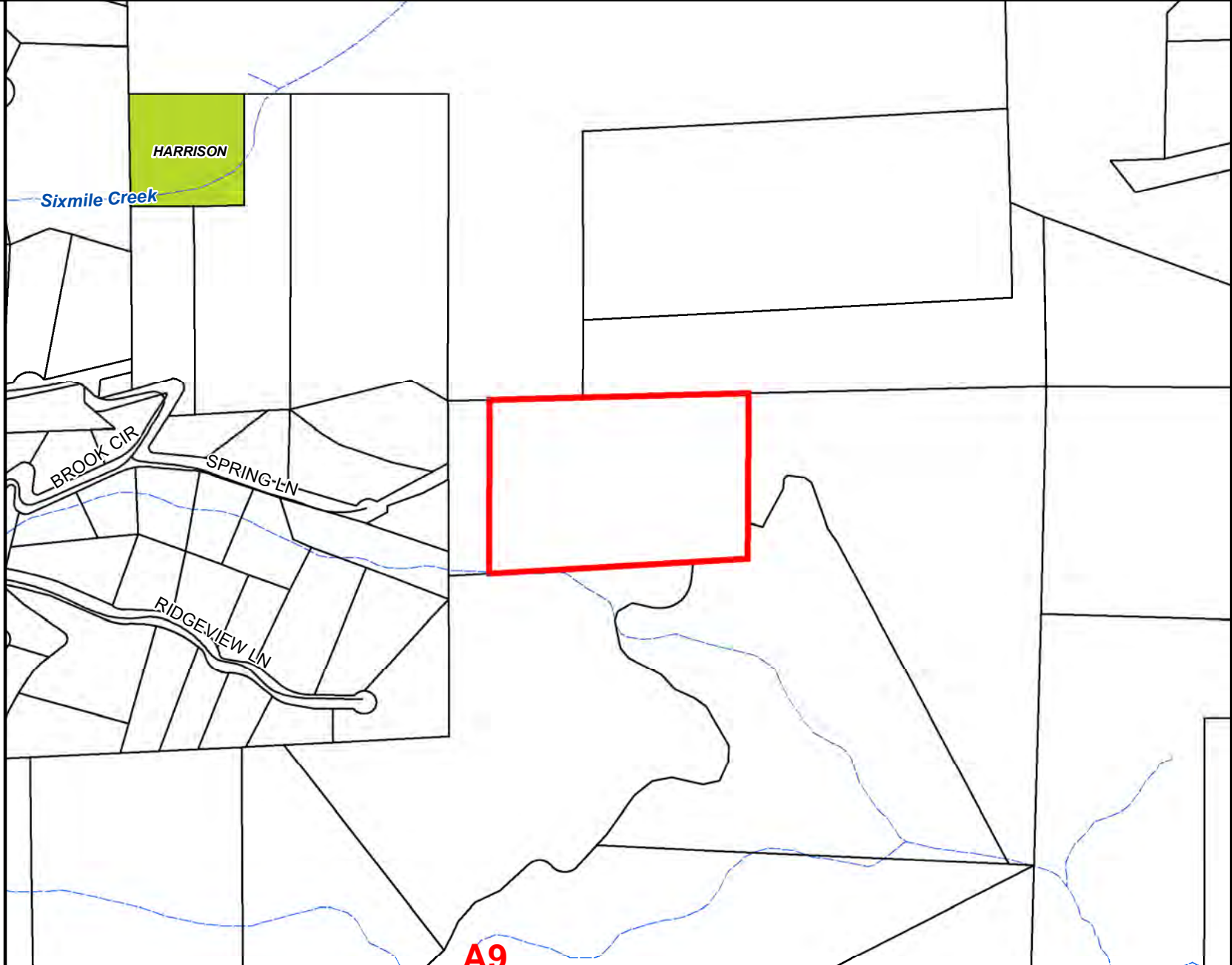
Public Lands & CEs

695 CUTTER LN

Subject Parcel

Boulder County Open Space

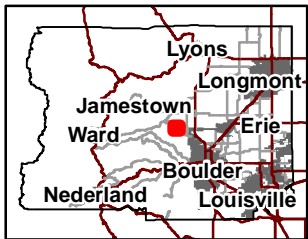
County Conservation Easement



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Area of Detail Date: 5/20/2022



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ATTACHMENT A

Site Plan Review Fact Sheet

The applicant(s) is/are required to complete each section of this Site Plan Review (SPR) Fact Sheet even if the information is duplicated elsewhere in the SPR application. Completed Fact Sheets reduce the application review time which helps expedite the Director's Determination. Please make duplicates of this SPR Fact Sheet if the project involves more than two structures.

Structure #1 Information NEW RESIDENCE

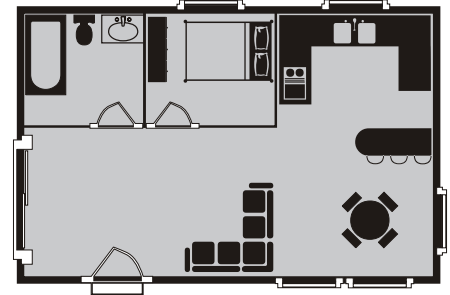
Type of Structure: (e.g. residence, studio, barn, etc.)				RESIDENCE		
Total Existing Floor Area: (Finished + Unfinished square feet including garage if attached.)				0	0	0
				sq. ft.	sq. ft.	sq. ft.
Are new floor areas being proposed where demolition will occur? <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (include the new floor area square footage in the table below)						
Proposed Floor Area (New Construction Only)				<input checked="" type="checkbox"/> Residential <input type="checkbox"/> Non-Residential		
	Finished	Unfinished	Total	Height (above existing grade)		
Basement:	585	0	585	EXISTING: 29'-7.5"		
	sq. ft.	sq. ft.	sq. ft.			
First Floor:	2415	0	2415	Exterior Wall Material	CONCRETE / METAL / WOOD	
	sq. ft.	sq. ft.	sq. ft.			
Second Floor:	1010	0	1010	Exterior Wall Color	GREY	
	sq. ft.	sq. ft.	sq. ft.			
Garage:				Roofing Material	EPDM W/ DENSDACK FOR FIRE MITIGATION	
<input type="checkbox"/> Detached	0	967	0	Roofing Color	BROWN OR DARK GREY / GREEN ROOF	
<input checked="" type="checkbox"/> Attached	sq. ft.	sq. ft.	sq. ft.			
*Covered Porch:	0	0	0			
	sq. ft.	sq. ft.	sq. ft.			
Total:	4010	967	4977	Total Bedrooms	3 BEDROOMS	
	sq. ft.	sq. ft.	sq. ft.			

Project Identification:

Project Name: CUTTER LANE RESIDENCE AND STUDIO
Property Address/Location: 695 CUTTER LN. / BOULDER, CO / 80302
Current Owner: DERYA NAGLE & KELSEY WARNER
Size of Property in Acres: 17.88 ACRES

Determining Floor Area

Floor Area is measured in terms of square feet. The total square footage is as everything within the exterior face of the exterior walls including garages and basements. **Covered porch area that is attached to the principal structure is not included (see Article 18-131A).** The shaded area on the diagram indicates the area counted as square feet.



Structure #2 Information NEW STUDIO

Type of Structure: (e.g. residence, studio, barn, etc.)				STUDIO / WORKSHOP		
Total Existing Floor Area: (Finished + Unfinished square feet including garage if attached.)				0	0	0
				sq. ft.	sq. ft.	sq. ft.
Are new floor areas being proposed where demolition will occur? <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (include the new floor area square footage in the table below)						
Proposed Floor Area (New Construction Only)				<input checked="" type="checkbox"/> Residential <input type="checkbox"/> Non-Residential		
	Finished	Unfinished	Total	Height (above existing grade)		
Basement:	0	0	0	18'-11"		
	sq. ft.	sq. ft.	sq. ft.			
First Floor:	940	0	940	Exterior Wall Material	CONCRETE / METAL / WOOD	
	sq. ft.	sq. ft.	sq. ft.			
Second Floor:	0	0	0	Exterior Wall Color	GREY	
	sq. ft.	sq. ft.	sq. ft.			
Garage:				Roofing Material	EPDM W/ DENSDACK FOR FIRE MITIGATION	
<input type="checkbox"/> Detached	0	0	0	Roofing Color	BROWN OR DARK GREY / GREEN ROOF	
<input type="checkbox"/> Attached	sq. ft.	sq. ft.	sq. ft.			
*Covered Porch:	0	0	0			
	sq. ft.	sq. ft.	sq. ft.			
Total:	940	0	940	Total Bedrooms	1 BEDROOM	
	sq. ft.	sq. ft.	sq. ft.			

Residential vs. Non-Residential Floor Area

Residential Floor Area includes all attached and detached floor area (as defined in Article 18-162) on a parcel, including principal and accessory structures used or customarily used for residential purposes, such as garages, studios, pool houses, home offices and workshops. Gazebos and carports up to a total combined size of 400 square feet are exempt. Barns used for agricultural purposes are not considered residential floor area.

Note: If an existing wall(s) and/or roof(s) are removed and a new wall(s)/roof(s) are constructed, the associated floor area due to the new wall(s)/roof(s) are considered new construction and must be included in the calculation of floor area for the Site Plan Review and shown on this Fact Sheet.

If a Limited Impact Special Review is required, then call 303-441-3930 and ask for a new Pre-Application conference for the Limited Impact Special Review.

*See Article 18-131A for definition of covered porch.

ATTACHMENT A



PROJECT NARRATIVE FOR 695 CUTTER LANE / MAY 16, 2022

PROJECT ADDRESS: 695 Cutter Ln. / Unincorporated Boulder County

ZONING: F - Forestry

OWNER: Derya Nagle & Kelsey Warner

APPLICANT: Chris Gray, BLDG.Collective / Anna Martin, BLDG.Collective

SITE NARRATIVE

The owners are interested in creating a mountain home which integrates and enhances the stunning environment of Carriage Hills Estates. Their desire is to use materials which accentuate and reflect the landscape. Their intention is to use concrete, metal siding, and fire-resistant wood cladding for the exterior material palette. The design utilizes these materials by establishing large, vertical concrete walls at the base to retain the necessary earth and hold the residence into the hillside and a lighter, finished concrete as a horizontal element integrating the first level living spaces. The home is located at this particular site on the property to limit the length of the new driveway and to provide the opportunity for fire trucks to fight a fire from Cutter Lane.

DESIGN NARRATIVE

The project consists of a new single-family residence that will consist of a main living area located on the first level including covered entry, kitchen, living, dining, guest bathroom, guest bedroom, sunroom, and lounge. The lower level includes the attached garage, mudroom and mechanical room, and the second level includes the primary bedroom and bath along with a study. The home will also include a southern deck off of the living room, a northern patio off of the kitchen and an eastern patio off of the guest bedroom. The proposal imbeds itself into the site by locating service and storage areas to the North and keeping the open livable spaces to the South, providing outdoor access and natural lighting and air for these living spaces. To provide ventilation and solar access to the required spaces to the North, as in the guest bathroom and powder room, and outdoor dining, openings are cut in either the roof or the Northern most retaining wall depending upon the adjacent grade of the topography.

The home is submerged into the hillside to minimize the mass of the structure and the height of the residence. The home should not be highly visible from lower elevations due to the hillsides to the south of the property.

The project will include the new driveway as well as an onsite septic system and a new well.

ATTACHMENT A

May 16, 2022

Ms. Annie Martin
bldg.collective
2872 Bluff Street
Boulder, CO 80304

Reference: 695 Cutter Lane – Boulder County, Colorado
SiteWorks Project No. 22125B

Dear Ms. Martin

SiteWorks performed cut and fill volume calculations for the grading improvements associated with the proposed residence located at 695 Cutter Lane in Boulder County, Colorado. These calculations are based on the architectural plans prepared by bldg.collective.

Our calculations show the proposed driveway improvements will require approximately 1406 cubic yards of cut and 621 cubic yards of fill. Other proposed site improvements (areas not related to the driveway and outside of the exempt foundational earthwork) will require approximately 526 cubic yards of cut and 18 cubic yards of fill. These earthwork volumes do not include the exempt earthwork up to ten feet around the perimeter of the building foundations or the road base material for the proposed driveway. In accordance with Boulder County's "Earthwork and Grading" Standards, the total estimated quantity of qualified material to be moved is 2571 cubic yards.

Our calculations show all of the building foundation excavation and associated incidental backfill will require approximately 2056 cubic yards of cut and 5 cubic yards of fill. This earthwork volume includes the exempt earthwork up to ten feet around the perimeter of the building foundations. Based on the County's "Earthwork and Grading" Standards, the total estimated quantity of foundation material to be moved is 2061 cubic yards.

The proposed driveway road base is also exempt per the Boulder County Standards.

Autodesk Civil 3D 2023 computer software was utilized to perform the cut and fill calculations.

Should you have any questions or comments, kindly give us a call.

ATTACHMENT A

Ms. Annie Martin
May 16, 2022
Page 2 of 2

Sincerely,



Donald P. Ash, P.E.
Principal - SiteWorks

Enclosures: Boulder County SPR Fact Sheet



ATTACHMENT A

Grading Calculation

Cut and fill calculations are necessary to evaluate the disturbance of a project and to verify whether or not a Limited Impact Special Review (LISR) is required. A LISR is required when grading for a project involves more than 500 cubic yards (minus normal cut/fill and backfill contained within the foundation footprint).

If grading totals are close to the 500 yard trigger, additional information may be required, such as a grading plan stamped by a Colorado Registered Professional Engineer.

Earth Work and Grading

This worksheet is to help you accurately determine the amount of grading for the property in accordance with the Boulder County Land Use Code. Please fill in all applicable boxes.

Note: Applicant(s) must fill in the shaded boxes even though foundation work does not contribute toward the 500 cubic yard trigger requiring Limited Impact Special Use Review. Also, all areas of earthwork must be represented on the site plan.

Earth Work and Grading Worksheet:

	Cut	Fill	Subtotal
Driveway and Parking Areas	1406	621	2027
Berm(s)			
Other Grading	526	18	544
Subtotal	1932	639	2571 Box 1
* If the total in Box 1 is greater than 500 cubic yards, then a Limited Impact Special Review is required.			
	Cut	Fill	Total
Foundation	2056	5	2061
Material cut from foundation excavation to be removed from the property			2051

Excess Material will be Transported to the Following Location:

Excess Materials Transport Location:
EXCESS MATERIAL WILL BE TRANSPORTED TO AN APPROVED FACILITY.

Narrative

Use this space to describe any special circumstances that you feel the Land Use Office should be aware of when reviewing your application, including discussion regarding any factors (listed in Article 4-806.2.b.i) used to demonstrate that the presumptive size limitation does not adequately address the size compatibility of the proposed development with the defined neighborhood. If more room is needed, feel free to attach a separate sheet.

Is Your Property Gated and Locked?

Note: If county personnel cannot access the property, then it could cause delays in reviewing your application.

Certification

I certify that the information submitted is complete and correct. I agree to clearly identify the property (if not already addressed) and stake the location of the improvements on the site within four days of submitting this application. I understand that the intent of the Site Plan Review process is to address the impacts of location and type of structures, and that modifications may be required. Site work will not be done prior to issuance of a Grading or Building Permit.

Signature	Date 5/16/22
-----------	--

DRAWING INDEX

0.0	TITLE PAGE	•
0.1	SITE SURVEY	•
1.0	SITE PLAN	•
1.1	SITE PLAN - ENLARGED	•
2.0	AREA PLANS	•
3.0	(N) BUILDING ELEVATIONS	•
3.1	(N) BUILDING ELEVATIONS	•
3.2	(N) BUILDING ELEVATIONS	•
3.3	(N) BUILDING ELEVATIONS - STUDIO	•

SPR / LIMITED IMPACT

bldg.
collective
architecture+design

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Boulder, CO 80301
303.357.1364
info@bldgcollective.com
bldgcollective.com

CUTTER RESIDENCE
695 Cutter Lane,
Boulder, CO 80301

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TITLE PAGE

0.0

CUTTER RESIDENCE

695 Cutter Lane,
Boulder, CO 80301

bldg.collective
architecture+design

2872 Bluff Street
Boulder, CO 80301
303.357.1364
info@bldgcollective.com
bldgcollective.com

PROJECT TEAM

OWNER

DERYA NAGLE & KELSEY WARNER

3160 REPPLIER ST
BOULDER CO 80304
202-492-7953
DERYANAGLE@GMAIL.COM

ARCHITECT

CHRIS GRAY

BLDG.COLLECTIVE
2872 BLUFF STREET
BOULDER CO 80301
303-357-1364
STEVE@BLDGCOLLECTIVE.COM

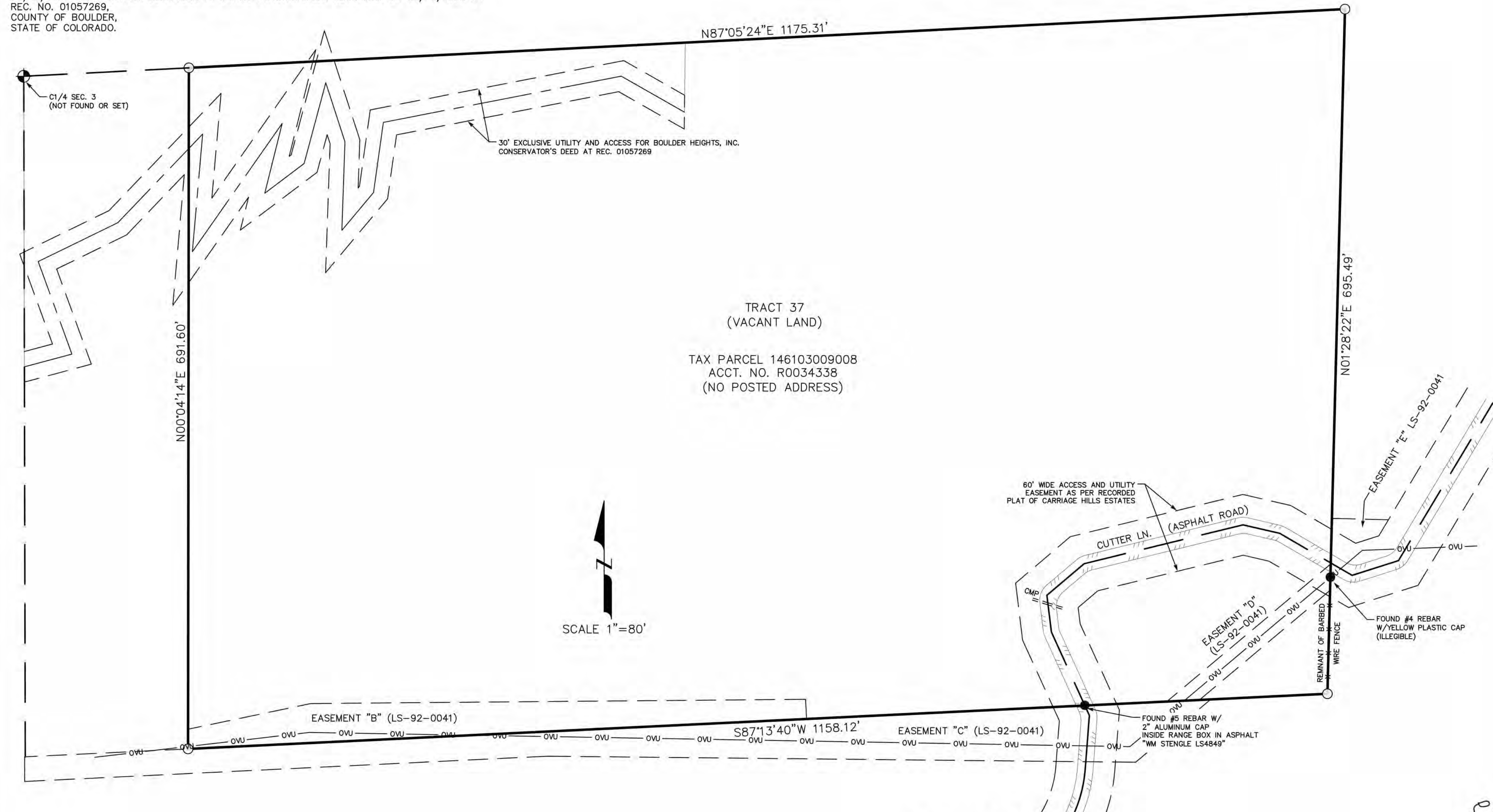


IMPROVEMENT LOCATION CERTIFICATE

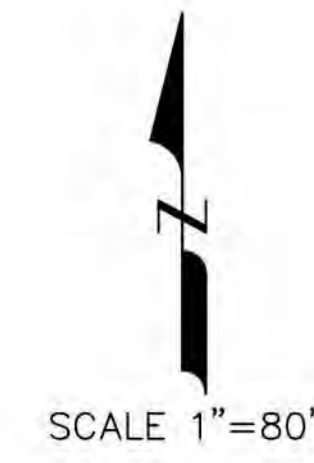
TRACT 37, CARRIAGE HILLS ESTATES, LOCATED IN THE SOUTHEAST QUARTER
OF SECTION 3, TOWNSHIP 1 NORTH, RANGE 71 WEST OF THE 6TH P.M.,
COUNTY OF BOULDER, STATE OF COLORADO

Parcel Description
(PROVIDED BY THE CLIENT)

TRACT 37,
CARRIAGE HILLS ESTATES, ACCORDING TO THE PLAT RECORDED AT REC. 00676463 ON
03/12/1985 AND FURTHER DESCRIBED IN CONSERVATOR'S DEED RECORDED ON 09/10/1990 AT
REC. NO. 01057269,
COUNTY OF BOULDER,
STATE OF COLORADO.



TRACT 37
(VACANT LAND)
TAX PARCEL 146103009008
ACCT. NO. R0034338
(NO POSTED ADDRESS)



Notes

1. THIS CERTIFICATE DOES NOT CONSTITUTE A TITLE SEARCH BY FLATIRONS, INC. TO DETERMINE OWNERSHIP, RIGHTS OF WAY, EASEMENTS OR ENCUMBRANCES NOT SHOWN BY THE PLAT THAT MAY AFFECT THIS TRACT OF LAND. THERE MAY BE EASEMENTS OR RIGHTS OF WAY OF THE PUBLIC RECORD THAT MAY AFFECT THIS TRACT OF LAND THAT ARE NOT SHOWN ON THIS CERTIFICATE.
2. AN IMPROVEMENT SURVEY PLAT IS RECOMMENDED TO DEPICT MORE PRECISELY THE LOCATION OF THE IMPROVEMENTS SHOWN HEREON.
3. THE LAND SURVEY PLAT (LSP) BY STENGL DEPOSITED AS LS-92-0041 WAS CONSIDERED IN THE PREPARATION OF THIS CERTIFICATE. SAID LSP WAS ALSO THE SOURCE OF THE EASEMENTS SHOWN HEREON. IT IS NOT KNOWN IF SAID EASEMENT HAVE BEEN RECORDED.

Surveyor's Statement

I HEREBY CERTIFY THAT THIS IMPROVEMENT LOCATION CERTIFICATE WAS PREPARED FOR BUILDING COLLECTIVE, THAT IT IS NOT A LAND SURVEY PLAT OR IMPROVEMENT SURVEY PLAT, AND THAT IT IS NOT TO BE RELIED UPON FOR THE ESTABLISHMENT OF A FENCE, BUILDING, OR OTHER FUTURE IMPROVEMENT LINES. THIS CERTIFICATE IS VALID ONLY FOR USE BY BUILDING COLLECTIVE AND DESCRIBES THE PARCEL'S APPEARANCE ON AUGUST 12, 2021. I FURTHER CERTIFY THAT THE IMPROVEMENTS ON THE ABOVE DESCRIBED PARCEL ON THIS DATE, AUGUST 12, 2021, EXCEPT UTILITY CONNECTIONS, ARE ENTIRELY WITHIN THE BOUNDARIES OF THE PARCEL, EXCEPT AS SHOWN, THAT THERE ARE NO ENCROACHMENTS UPON THE DESCRIBED PREMISES BY IMPROVEMENTS ON ANY ADJOINING PREMISES, EXCEPT AS INDICATED, AND THAT THERE IS NO APPARENT EVIDENCE OR SIGN OF ANY EASEMENT CROSSING OR BURDENING ANY PART OF SAID PARCEL, EXCEPT AS NOTED.

NOTICE: THIS IMPROVEMENT LOCATION CERTIFICATE IS PREPARED FOR THE SOLE USE OF THE PARTIES STATED HEREON. THE USE OF THIS IMPROVEMENT LOCATION CERTIFICATE BY ANY PERSON OR ENTITY OTHER THAN THE PERSON OR ENTITY CERTIFIED TO WITHOUT THE EXPRESS PERMISSION OF FLATIRONS, INC. IS PROHIBITED. THIS CERTIFICATE IS ONLY VALID FOR 90 DAYS FROM THE SIGNATURE DATE. IT IS NOT A LAND SURVEY PLAT AS DEFINED BY C.R.S. 38-51-102(12) OR AN IMPROVEMENT SURVEY PLAT AS DEFINED BY C.R.S. 38-51-102(9). IT DOES NOT ESTABLISH PROPERTY CORNERS. A MORE PRECISE RELATIONSHIP OF THE IMPROVEMENTS TO THE BOUNDARY LINES CAN BE DETERMINED BY A LAND SURVEY PLAT OR AN IMPROVEMENT SURVEY PLAT. THE IMPROVEMENTS ARE GENERALLY SITUATED AS SHOWN, AND ONLY APPARENT (VISIBLE AT THE TIME OF FIELDWORK) IMPROVEMENTS AND ENCROACHMENTS ARE NOTED. FLATIRONS, INC. AND EDGAR T. BRISTOW WILL NOT BE LIABLE FOR MORE THAN THE COST OF THIS IMPROVEMENT LOCATION CERTIFICATE, AND THEN ONLY TO THE PARTIES SPECIFICALLY SHOWN HEREON. ACCEPTANCE AND/OR USE OF THIS IMPROVEMENT LOCATION CERTIFICATE FOR ANY PURPOSE CONSTITUTES AGREEMENT TO ALL TERMS STATED HEREON.

REVISION	DATE
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IMPROVEMENT
LOCATION CERTIFICATE
PREPARED FOR
BUILDING COLLECTIVE
COPYRIGHT 2021 FLATIRONS, INC.

Flatirons, Inc.
Land Surveying Services
www.FlatironsInc.com
3825 IRIS AVE, STE 395
BOULDER, CO 80301
PH: (303) 443-7001
FAX: (303) 443-9830



JOB NUMBER:
21-77102
DATE:
8-16-2021
DRAWN BY:
W. BECKETT
CHECKED BY:
SGB

SHEET 1 OF 1

2872 Bluff Street
Boulder, CO 80301
303.357.1364
info@bldgcollective.com
bldgcollective.com

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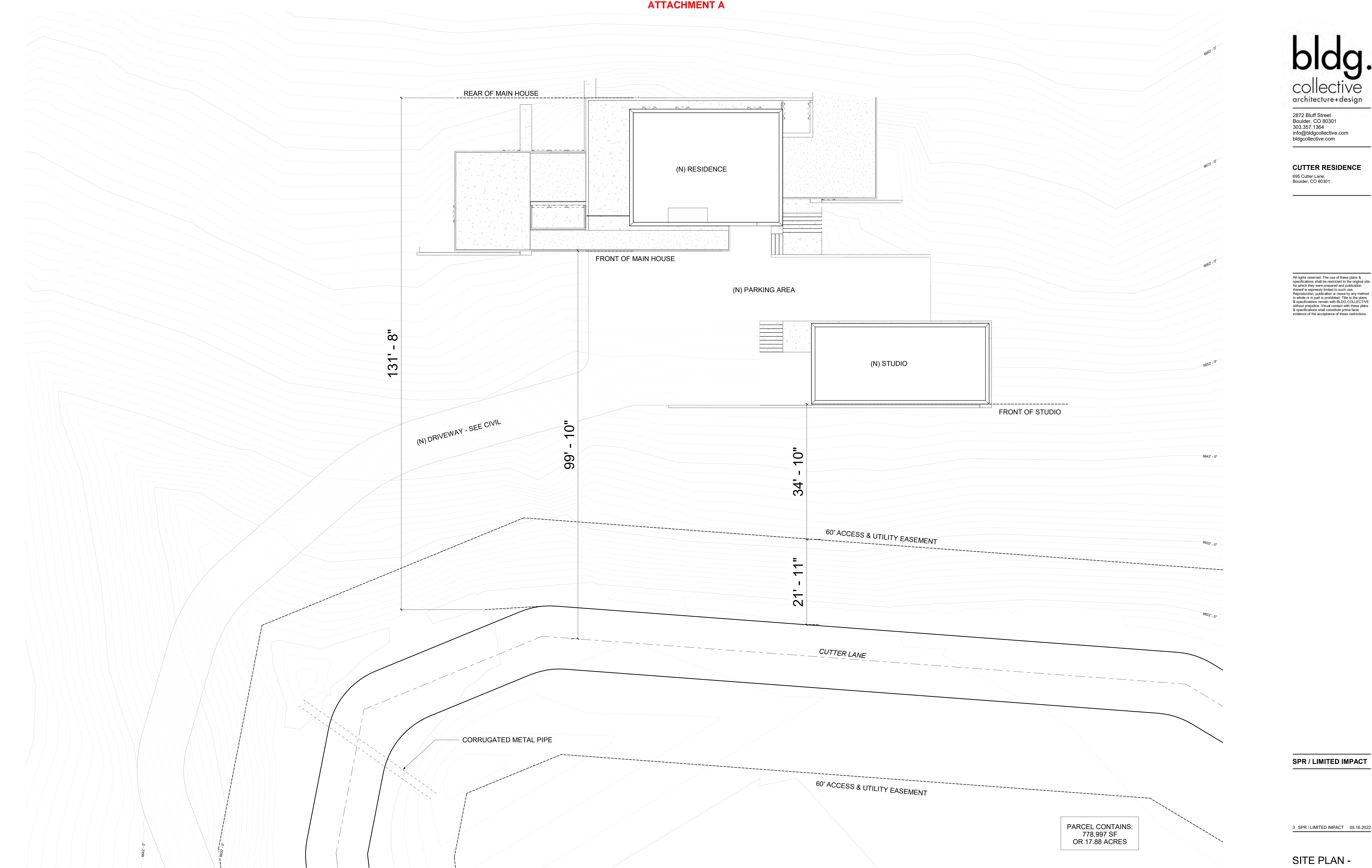
3 SPR / LIMITED IMPACT 05.16.2022

SITE SURVEY

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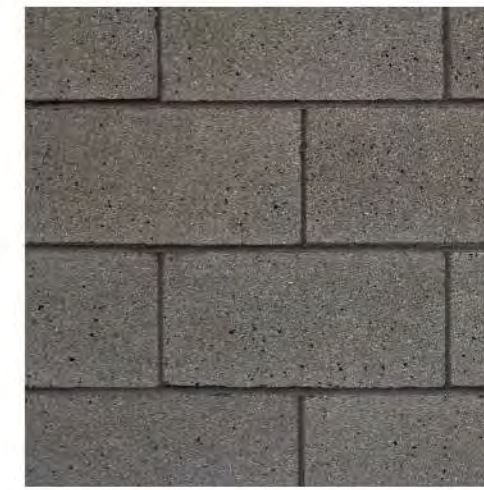


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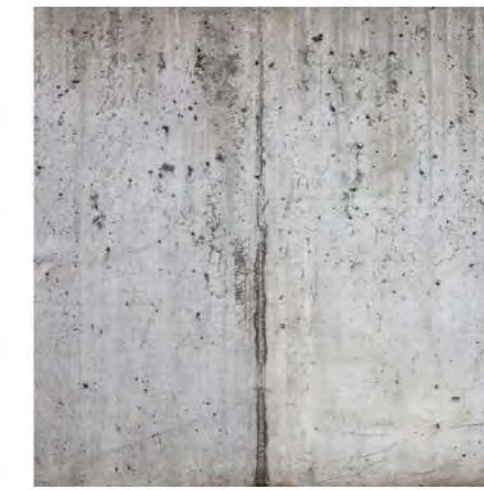
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- 03 METAL
- 04 WOOD SIDING
- 05 CONCRETE

- CONCRETE MASONRY UNIT
- CAST IN PLACE CONCRETE
- DARK BRONZE CORRUGATED METAL
- THERMALLY MODIFIED CEDAR SIDING- IN CLASS A ASSEMBLY
- PRECAST CONCRETE

01. MASONRY CONCRETE



02. CAST IN PLACE CONCRETE / PRECAST CONCRETE



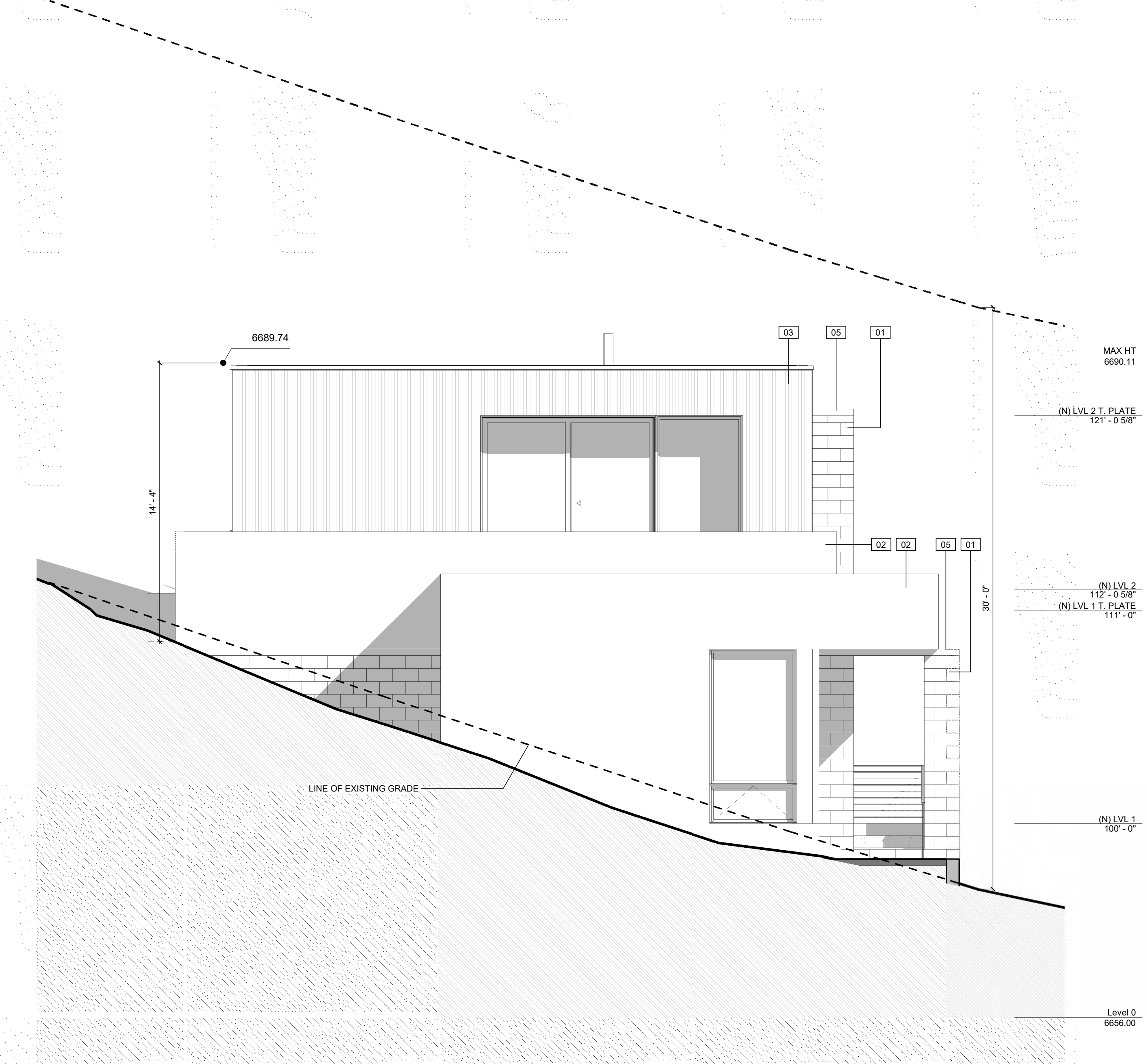
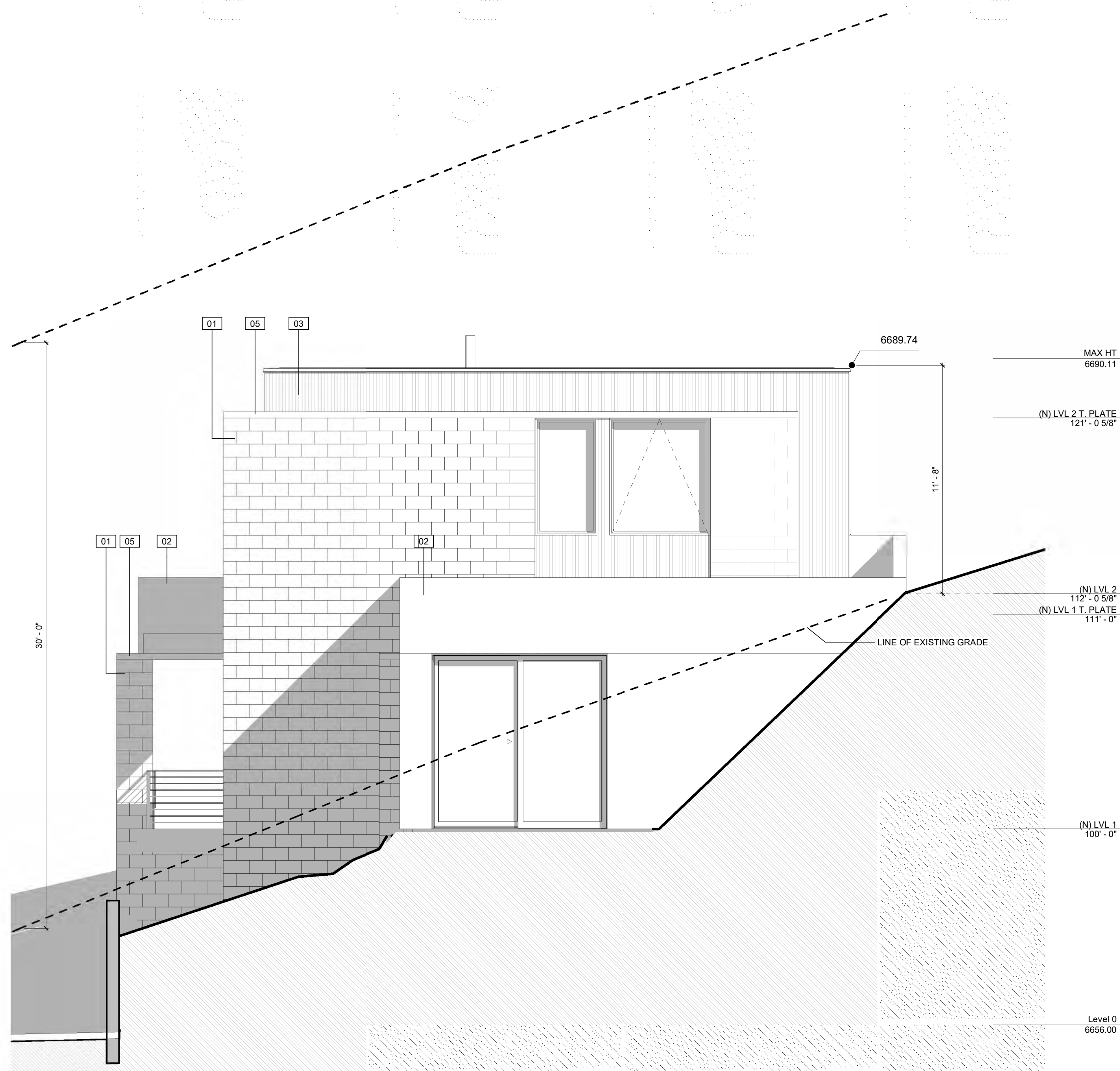
03. STEEL PANEL



04. THERMALLY MODIFIED CEDAR SIDING - IN CLASS A ASSEMBLY

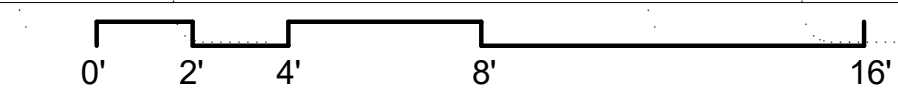


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1 SPR_EAST ELEVATION
1/4" = 1'-0"

2 SPR_WEST ELEVATION
1/4" = 1'-0"



SPR / LIMITED IMPACT

3 SPR / LIMITED IMPACT 05.16.2022

(N) BUILDING ELEVATIONS

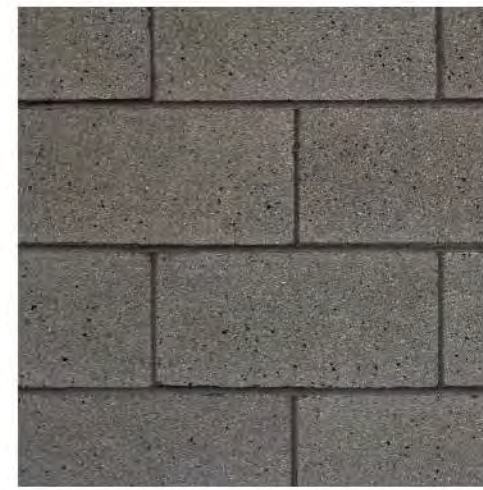
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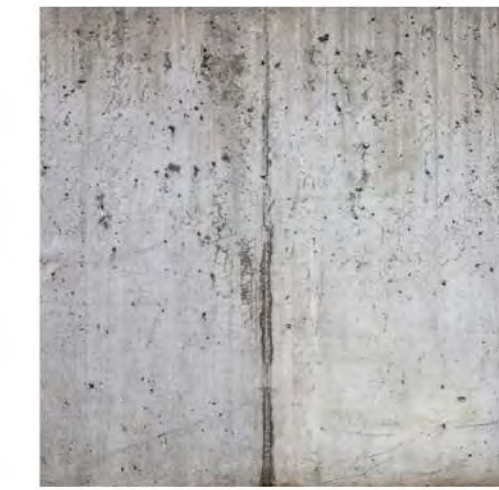
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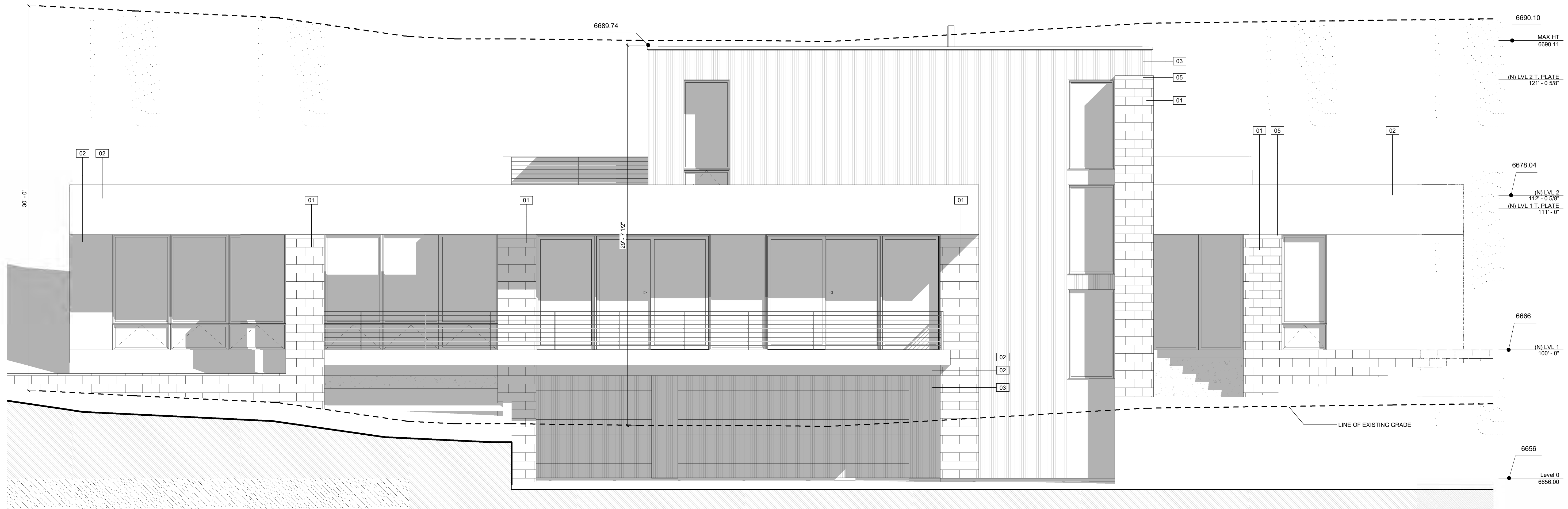
03. STEEL PANEL



04. THERMALLY MODIFIED CEDAR SIDING -
IN CLASS A ASSEMBLY



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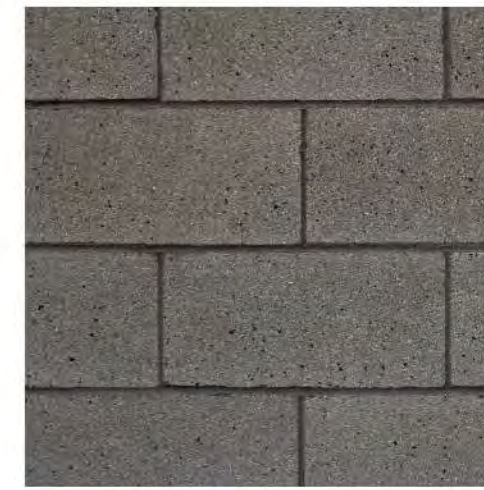


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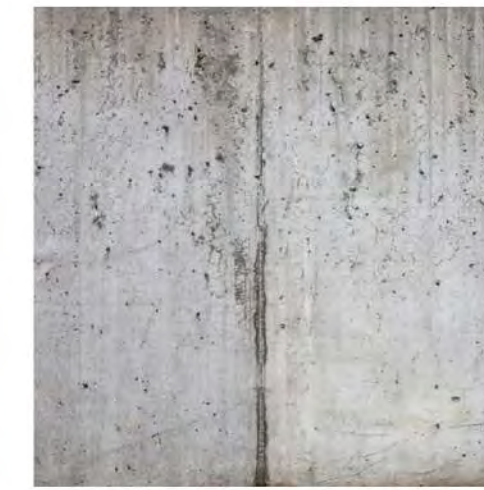
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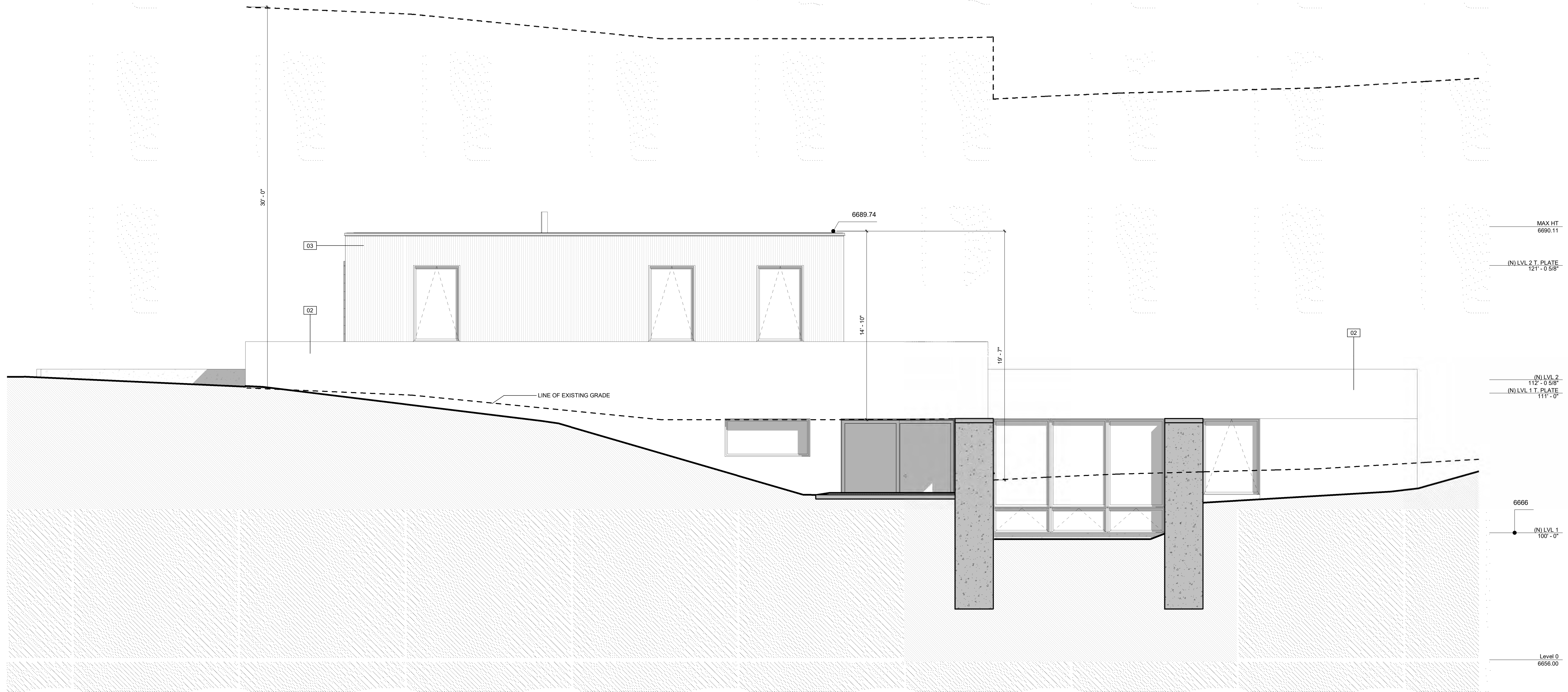
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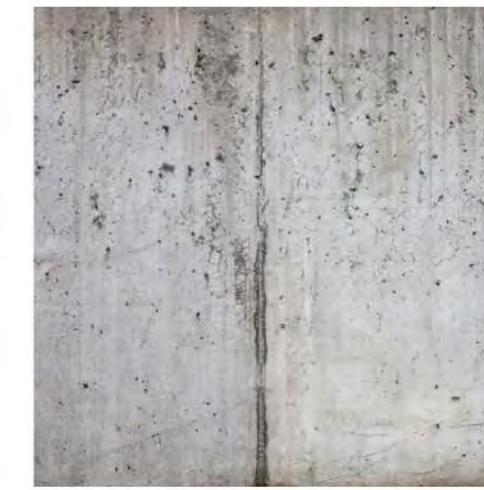
EXTERIOR FINISHES + MATERIALS

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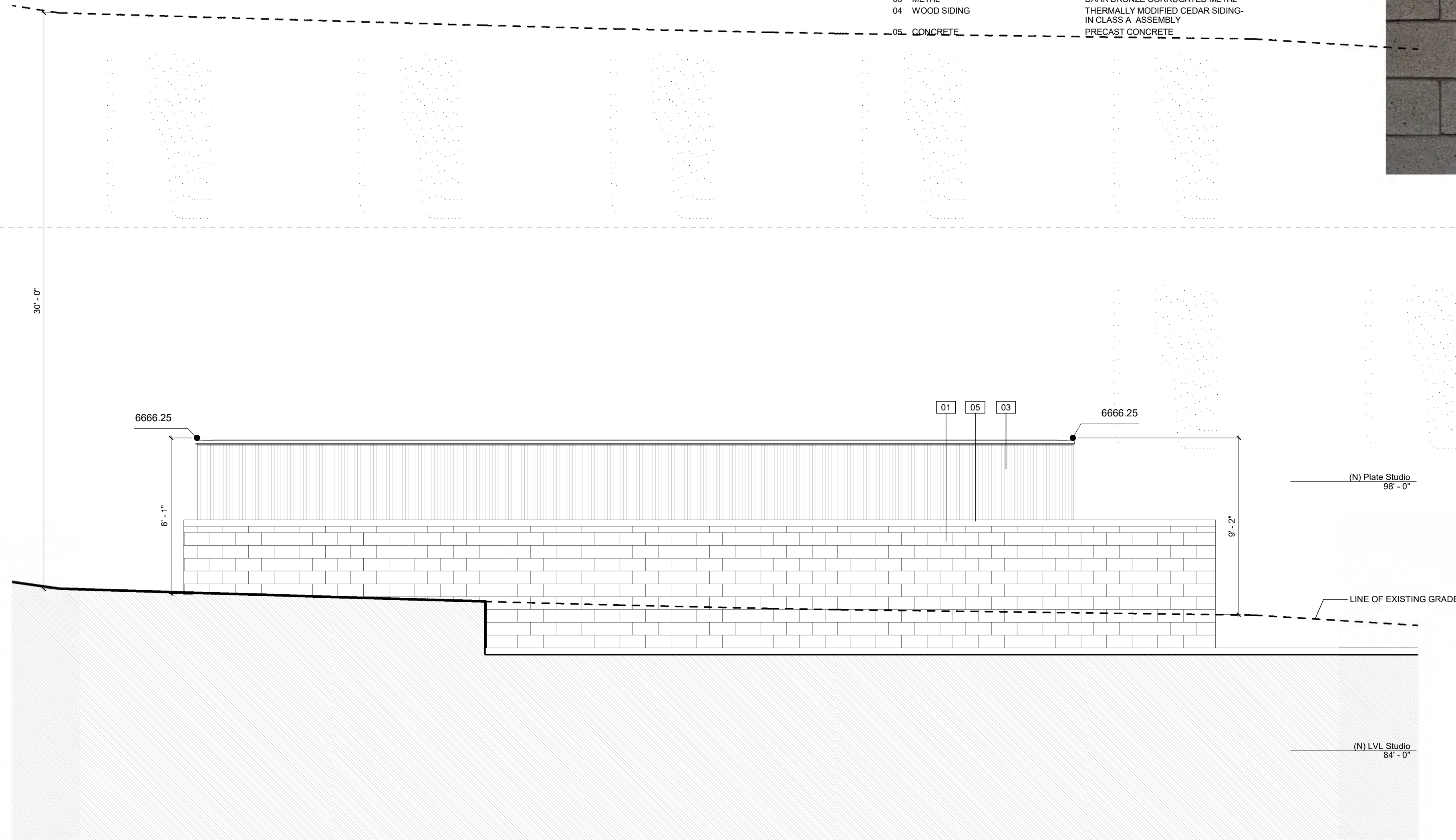
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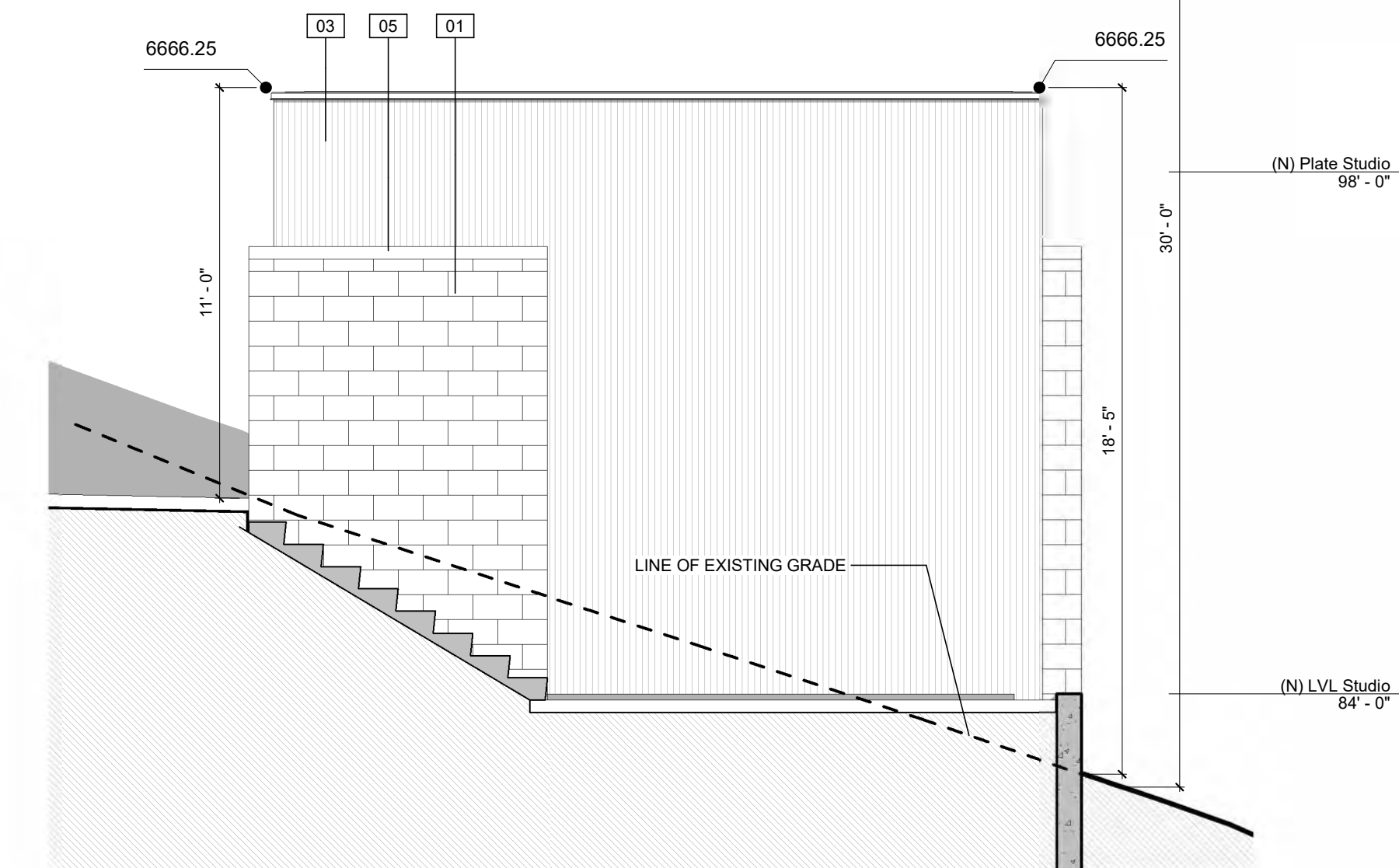
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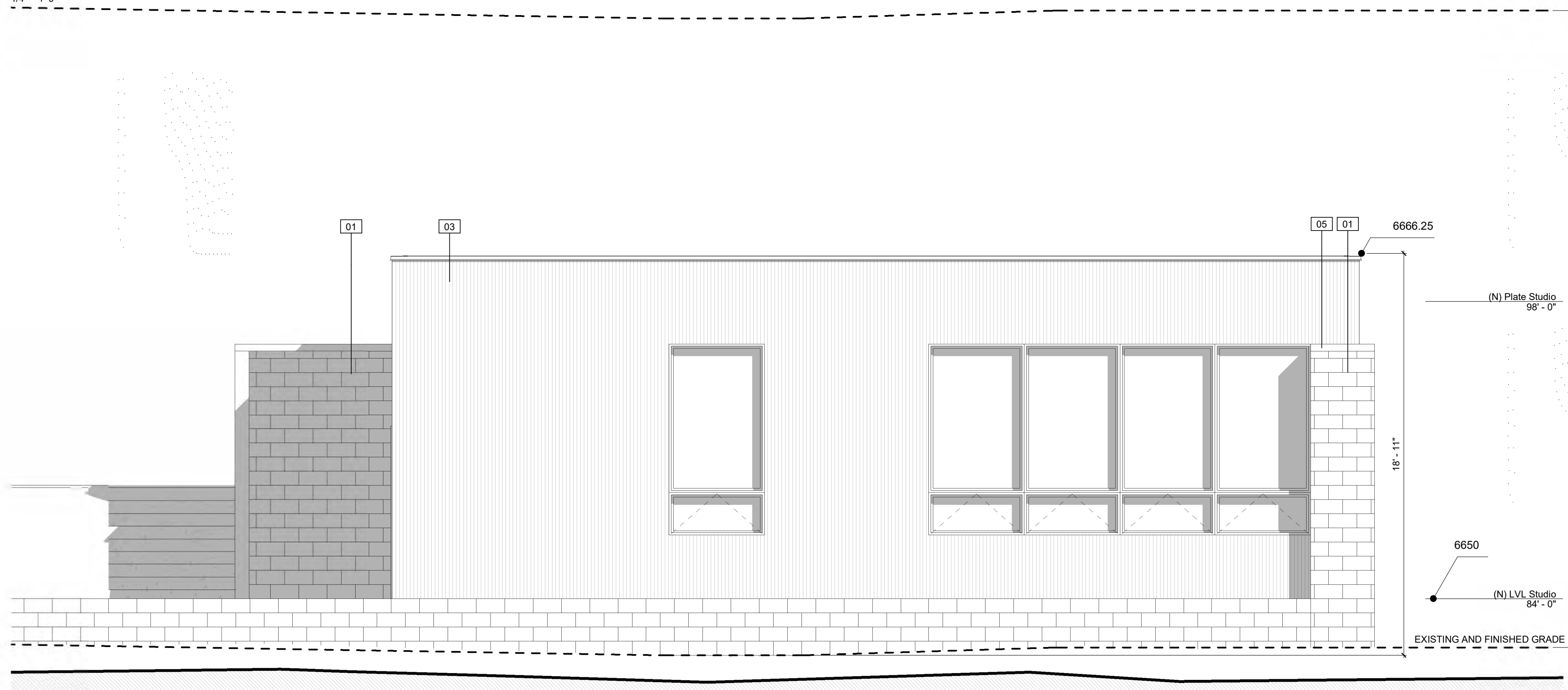
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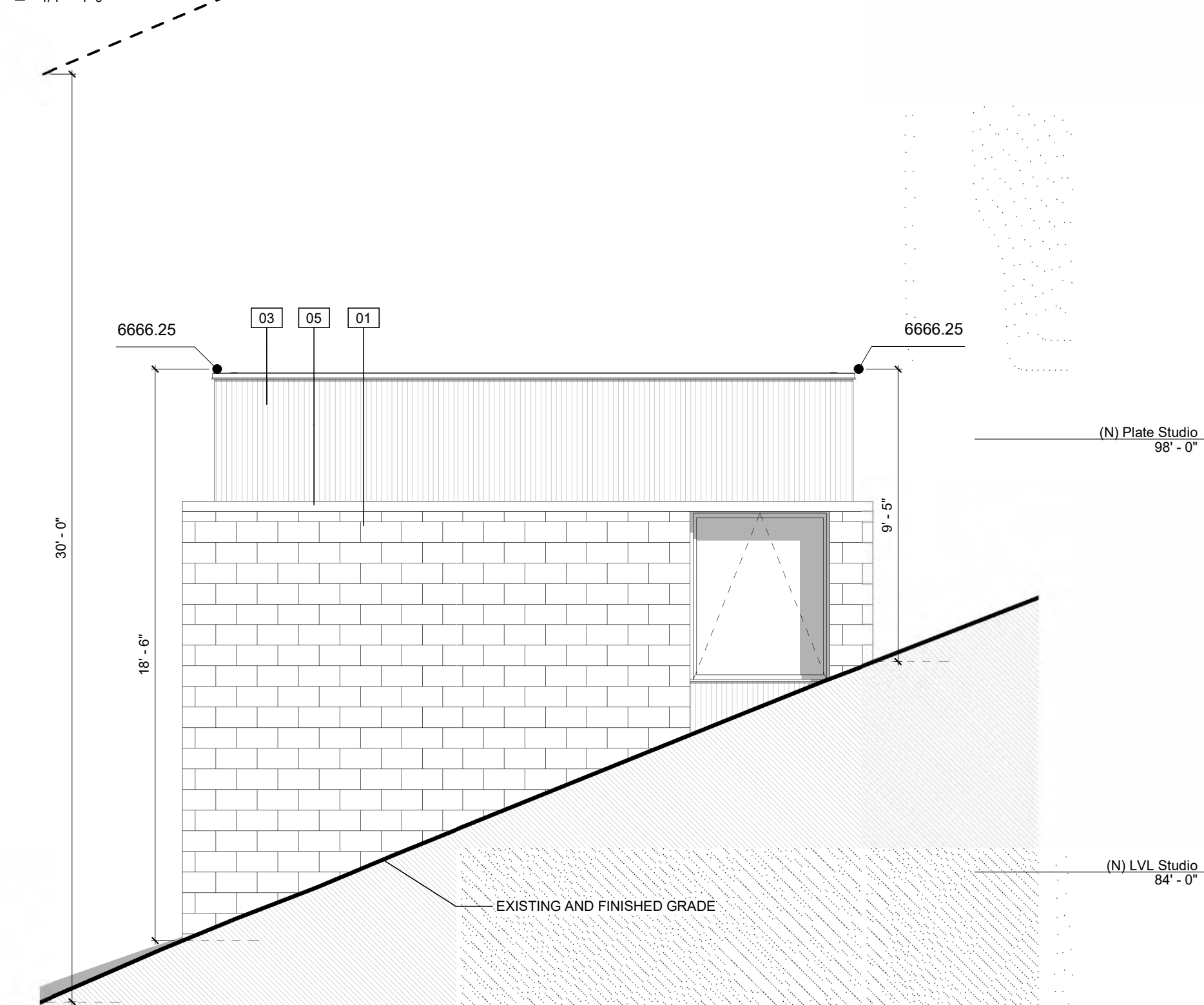
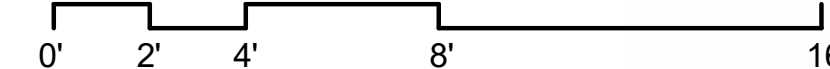
3 SPR_NORTH ELEVATION - STUDIO
1/4" = 1'-0"



4 SPR_WEST ELEVATION - STUDIO
1/4" = 1'-0"



2 SPR_SOUTH ELEVATION - STUDIO
1/4" = 1'-0"



1 SPR_EAST ELEVATION - STUDIO
1/4" = 1'-0"

LIMITED IMPACT SPECIAL USE REVIEW (LISR)

FOR
695 CUTTER LANE
 BOULDER, COUNTY, COLORADO

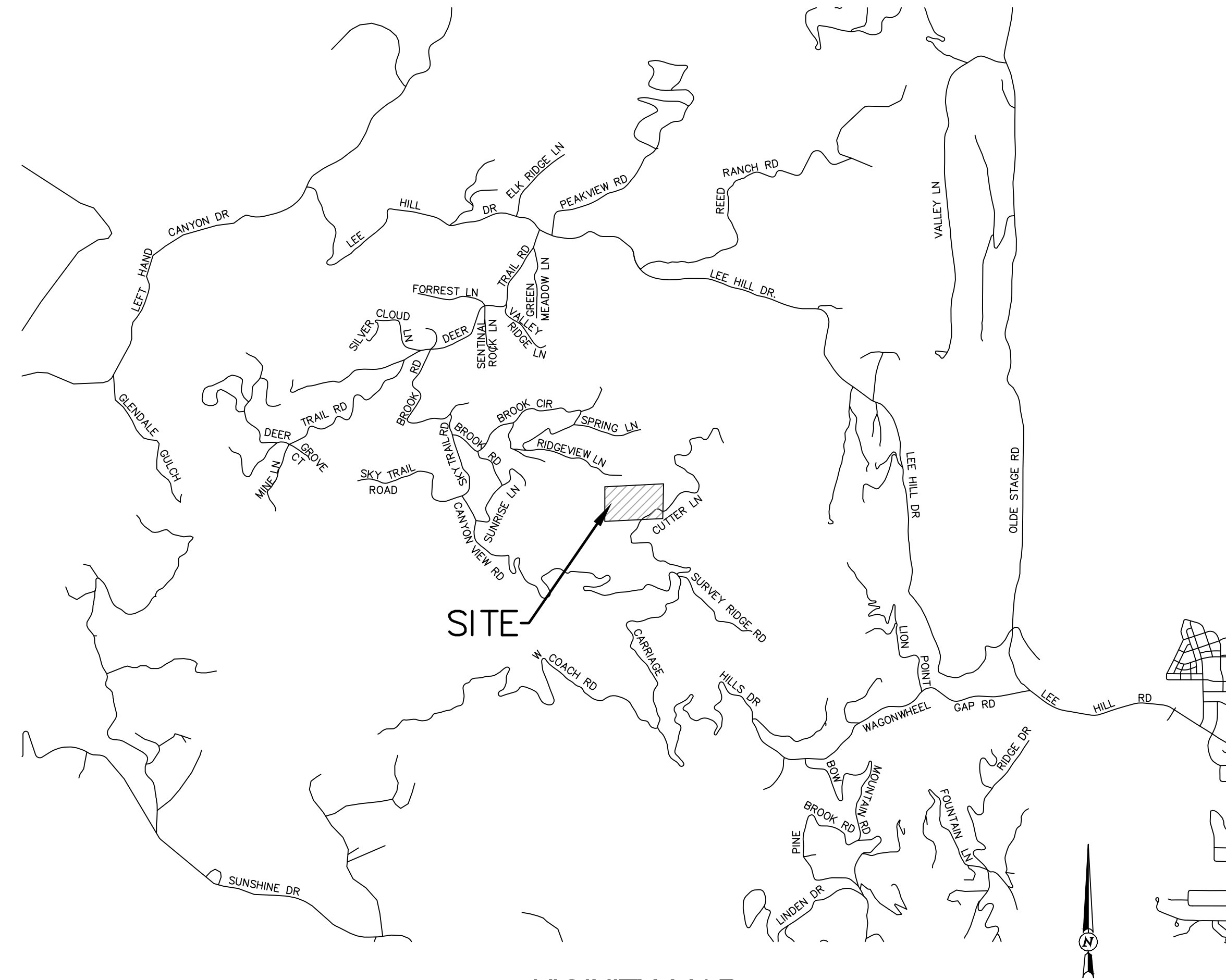
GENERAL NOTES

(APPLIES TO ALL SHEETS)

1. BENCH MARK: A GPS DERIVED ELEVATION WAS ESTABLISHED AT AN ONSITE BENCHMARK NEAR THE INTERSECTION OF CUTTER LANE AND THE SOUTH PROPERTY LINE OF SUBJECT PROPERTY, BEING A SET #5 REBAR WITH 1" ALUMINUM CAP MARKED "FLATIRONS SURV 1958B" WITH AN ELEVATION OF 6624.00 FEET. A CHECK SHOT, 0.1±, WAS TAKEN ON CITY OF BOULDER POINT K405-3-1, BEING A CHISELED CROSS ON BONNET BOLT ON A FIRE HYDRANT LOCATED 2 MILES FROM THE SITE, WITH A PUBLISHED ELEVATION OF 5643.57 FEET (NAVD88). NO DIFFERENTIAL LEVELING WAS PERFORMED TO ESTABLISH THIS ELEVATION.
2. THIS DRAWING IS BASED ON A SURVEY BY FLATIRONS INC. ALL WORK WAS COMPLETED 09/27/21.
3. ALL CUT AND FILL SLOPES IN SHALL BE MINIMUM OF 1.5:1.
4. ALL CONSTRUCTION SHALL CONFORM TO THE BOULDER COUNTY MULTIMODAL TRANSPORTATION STANDARDS (BCMNTS).

LEGAL DESCRIPTION

TRACT 37, CARRIAGE HILLS ESTATES, COUNTY OF BOULDER, STATE OF COLORADO.



VICINITY MAP
 SCALE: 1" = 2000'

LEGEND

- 8460 --- EXISTING CONTOUR
- 8460 — PROPOSED CONTOUR
- PROPOSED DITCH / SWALE
- HISTORIC SHEET FLOW
- PROPOSED FLOW DIRECTION
- PROPOSED STORM CULVERT WITH FLARED END SECTIONS (F.E.S.)
- SF/CF — SILT FENCE/CATCH FENCE (SF/CF)
- SEDIMENT CONTROL LOG (SCL)
- VEHICLE TRACKING CONTROL (VTC)

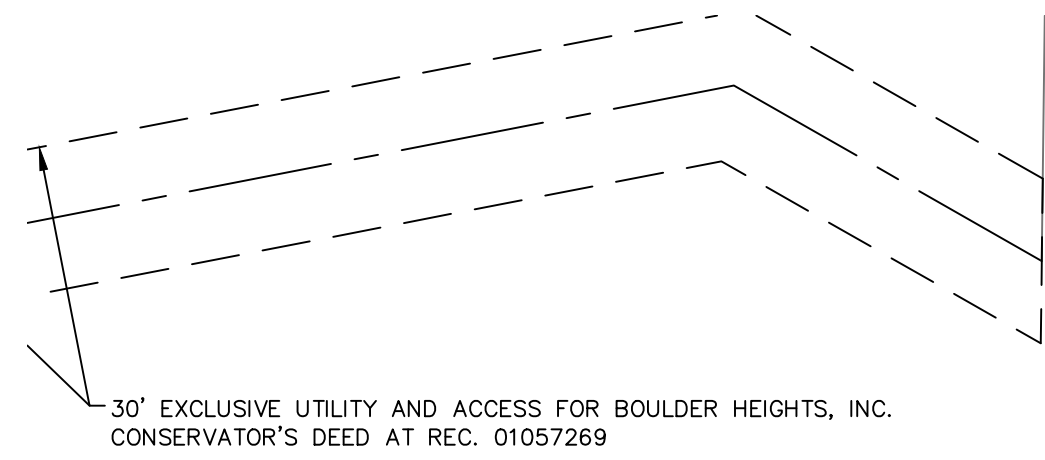
SHEET INDEX

COVER SHEET	C1.01
EXISTING CONDITIONS PLAN	C2.01
DRIVEWAY PLAN AND PROFILE	C3.01
STORMWATER MANAGEMENT PLAN	C4.01
DRIVEWAY SECTIONS	C5.01
CIVIL DETAILS	C6.01
CIVIL DETAILS	C6.02

COVER SHEET
695 CUTTER LANE
 BOULDER COUNTY, COLORADO

SCOTT, COX & ASSOCIATES, INC.
 consulting engineers • surveyors
 1530 55th Street • Boulder, Colorado 80303
 (303) 444 - 3051

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Drawn by	MRF	Revision		Description		Date		Project no.	22125A
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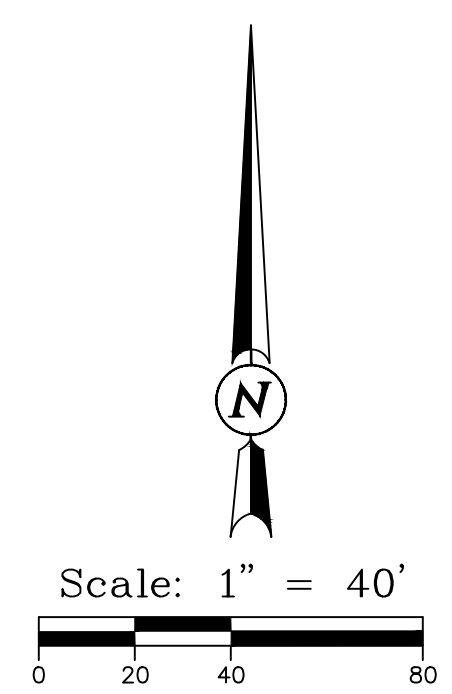
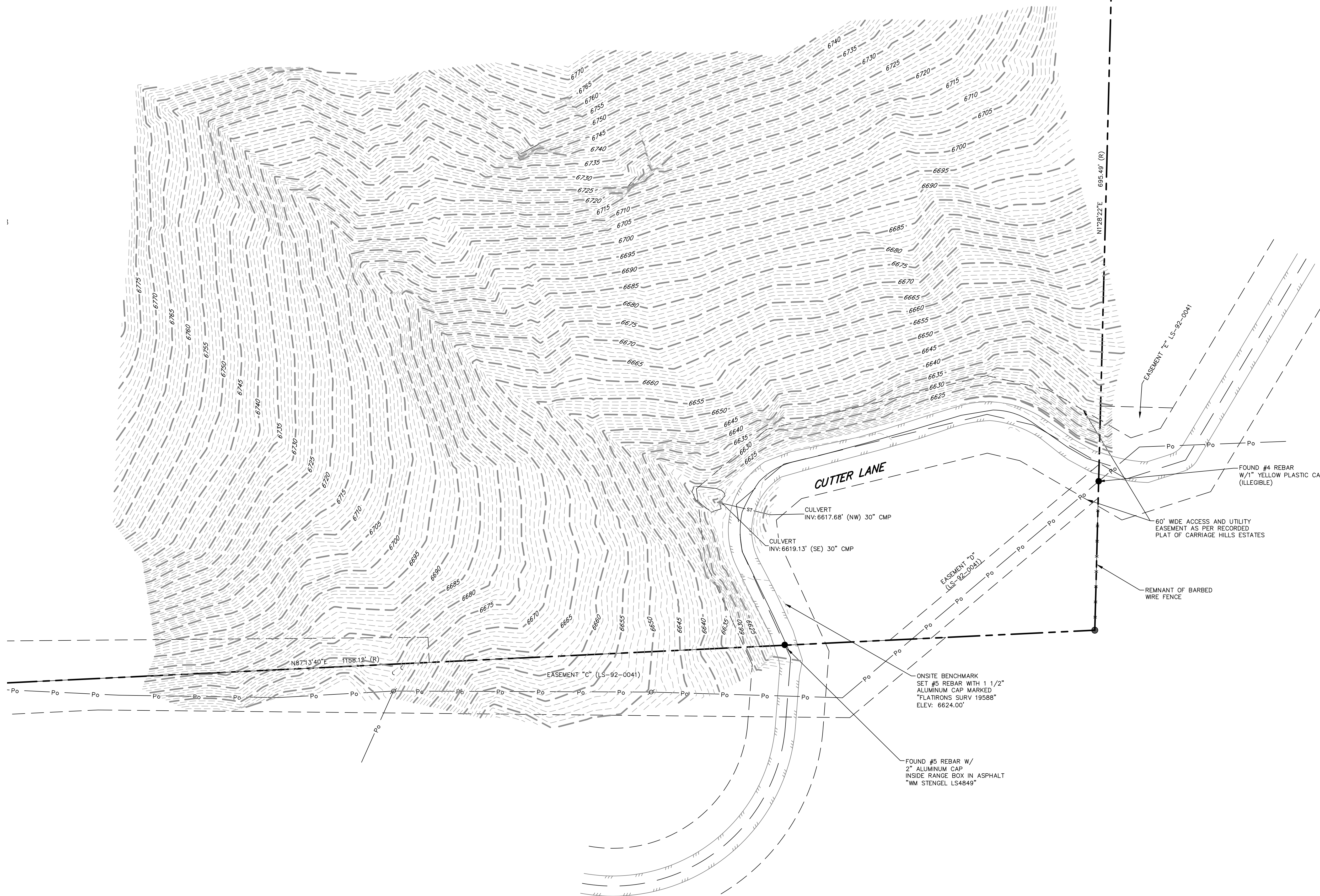


LEGEND

- 6700 EXISTING CONTOUR
- EXISTING SWALE
- FOUND MONUMENT AS NOTED
- CONTROL POINT
- EXISTING POWER POLE
- EXISTING FENCE
- EXISTING OVERHEAD POWER LINE
- EXISTING STORM SEWER

NOTES

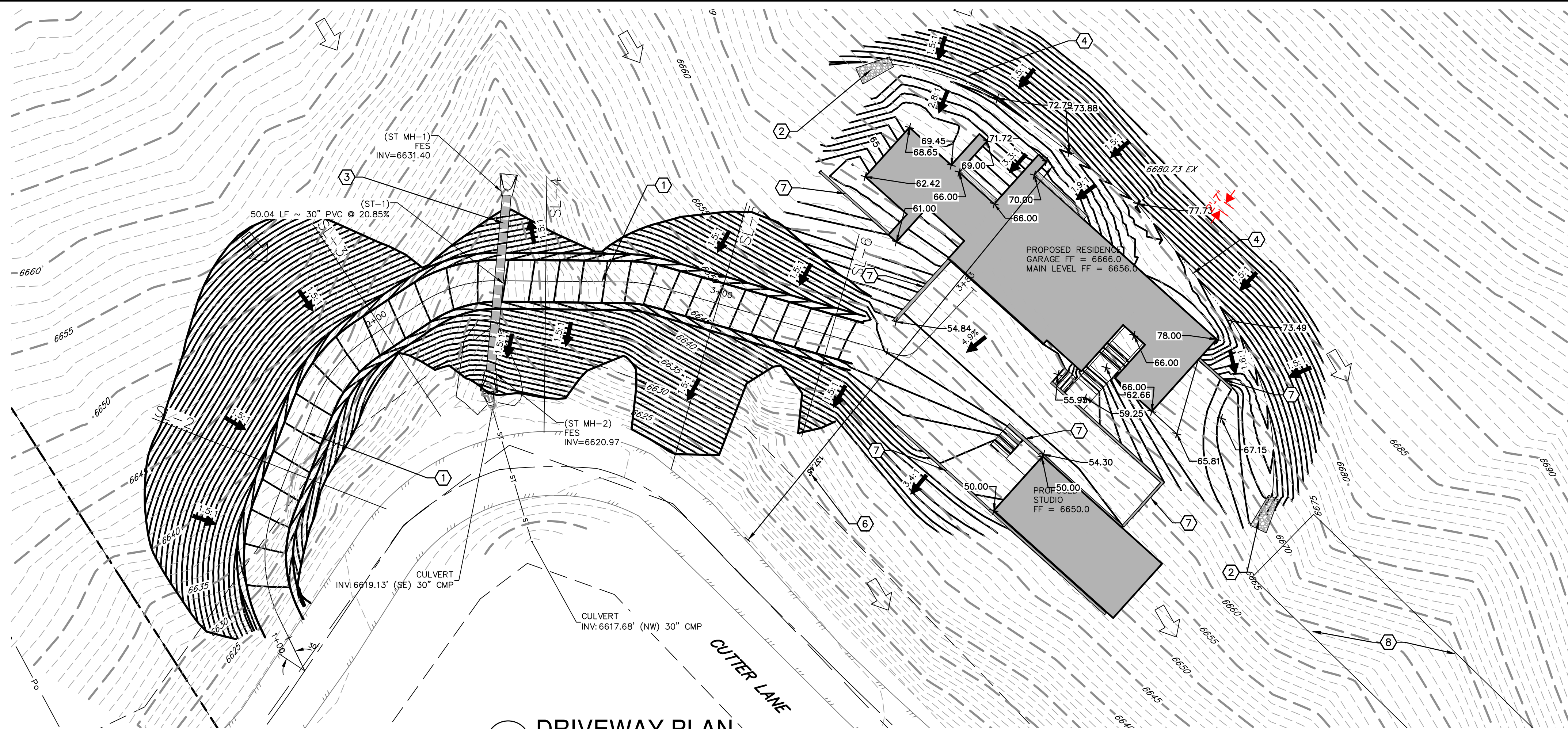
1. BENCHMARK INFORMATION: A GPS DERIVED ELEVATION WAS ESTABLISHED AT AN ONSITE BENCHMARK NEAR THE INTERSECTION OF CUTTER LANE AND THE SOUTH PROPERTY LINE OF SUBJECT PROPERTY, BEING A SET #5 REBAR WITH 1 1/2" ALUMINUM CAP MARKED "FLATRONS SURV 19588" WITH AN ELEVATION OF 6624.00 FEET. A CHECK SHOT, 0.1", WAS TAKEN ON CITY OF BOULDER POINT K405-3-1, BEING A CHISELED CROSS ON BONNET BOLT ON A FIRE HYDRANT LOCATED 2 MILES FROM SITE, WITH A PUBLISHED ELEVATION OF 5643.57 FEET (NAVD88). NO DIFFERENTIAL LEVELING WAS PERFORMED TO ESTABLISH THIS ELEVATION.
2. THE LOCATION OF THE ABOVE GROUND UTILITIES SHOWN HEREON ARE BASED ON THE FIELD SURVEY BY FLATRONS, INC. THE LOCATIONS OF THE UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON SAID SURVEY AND INFORMATION PROVIDED BY OTHERS (WHICH MAY INCLUDE THE UTILITY OWNER OR UTILITY LOCATING SERVICES). SCOTT, COX & ASSOCIATES, INC. IS NOT RESPONSIBLE FOR UTILITY INFORMATION PROVIDED BY OTHERS. SCOTT, COX & ASSOCIATES, INC. RECOMMENDS THAT THE LOCATION OF THE UTILITIES BE FIELD VERIFIED PRIOR TO ANY DIGGING ON, OR ADJACENT TO THE SUBJECT PROPERTY.
3. THIS DRAWING IS BASED ON A FIELD SURVEY BY FLATRONS, INC. DONE SEPTEMBER 27, 2021.



**EXISTING CONDITIONS PLAN
695 CUTTER LANE
BOULDER, COLORADO**

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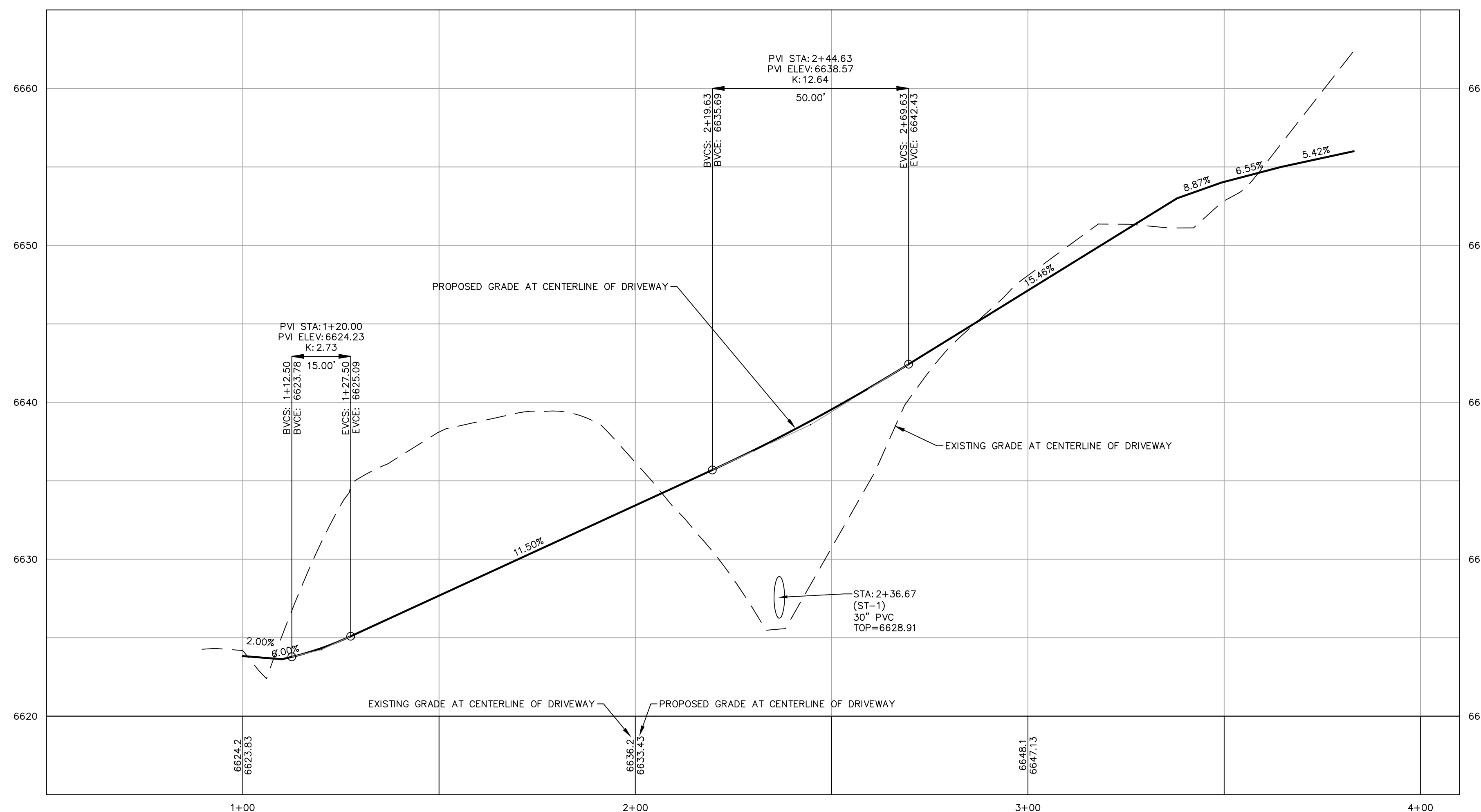
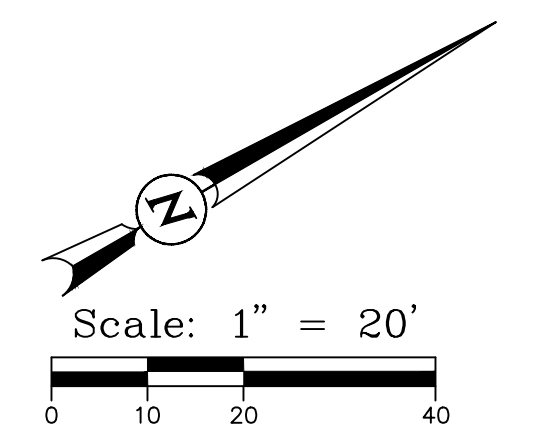
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Checked by	DPA								



1 DRIVEWAY PLAN
SCALE: 1" = 20'

KEYED NOTES ①

1. PROPOSED DRIVEWAY.
2. PROPOSED RIPRAP RUNDOWN.
3. PROPOSED CMP CULVERT.
4. PROPOSED DIVERSION SWALE. HOUSE HAS A PROPOSED GREEN ROOF (SEE ARCHITECTURAL PLANS). IT IS ANTICIPATED THAT RUNOFF FROM BELOW THE SWALE WILL REACH THE ROOF.
5. PROPOSED FRENCH DRAIN TO ALLEVIATE RUNOFF REACHING HOUSE.
6. DISTANCE FROM CUTTER LANE TO BACK OF HOUSE FOR FIREFIGHTING.
7. PROPOSED RETAINING WALL. BUILDING PERMITS WILL BE OBTAINED FOR ALL RETAINING WALLS OVER 4' IN TOTAL HEIGHT (INCLUDING FOUNDATION).
8. PROPOSED SEPTIC FIELD.



1 DRIVEWAY PROFILE
SCALE: HORIZ. 1" = 20'
VERT. 1" = 5'

**DRIVEWAY PLAN AND PROFILE
695 CUTTER LANE
BOULDER, COLORADO**

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STORM WATER QUALITY NOTES

1. STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES SHALL NOT CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION OR DEGRADATION OF WATERS OF THE STATE.
2. ALL TEMPORARY EROSION CONTROL FACILITIES SHALL BE INSTALLED BEFORE ANY CONSTRUCTION ACTIVITIES TAKE PLACE.
3. READY-MIXED CONCRETE, OR ANY MATERIALS RESULTING FROM THE CLEANING OF VEHICLES OR EQUIPMENT CONTAINING SUCH MATERIALS OR USED IN TRANSPORTING OR APPLYING READY-MIXED CONCRETE, SHALL BE CONTAINED ON CONSTRUCTION SITES FOR PROPER DISPOSAL. RELEASE OF THESE MATERIALS FROM THE SITE IS PROHIBITED.
4. THE CONTRACTOR SHALL MAINTAIN THE CONSTRUCTION SITE IN ACCORDANCE WITH THE SWMP AND SHALL PERFORM SITE INSPECTIONS AT LEAST EVERY 14 DAYS AND WITHIN 24 HOURS AFTER ANY PRECIPITATION OR SNOWMELT EVENT. INSPECTION RECORDS SHALL BE LOGGED AND KEPT ON FILE. BASED ON THE INSPECTION RESULTS, THE STORMWATER MANAGEMENT CONTROLS SHALL BE REVISED OR MODIFIED, CONSISTENT WITH THE SWMP. MODIFICATION OF CONTROL MEASURES SHALL BE IMPLEMENTED IN A TIMELY MANNER AND IN NO CASE MORE THAN 7 CALENDAR DAYS FROM THE SITE INSPECTION.
5. ALL BUILDING MATERIALS AND WASTES MUST BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF PROPERLY. NO BUILDING MATERIALS, WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE.
6. WHENEVER POSSIBLE, CONSTRUCTION MATERIALS SHALL BE RECYCLED. ALL OTHER WASTE SHOULD BE DISPOSED OF APPROPRIATELY IN ACCORDANCE WITH COLORADO STATE REGULATIONS. MEASURES SHALL BE PLANNED AND IMPLEMENTED FOR HOUSEKEEPING, MATERIALS MANAGEMENT, AND LITTER CONTROL. CONSTRUCTION WASTE MATERIALS INCLUDE BUT ARE NOT LIMITED TO; EXCESS SOIL MATERIALS, E&S CONTROL CONSTRUCTION MATERIALS, CONCRETE WASH WATER, SANITARY WASTES (INCLUDING LITTER, TRASH, PORTABLE SEWAGE STORAGE), ETC. THAT COULD ADVERSELY IMPACT WATER QUALITY AND ADJACENT PROPERTIES.

REVEGETATION NOTES

1. TO THE EXTENT PRACTICABLE, EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO GRADING ACTIVITIES. AT ALL TIMES DURING PROJECT CONSTRUCTION, ALL TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AND REPAIRED AS NEEDED TO PREVENT ACCELERATED EROSION ON THE SITE AND ANY ADJACENT PROPERTIES.
2. SILT FENCE SHALL BE INSTALLED PRIOR TO ANY EARTHWORK OPERATIONS.
3. ALL TOPSOIL, WHERE PHYSICALLY PRACTICABLE, SHALL BE SALVAGED AND NO TOPSOIL SHALL BE REMOVED FROM THE SITE. TOPSOIL AND OVERBURDEN SHALL BE SEGREGATED AND STOCKPILED SEPARATELY. TOPSOIL AND OVERBURDEN SHALL BE REDISTRIBUTED WITHIN THE GRADED AREA AFTER ROUGH GRADING TO PROVIDE A SUITABLE BASE FOR AREAS WHICH WILL BE SEEDED AND PLANTED. RUNOFF FROM STOCKPILED AREA SHALL BE CONTROLLED TO PREVENT EROSION AND RESULTANT SEDIMENTATION OF RECEIVING WATER.
4. PERMANENT SOIL STABILIZATION MEASURES SHALL BE APPLIED TO DISTURBED AREAS AND STOCKPILES WITHIN 14 DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION MEASURES SHALL BE APPLIED WITHIN 14 DAYS TO DISTURBED AREAS WHICH MAY NOT BE AT FINAL GRADE, BUT WILL BE LEFT DORMANT FOR LONGER THAN 60 DAYS.

TEMPORARY SOIL STABILIZATION SHALL CONSIST OF SEEDING WITH ANNUAL RYEGRASS AT 40 LBS PLS/ACRE AND SHALL BE HYDROMULCHED WITH A WOOD FIBER AND TACKIFIER AT 1 TON/ACRE.

PERMANENT SOIL STABILIZATION CONSISTING OF THE MIX NOTED BELOW SHALL BE BROADCAST SEEDING AT THE SEEDING RATES SHOWN BELOW.

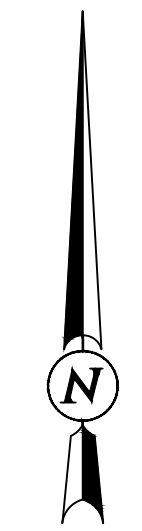
BOULDER COUNTY FOOTHILLS SEED MIX

COMMON NAME	SPECIES NAME	VARIETY	% OF MIX	# PLS/AC
SIDE OATS GRAMA	BOUTELOUA CURTIPENDULA	VAUGHN	10%	1.82
BLUE GRAMA	BOUTELOUA GRACILIS	NATIVE,ALMA, OR HACHITA	15%	0.63
SLENDER WHEATGRASS	ELYMUS TRACHYCAULUS	SAN LUIS	20%	4.38
JUNEGRASS	KOELERIA MACRANTHA	NATIVE	10%	0.15
WESTERN WHEATGRASS	PASCOPYRUM SMITHII	ARRIBA	10%	3.17
WESTERN WHEATGRASS	PASCOPYRUM SMITHII	NATIVE	10%	3.17
SWITCHGRASS	PANICUM VIRGATUM	BLACKWELL OR NEBRASKA 28	7%	0.63
LITTLE BLUESTEM	SCHIZACHYRIUM SCOPARIUM	CIMARRON OR PASTURA	8%	1.07
GREEN NEEDLEGRASS	STIPA VIRIDULA	LODORM OR NATIVE	10%	1.93
TOTALS:			100%	16.95

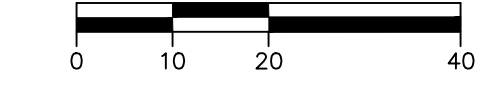
THE SEEDING AREA SHALL THEN BE LIGHTLY RAKED TO DEPOSIT THE SEEDS APPROXIMATELY 1/4" - 1/2" BELOW THE SURFACE. IMMEDIATELY FOLLOWING SEEDING, ALL SEEDING AREAS SHALL BE MULCHED WITH 1 - 1/2 TONS OF WEED-FREE STRAW PER ACRE, MECHANICALLY OR HAND CRIMPED INTO TOPSOIL.

FUGITIVE DUST EMISSIONS RESULTING FROM GRADING ACTIVITIES AND/OR WIND SHALL BE CONTROLLED USING THE BEST AVAILABLE CONTROL TECHNOLOGY AS DEFINED BY THE COLORADO DEPARTMENT OF HEALTH AT THE TIME OF GRADING.

5. MINIMIZE THE AREA OF DISTURBANCE TO PROTECT EXISTING VEGETATION.
6. ALL CUT SLOPES SHALL BE A MAXIMUM OF 1.5:1. ALL FILL SLOPES SHALL BE A MAXIMUM OF 1.5:1.
7. ALL EROSION CONTROL MEASURES SHALL BE INSPECTED AFTER ALL STORM EVENTS, ANY EROSION CONTROL MEASURES WHICH ARE DAMAGED PRIOR TO RE-ESTABLISHMENT OF VEGETATIVE COVER SHALL BE REPLACED IMMEDIATELY.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL TEMPORARY EROSION CONTROL DEVICES AFTER THE ESTABLISHMENT OF FULL VEGETATION, INCLUDING BUT NOT LIMITED TO SILT FENCE AND POSTS, STRAW BALES, AND REGRADING TEMPORARY SEDIMENT BASINS.



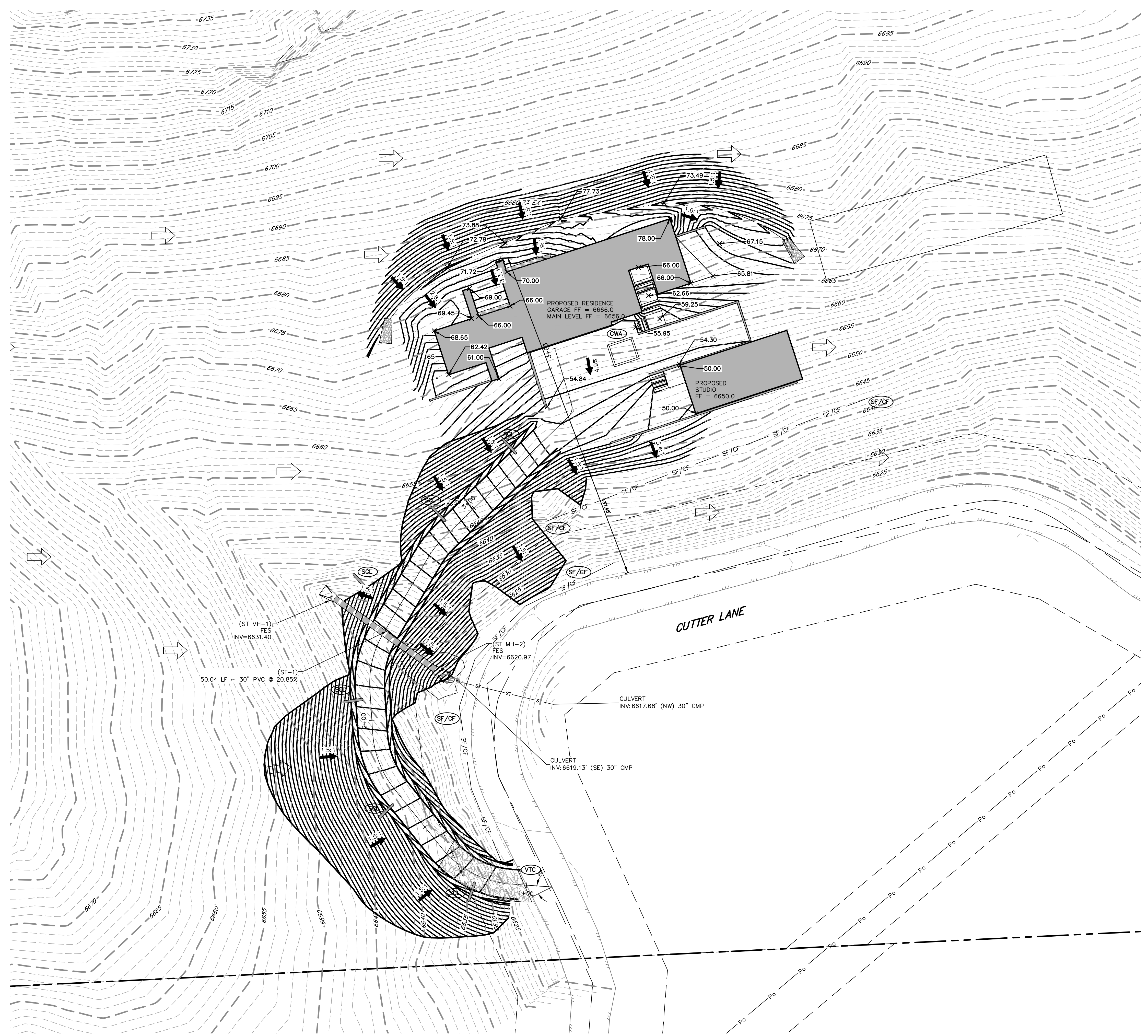
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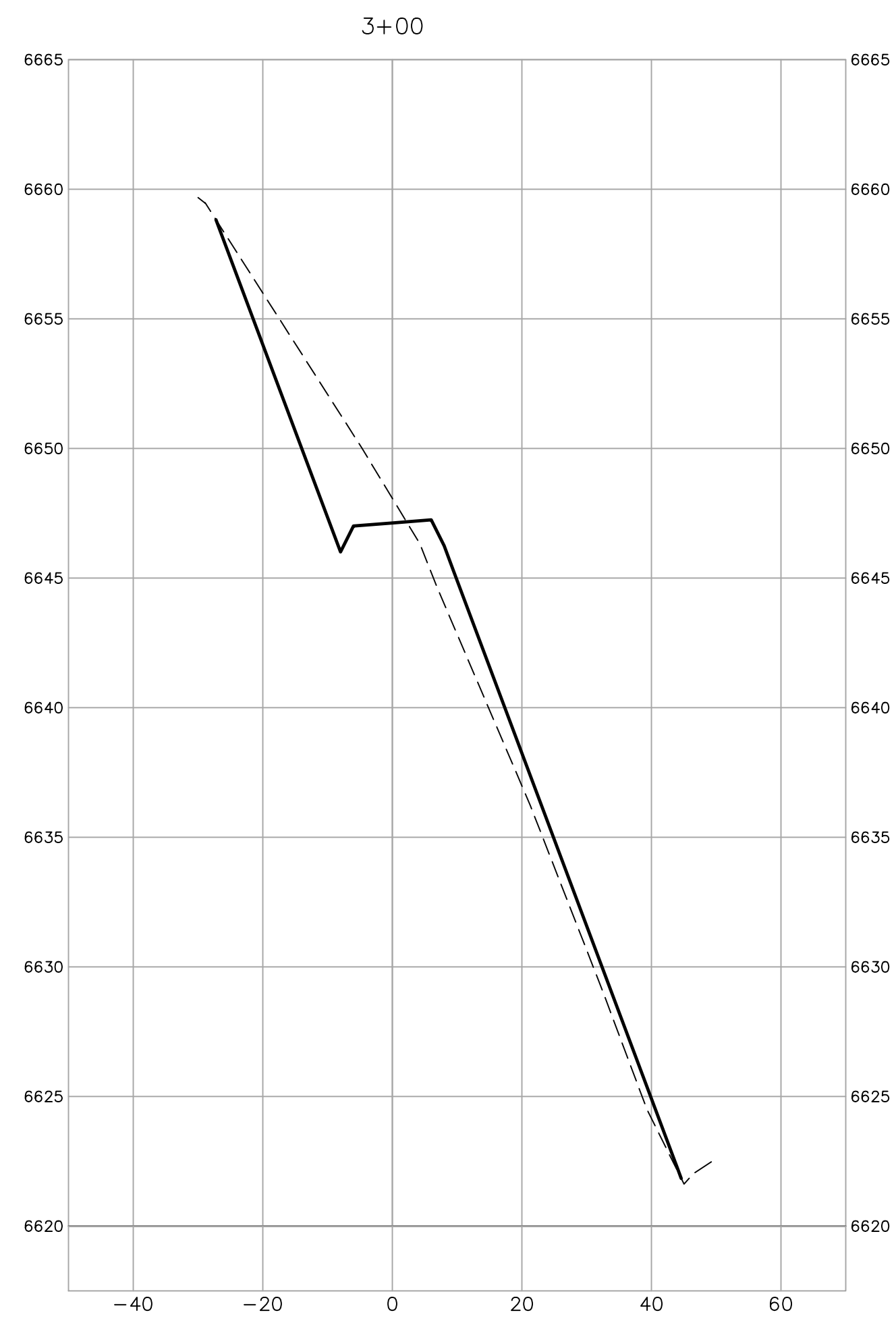
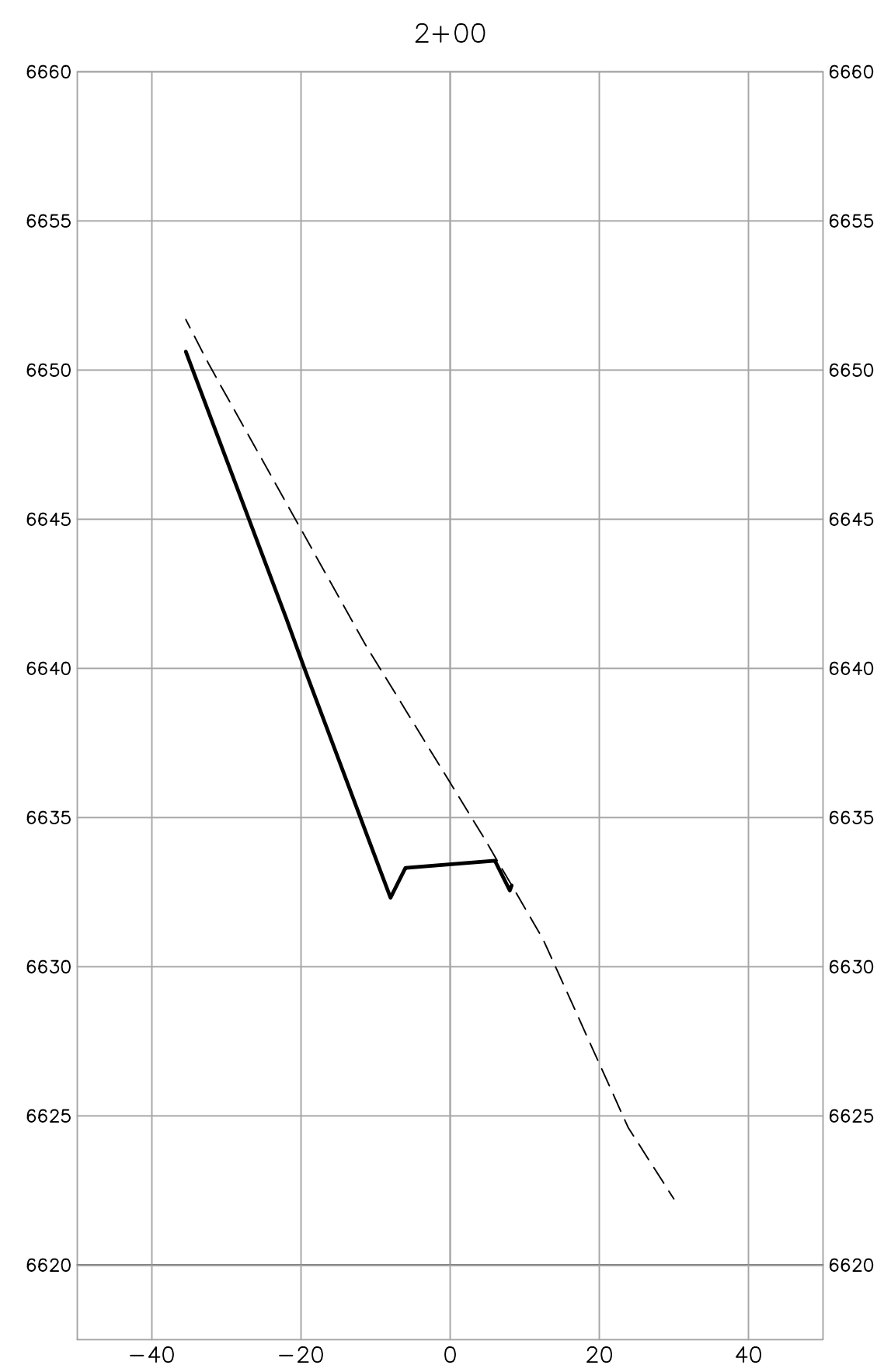
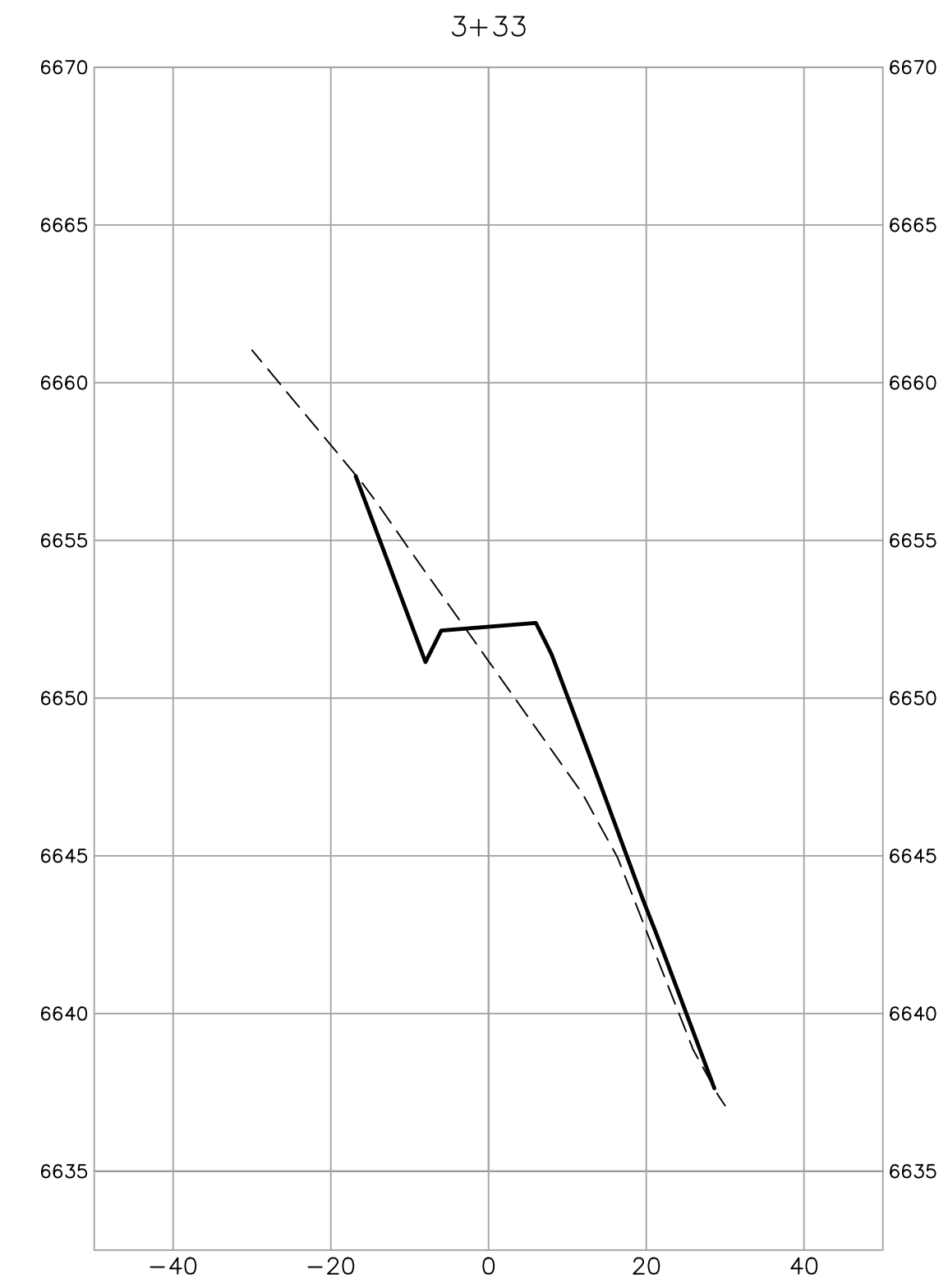
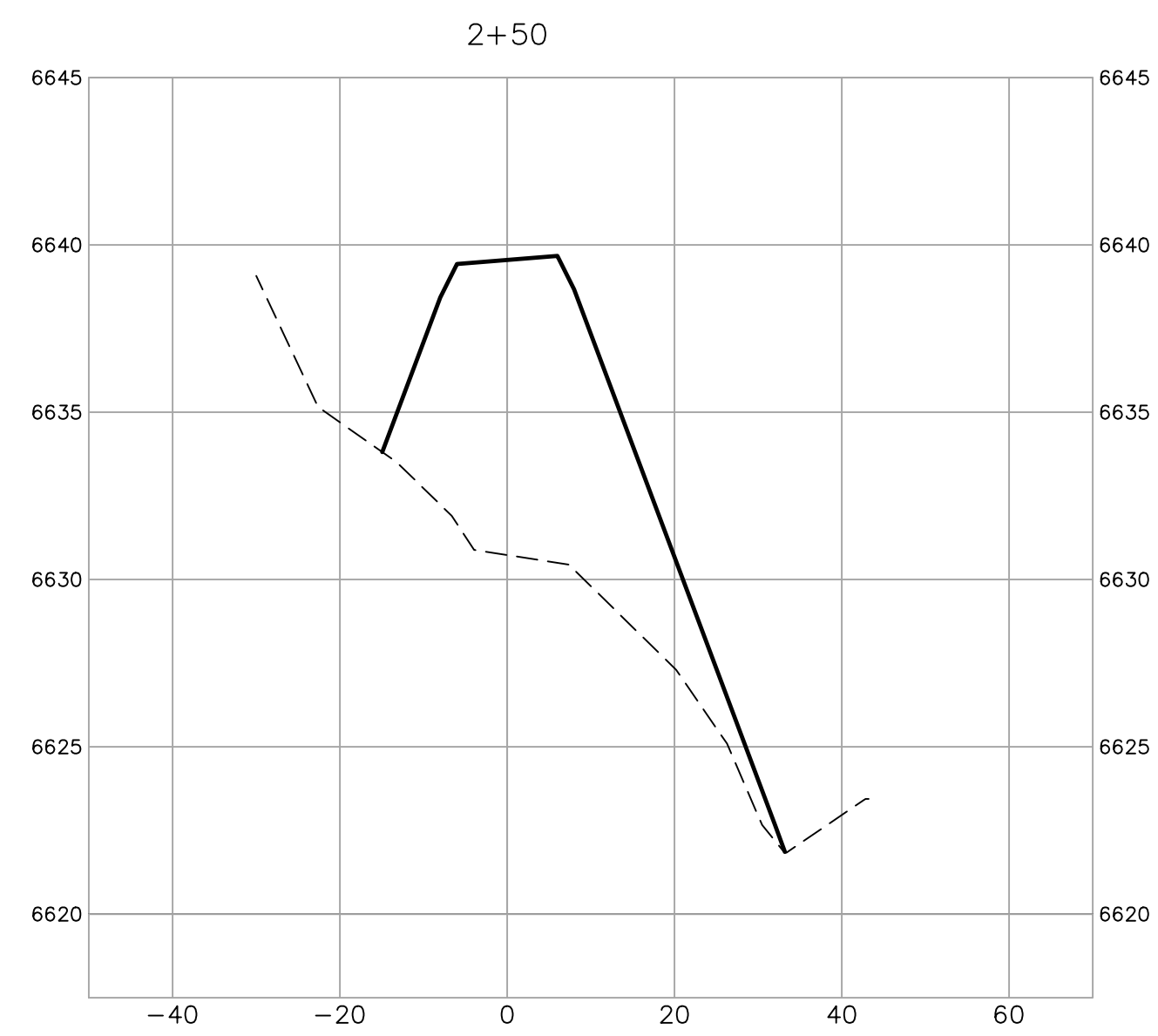
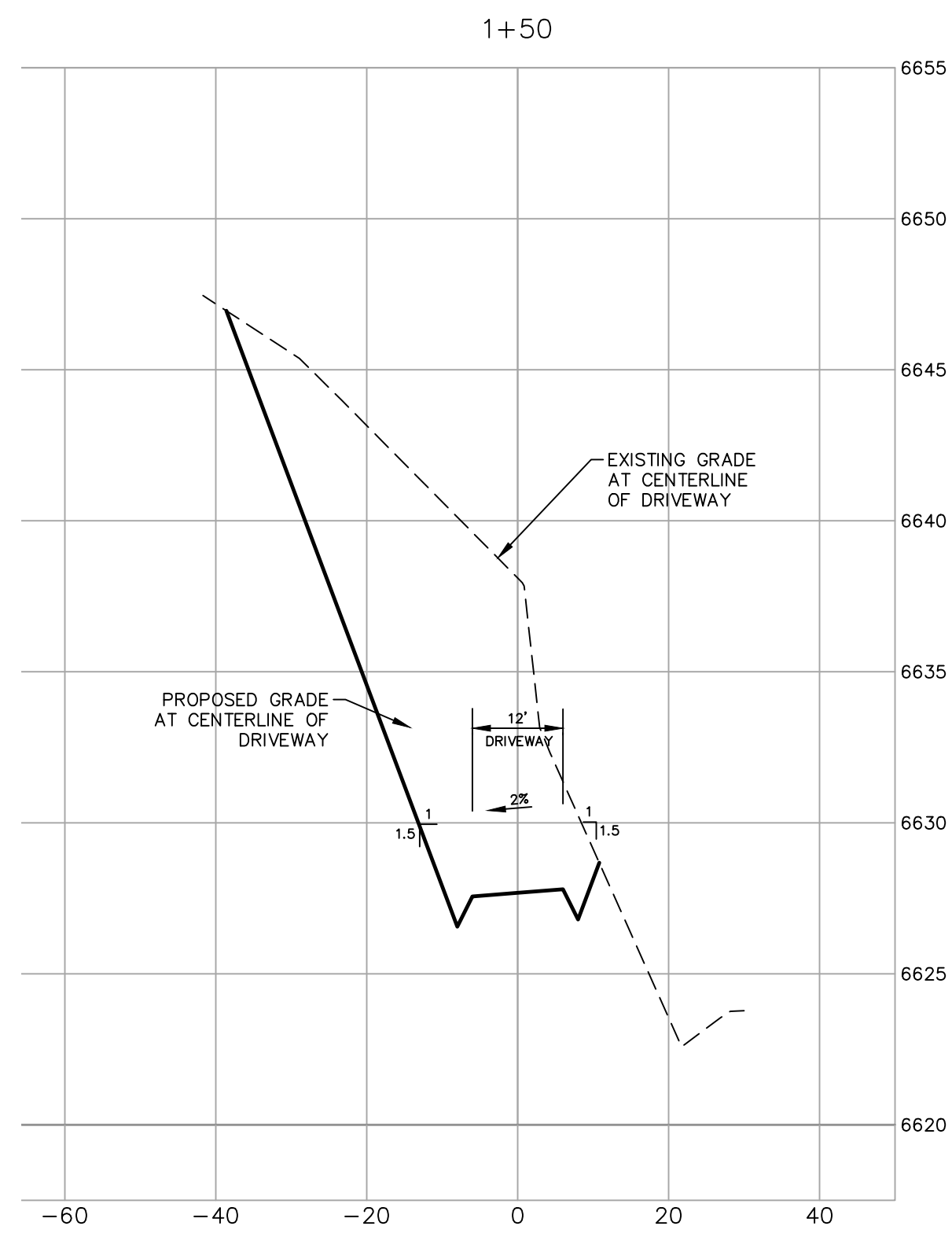


STORMWATER MANAGEMENT PLAN 695 CUTTER LANE BOULDER, COLORADO

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(303) 444 - 3051

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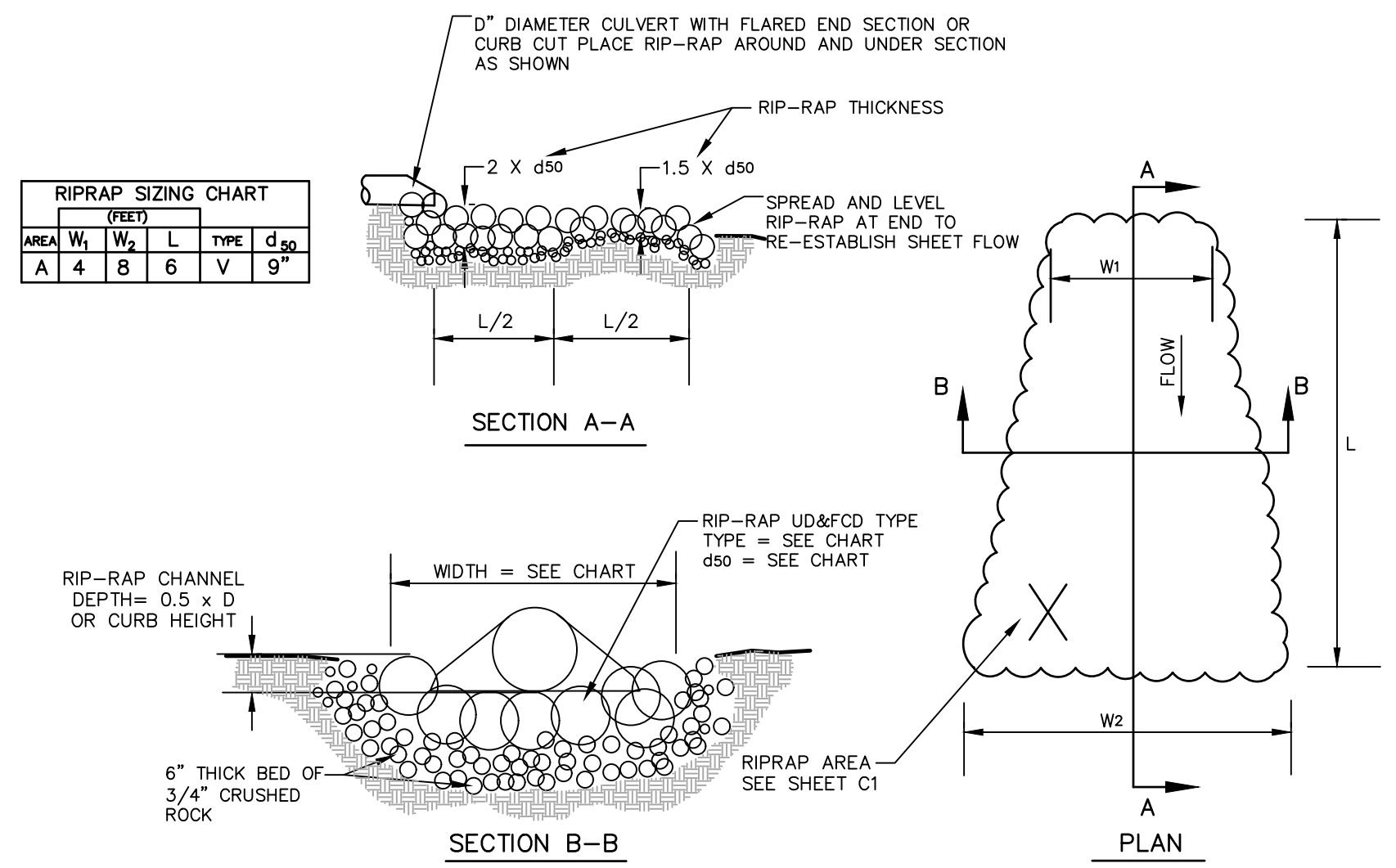




DRIVEWAY CROSS SECTIONS
695 CUTTER LANE
BOULDER, COLORADO

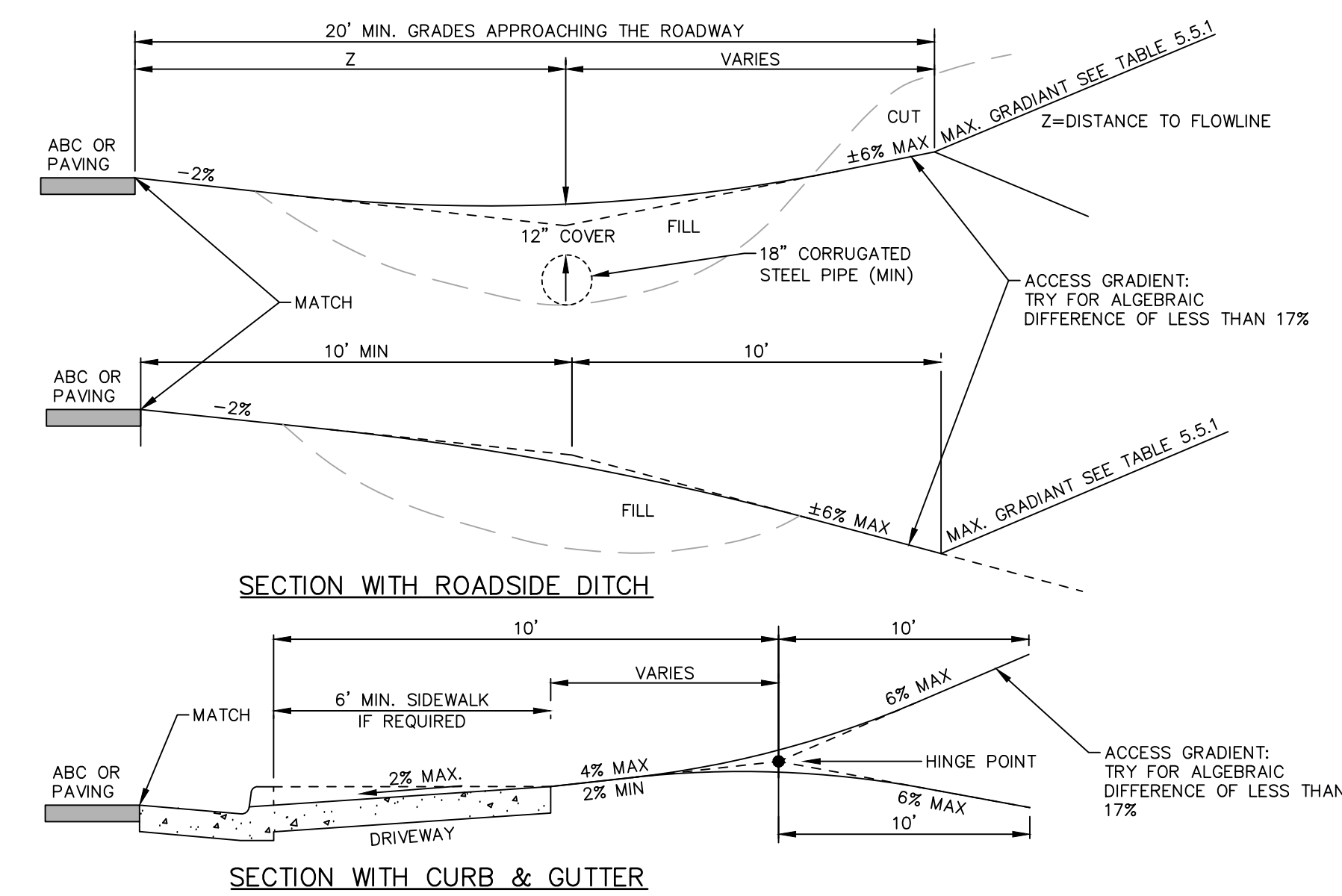


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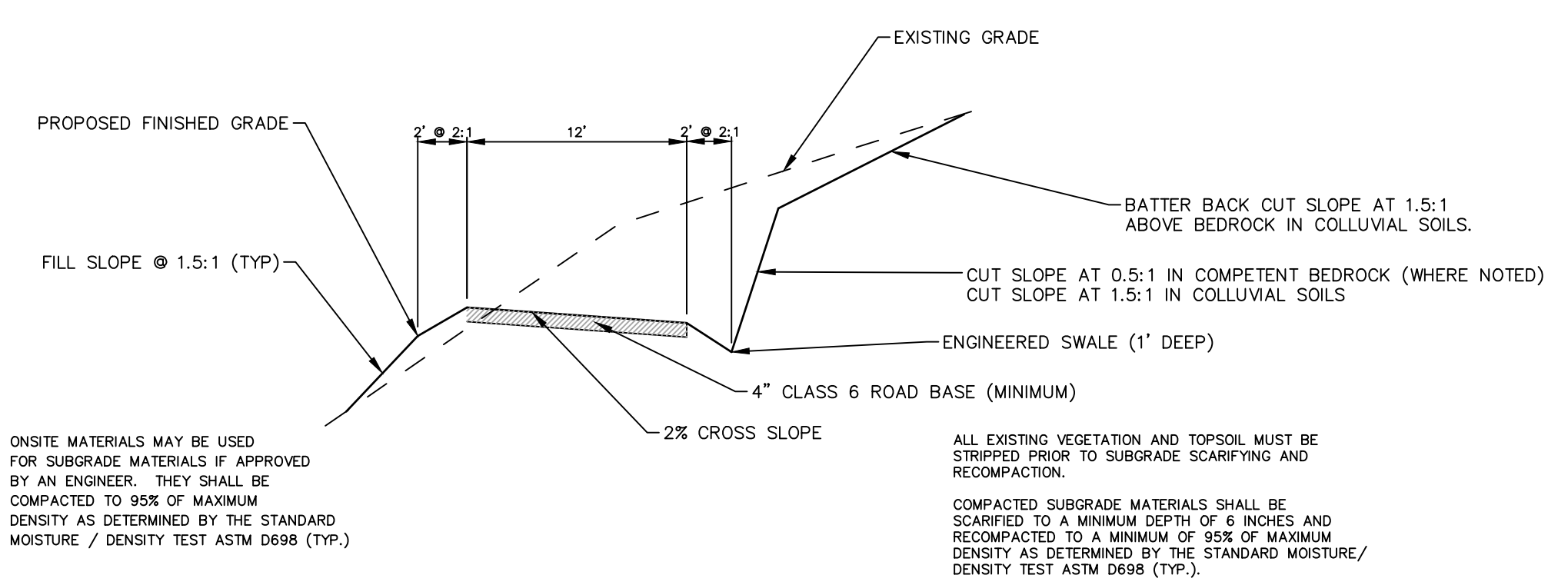


- NOTES:
1. STONE SHALL BE PLACED HOMOGENEOUSLY AND TO THE FULL COURSE THICKNESS IN ONE OPERATION; DISPLACEMENT OF UNDERLYING MATERIAL SHALL BE AVOIDED.
 2. QUALITY, AND PLACEMENT OF RIPRAP SHALL CONFORM TO SECTION 506 OF CDOT'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
 3. 3/4" CRUSHED ROCK SHALL CONFORM TO CDOT CLASS A FILTER MATERIAL (SECTION 703.09 CLASS A). PER UD & FOD REQUIREMENTS.
 4. RIPRAP DESIGN BASED ON THE 10 YEAR STORM EVENT PER BOULDER COUNTY STANDARDS.

1 RIPRAP RUNDOWN DETAIL
SCALE: N.T.S.



2 ACCESS PROFILES DETAIL
SCALE: N.T.S.

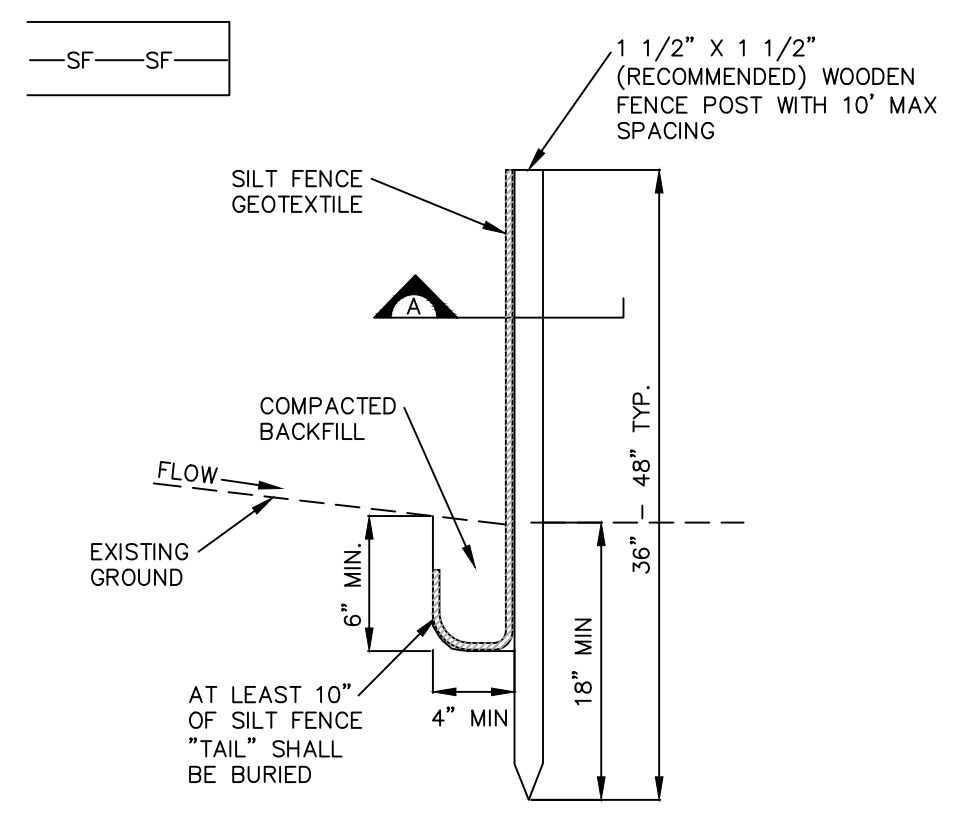


TYPICAL DRIVEWAY SECTION
N.T.S.

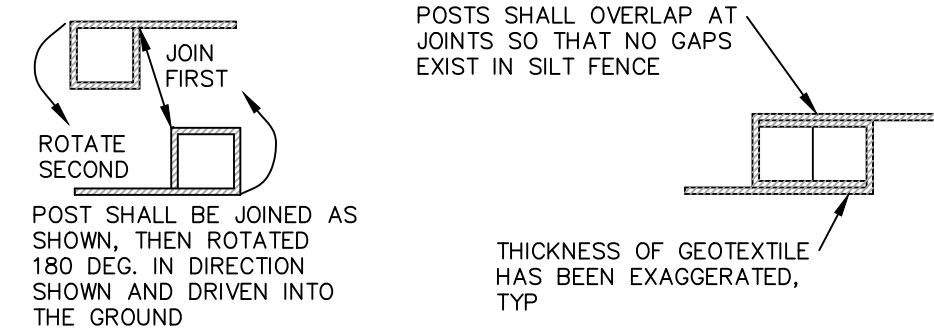
CIVIL DETAILS
695 CUTTER LANE
BOULDER, COLORADO

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SILT FENCE



SECTION A

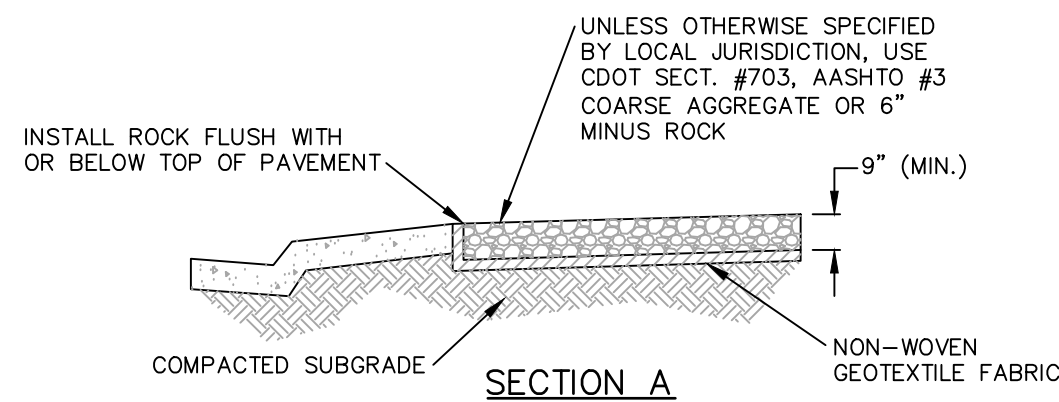
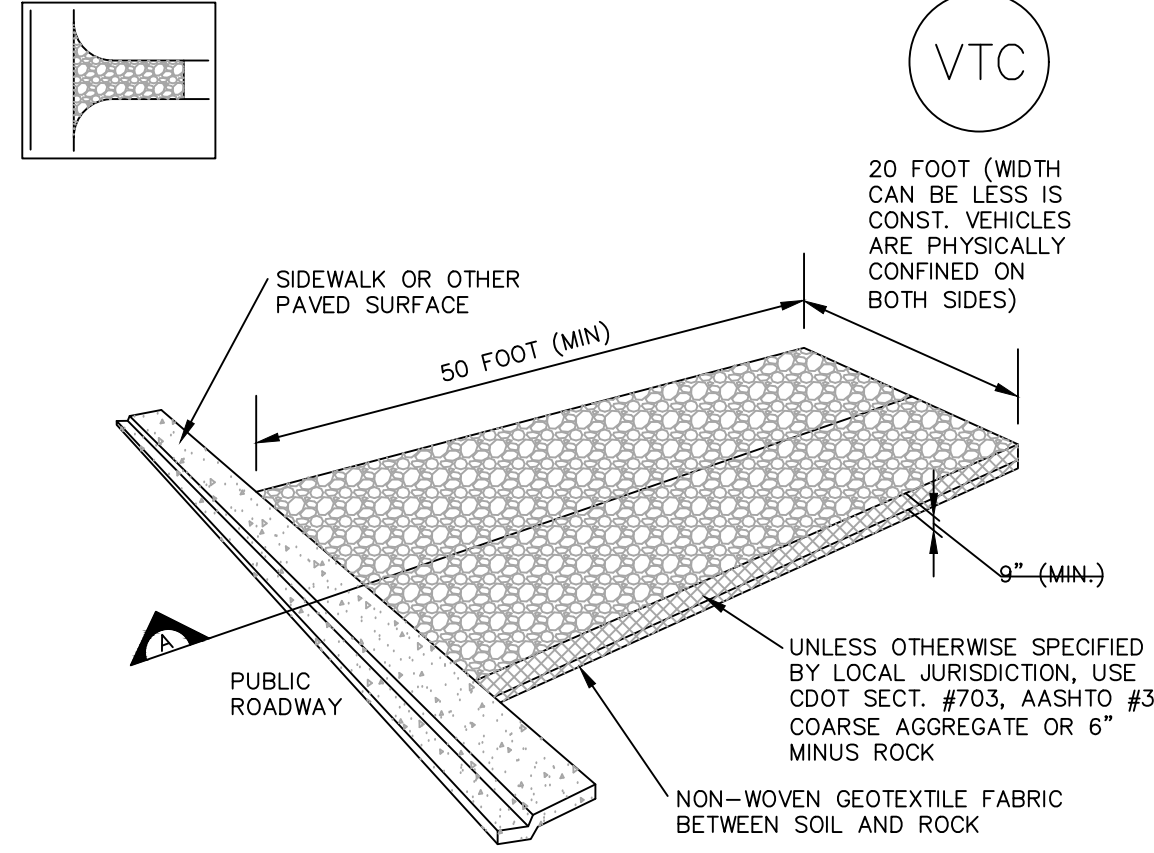
SF-1. SILT FENCE

SILT FENCE INSTALLATION NOTES

- SILT FENCE MUST BE PLACED AWAY FROM THE TOE OF THE SLOPE TO ALLOW FOR WATER PONDING. SILT FENCE AT THE TOE OF A SLOPE SHOULD BE INSTALLED IN A FLAT LOCATION AT LEAST SEVERAL FEET (2-5 FT) FROM THE TOE OF THE SLOPE TO ALLOW ROOM FOR PONDING AND DEPOSITION.
- A UNIFORM 6" X 4" ANCHOR TRENCH SHALL BE EXCAVATED USING TRENCHER OR SILT FENCE INSTALLATION DEVICE. NO ROAD GRADERS, BACKHOES, OR SIMILAR EQUIPMENT SHALL BE USED.
- COMPACT ANCHOR TRENCH BY HAND WITH A "JUMPING JACK OR BY WHEEL ROLLING. COMPACTION SHALL BE SUCH THAT SILT FENCE RESISTS BEING PULLED OUT OF ANCHOR TRENCH BY HAND.
- SILT FENCE SHALL BE PULLED TIGHT AS IT IS ANCHORED TO THE STAKES. THERE SHOULD BE NO NOTICEABLE SAG BETWEEN STAKES AFTER IT HAS BEEN ANCHORED TO THE STAKES.
- SILT FENCE FABRIC SHALL BE ANCHORED TO THE STAKES USING 1" HEAVY DUTY STAPLES OR NAILS WITH 1" HEADS. STAPLES AND NAILS SHOULD BE PLACED 3" ALONG THE FABRIC DOWN THE STAKE.
- AT THE END OF A RUN OF SILT FENCE ALONG A CONTOUR, THE SILT FENCE SHOULD BE TURNED PERPENDICULAR TO THE CONTOUR TO CREATE A "J-HOOK." THE "J-HOOK" EXTENDING PERPENDICULAR TO THE CONTOUR SHOULD BE OF SUFFICIENT LENGTH TO KEEP RUNOFF FROM FLOWING AROUND THE END OF THE SILT FENCE (TYPICALLY 10' - 20').
- SILT FENCE SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.

SILT FENCE MAINTENANCE NOTES

- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
- SEDIMENT ACCUMULATED UPSTREAM OF THE SILT FENCE SHALL BE REMOVED AS NEEDED TO MAINTAIN THE FUNCTIONALITY OF THE BMP, TYPICALLY WHEN DEPTH OF ACCUMULATED SEDIMENTS IS APPROXIMATELY 6".
- REPAIR OR REPLACE SILT FENCE WHEN THERE ARE SIGNS OF WEAR, SUCH AS SAGGING, TEARING, OR COLLAPSE.
- SILT FENCE IS TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND APPROVED BY THE LOCAL JURISDICTION, OR IS REPLACED BY AN EQUIVALENT PERIMETER SEDIMENT CONTROL BMP.
- WHEN SILT FENCE IS REMOVED, ALL DISTURBED AREAS SHALL BE COVERED WITH TOPSOIL, SEEDED AND MULCHED OR OTHERWISE STABILIZED AS APPROVED BY LOCAL JURISDICTION.



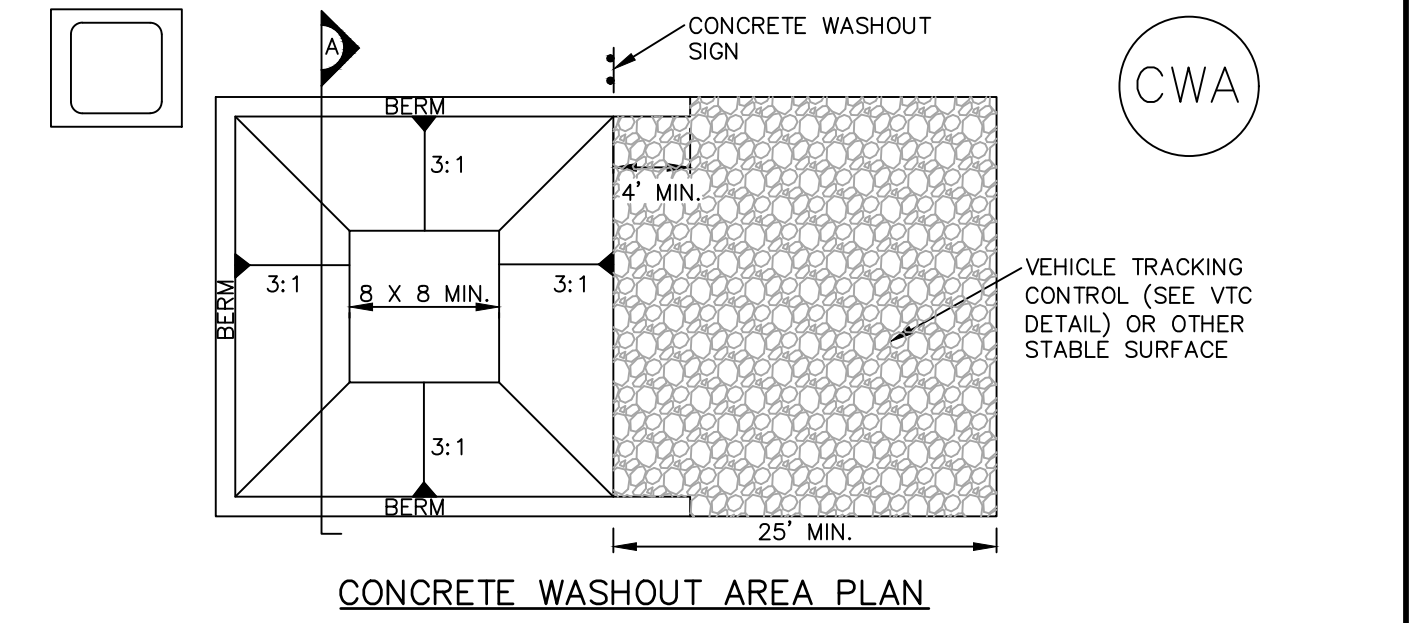
VTC-1. AGGREGATE VEHICLE TRACKING CONTROL

STABILIZED CONSTRUCTION ENTRANCE/EXIT INSTALLATION NOTES

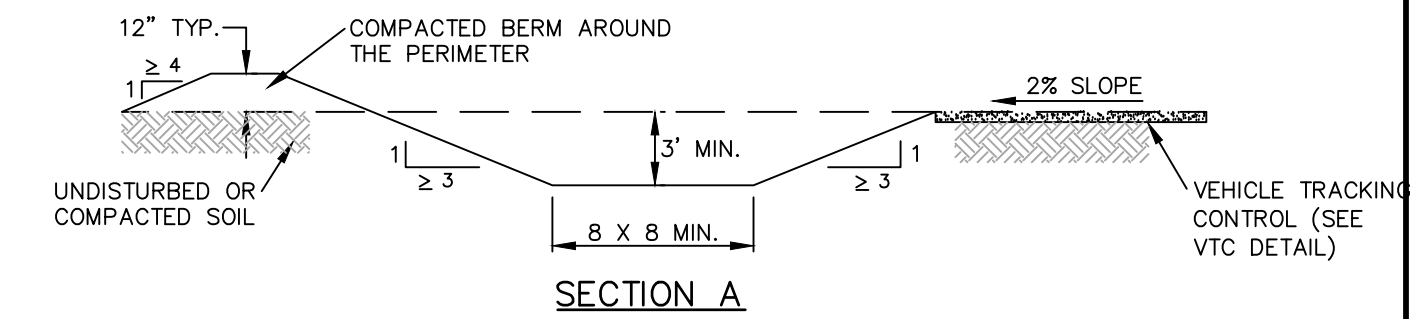
- SEE PLAN VIEW FOR:
 - LOCATION OF CONSTRUCTION ENTRANCE(S)/EXIT(S).
 - TYPE OF CONSTRUCTION ENTRANCE(S)/EXIT(S) (WITH/WITHOUT WHEEL WASH, CONSTRUCTION MAT OR TRM).
- CONSTRUCTION MAT OR TRM STABILIZED CONSTRUCTION ENTRANCES ARE ONLY TO BE USED ON SHORT DURATION PROJECTS (TYPICALLY RANGING FROM A WEEK TO A MONTH) WHERE THERE WILL BE LIMITED VEHICULAR ACCESS.
- A STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE LOCATED AT ALL ACCESS POINTS WHERE VEHICLES ACCESS THE CONSTRUCTION SITE FROM PAVED RIGHT-OF-WAYS.
- STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.
- A NON-WOVEN GEOEXITILE FABRIC SHALL BE PLACED UNDER THE STABILIZED CONSTRUCTION ENTRANCE/EXIT PRIOR TO THE PLACEMENT OF ROCK.
- UNLESS OTHERWISE SPECIFIED BY LOCAL JURISDICTION, ROCK SHALL CONSIST OF DOT SECT. #703, AASHTO #3 COARSE AGGREGATE OR 6" (MINUS) ROCK.

STABILIZED CONSTRUCTION ENTRANCE/EXIT MAINTENANCE NOTES

- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
- ROCK SHALL BE REAPPLIED OR GRADED AS NECESSARY TO THE STABILIZED ENTRANCE/EXIT TO MAINTAIN A CONSISTENT DEPTH.
- SEDIMENT TRACKED ONTO PAVED ROADS IS TO BE REMOVED THROUGHOUT THE DAY AND AT THE END OF THE DAY BY SHOVELING OR SWEEPING. SEDIMENT MAY NOT BE WASHED DOWN STORM SEWER DRAINS.



CONCRETE WASHOUT AREA PLAN



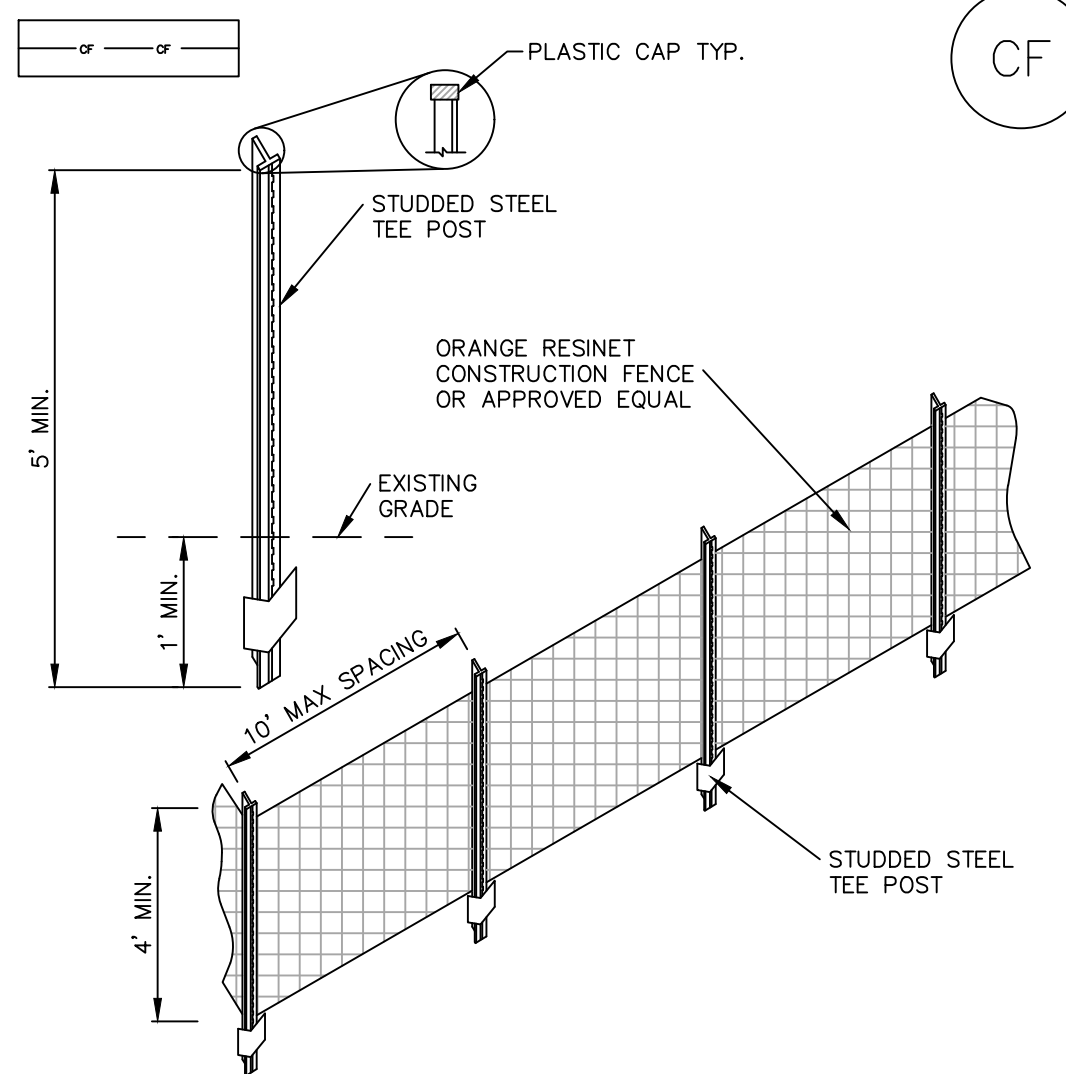
CWA-1. CONCRETE WASHOUT AREA

CWA INSTALLATION NOTES

- SEE PLAN VIEW FOR:
 - CWA INSTALLATION LOCATION.
- DO NOT LOCATE AN UNLINED CWA WITHIN 400' OF ANY NATURAL DRAINAGE PATHWAY OR WATERBODY. DO NOT LOCATE WITHIN 1,000' OF ANY WELLS OR DRINKING WATER SOURCES. IF SITE CONSTRAINTS MAKE THIS INFEASIBLE, OR IF HIGHLY PERMEABLE SOILS EXIST ON SITE, THE CWA MUST BE INSTALLED WITH AN IMPERMEABLE LINER (16 MIL MIN. THICKNESS) OR SURFACE STORAGE ALTERNATIVES USING PREFABRICATED CONCRETE WASHOUT DEVICES OR A LINED ABOVE GROUND STORAGE AREA SHOULD BE USED.
- THE CWA SHALL BE INSTALLED PRIOR TO CONCRETE PLACEMENT ON SITE.
- CWA SHALL INCLUDE A FLAT SUBSURFACE PIT THAT IS AT LEAST 8' BY 8' SLOPES LEADING OUT OF THE SUBSURFACE PIT SHALL BE 3:1 OR FLATTER. THE PIT SHALL BE AT LEAST 3' DEEP.
- BERM SURROUNDING SIDES AND BACK OF THE CWA SHALL HAVE MINIMUM HEIGHT OF 1'.
- VEHICLE TRACKING PAD SHALL BE SLOPED 2% TOWARDS THE CWA.
- SIGNS SHALL BE PLACED AT THE CONSTRUCTION ENTRANCE, AT THE CWA, AND ELSEWHERE AS NECESSARY TO CLEARLY INDICATE THE LOCATION OF THE CWA TO OPERATORS OF CONCRETE TRUCKS AND PUMP RIGS.
- USE EXCAVATED MATERIAL FOR PERIMETER BERM CONSTRUCTION.

CWA MAINTENANCE NOTES

- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
- THE CWA SHALL BE REPAIRED, CLEANED, OR ENLARGED AS NECESSARY TO MAINTAIN CAPACITY FOR CONCRETE WASTE. CONCRETE MATERIALS, ACCUMULATED IN PIT, SHALL BE REMOVED ONCE THE MATERIALS HAVE REACHED A DEPTH OF 2'.
- CONCRETE WASHOUT WATER, WASTED PIECES OF CONCRETE AND ALL OTHER DEBRIS IN THE SUBSURFACE PIT SHALL BE TRANSPORTED FROM THE JOB SITE IN A WATER-TIGHT CONTAINER AND DISPOSED OF PROPERLY.
- THE CWA SHALL REMAIN IN PLACE UNTIL ALL CONCRETE FOR THE PROJECT IS PLACED.
- WHEN THE CWA IS REMOVED, COVER THE DISTURBED AREA WITH TOP SOIL, SEED AND MULCH OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE LOCAL JURISDICTION.



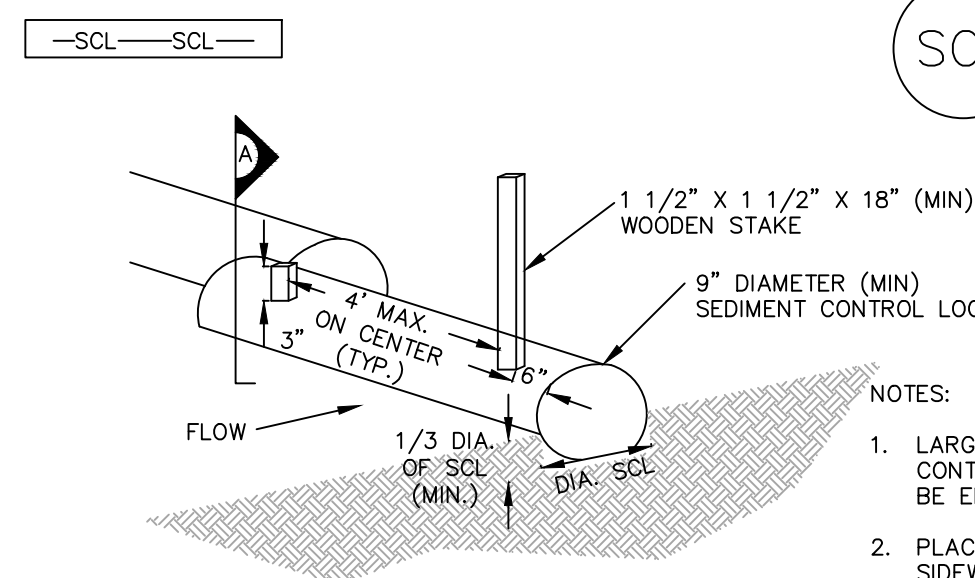
CF-1. PLASTIC MESH CONSTRUCTION FENCE

CONSTRUCTION FENCE INSTALLATION NOTES

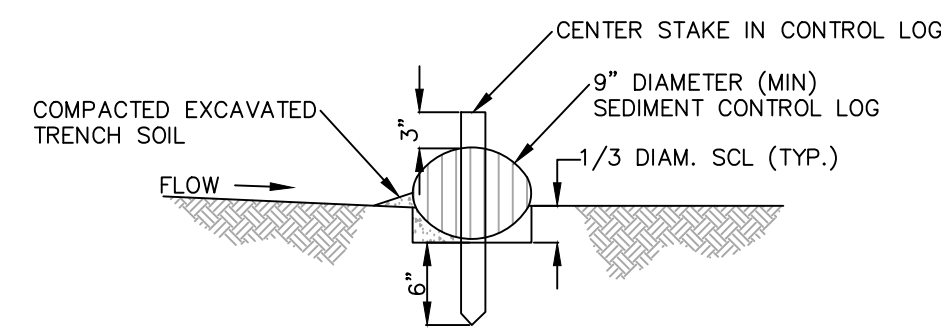
- SEE PLAN VIEW FOR:
 - LOCATION OF CONSTRUCTION FENCE.
- CONSTRUCTION FENCE SHOWN SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.
- CONSTRUCTION FENCE SHALL BE COMPOSED OF ORANGE, CONTRACTOR-GRADE MATERIAL THAT IS AT LEAST 4' HIGH. METAL POSTS SHOULD HAVE A PLASTIC CAP FOR SAFETY.
- STUDDED STEEL TEE POSTS SHALL BE UTILIZED TO SUPPORT THE CONSTRUCTION FENCE. MAXIMUM SPACING FOR STEEL TEE POSTS SHALL BE 10'.
- CONSTRUCTION FENCE SHALL BE SECURELY FASTENED TO THE TOP, MIDDLE, AND BOTTOM OF EACH POST.

CONSTRUCTION FENCE MAINTENANCE NOTES

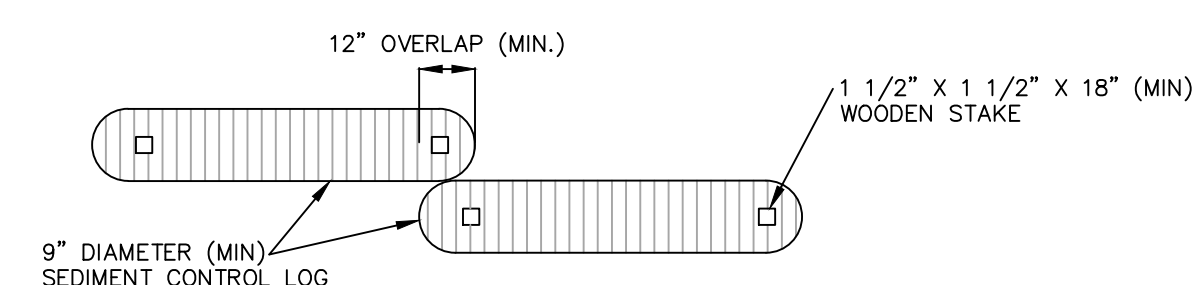
- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
- CONSTRUCTION FENCE SHALL BE REPAIRED OR REPLACED WHEN THERE ARE SIGNS OF DAMAGE SUCH AS RIPS OR SAGS. CONSTRUCTION FENCE IS TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND APPROVED BY THE LOCAL JURISDICTION.
- WHEN CONSTRUCTION FENCES ARE REMOVED, ALL DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE FENCE SHALL BE COVERED WITH TOPSOIL, SEEDED AND MULCHED, OR OTHERWISE STABILIZED AS APPROVED BY LOCAL JURISDICTION.



TRENCHED SEDIMENT CONTROL LOG



SECTION A TRENCHED SEDIMENT CONTROL LOG



LOG JOINTS

SCL-1. TRENCHED SEDIMENT CONTROL LOG

SEDIMENT CONTROL LOG INSTALLATION NOTES

- SEE PLAN VIEW FOR LOCATION AND LENGTH OF SEDIMENT CONTROL LOGS.
- SEDIMENT CONTROL LOGS THAT ACT AS A PERIMETER CONTROL SHALL BE INSTALLED PRIOR TO ANY UPGRADIENT LAND-DISTURBING ACTIVITIES.
- SEDIMENT CONTROL LOGS SHALL CONSIST OF STRAW, WOOD PEST, EXCELISOR OR COCONUT FIBER, AND SHALL BE FREE OF ANY NOXIOUS WEED SEEDS OR DEFECTS INCLUDING RIPS, HOLES AND OBVIOUS WEAR.
- SEDIMENT CONTROL LOGS MAY BE USED AS SMALL CHECK DAMS IN DITCHES AND SWALES. HOWEVER, THEY SHOULD NOT BE USED IN PERENNIAL STREAMS.
- IT IS RECOMMENDED THAT SEDIMENT CONTROL LOGS BE TRENCHED INTO THE GROUND TO A DEPTH OF APPROXIMATELY 1/3 OF THE DIAMETER OF THE LOG. IF TRENCHING TO THIS DEPTH IS NOT FEASIBLE AND/OR DESIRABLE (SHORT TERM INSTALLATION WITH DESIRE NOT TO DAMAGE LANDSCAPE) A LESSER TRENCHING DEPTH MAY BE ACCEPTABLE WITH MORE ROBUST STAKING. COMPOST LOGS THAT ARE 8 LB/FT DO NOT NEED TO BE TRENCHED.
- THE UPHILL SIDE OF THE SEDIMENT CONTROL LOG SHALL BE BACKFILLED WITH SOIL OR FILTER MATERIAL THAT IS FREE OF ROCKS AND DEBRIS. THE SOIL SHALL BE TIGHTLY COMPACTED INTO THE SHAPE OF A RIGHT TRIANGLE USING A SHOVEL OR WEIGHTED LAWN ROLLER OR BLOWN IN PLACE.
- FOLLOW MANUFACTURERS' GUIDANCE FOR STAKING. IF MANUFACTURERS' INSTRUCTIONS DO NOT SPECIFY SPACING, STAKES SHALL BE PLACED ON 4' CENTERS AND EMBEDDED A MINIMUM OF 6" INTO THE GROUND. 3" OF THE STAKE SHALL PROTRUDE FROM THE TOP OF THE LOG. STAKES THAT ARE BROKEN PRIOR TO INSTALLATION SHALL BE REPLACED. COMPOST LOGS SHOULD BE STAKED 10' ON CENTER.

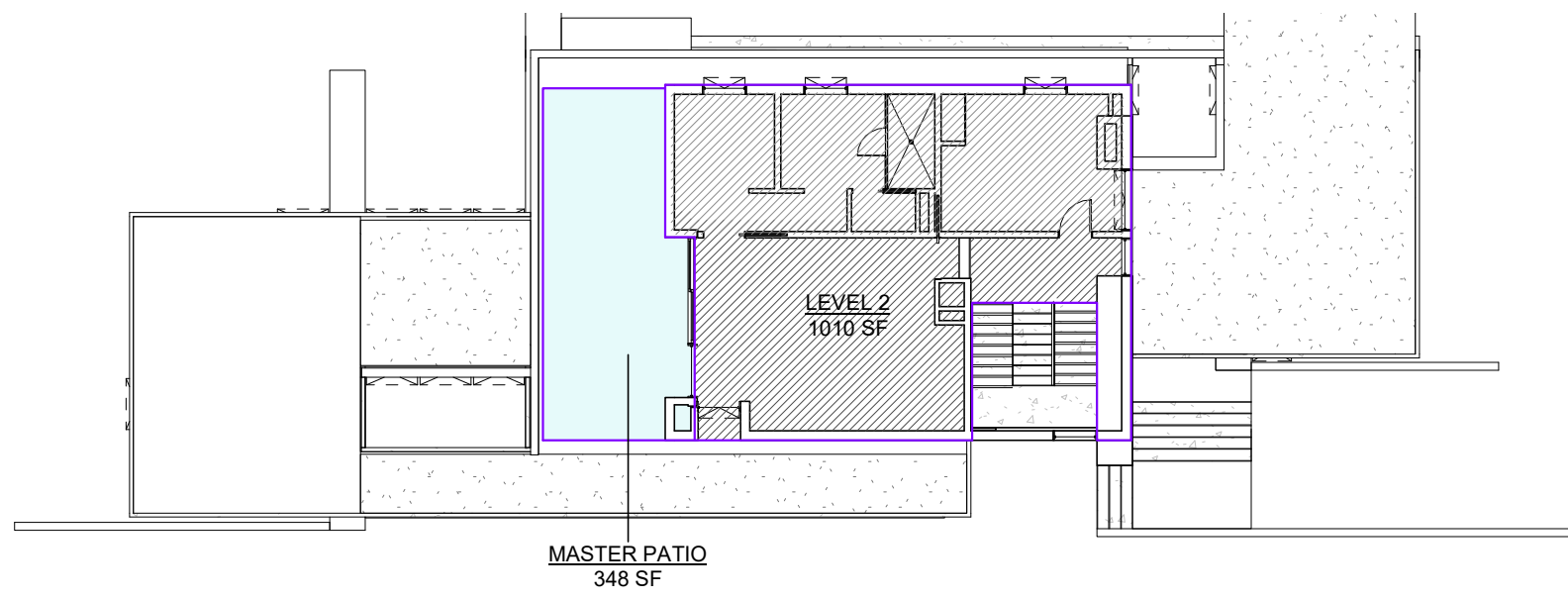
SEDIMENT CONTROL LOG MAINTENANCE NOTES

- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
- SEDIMENT ACCUMULATED UPSTREAM OF SEDIMENT CONTROL LOG SHALL BE REMOVED AS NEEDED TO MAINTAIN FUNCTIONALITY OF THE BMP, TYPICALLY WHEN DEPTH OF ACCUMULATED SEDIMENTS IS APPROXIMATELY 1/2 OF THE HEIGHT OF THE SEDIMENT CONTROL LOG.
- SEDIMENT CONTROL LOG SHALL BE REMOVED AT THE END OF CONSTRUCTION. COMPOST FROM COMPOST LOGS MAY BE LEFT IN PLACE AS LONG AS BAGS ARE REMOVED AND THE AREA SEEDED. IF DISTURBED AREAS EXIST AFTER REMOVAL, THEY SHALL BE COVERED WITH TOP SOIL, SEEDED AND MULCHED OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE LOCAL JURISDICTION.

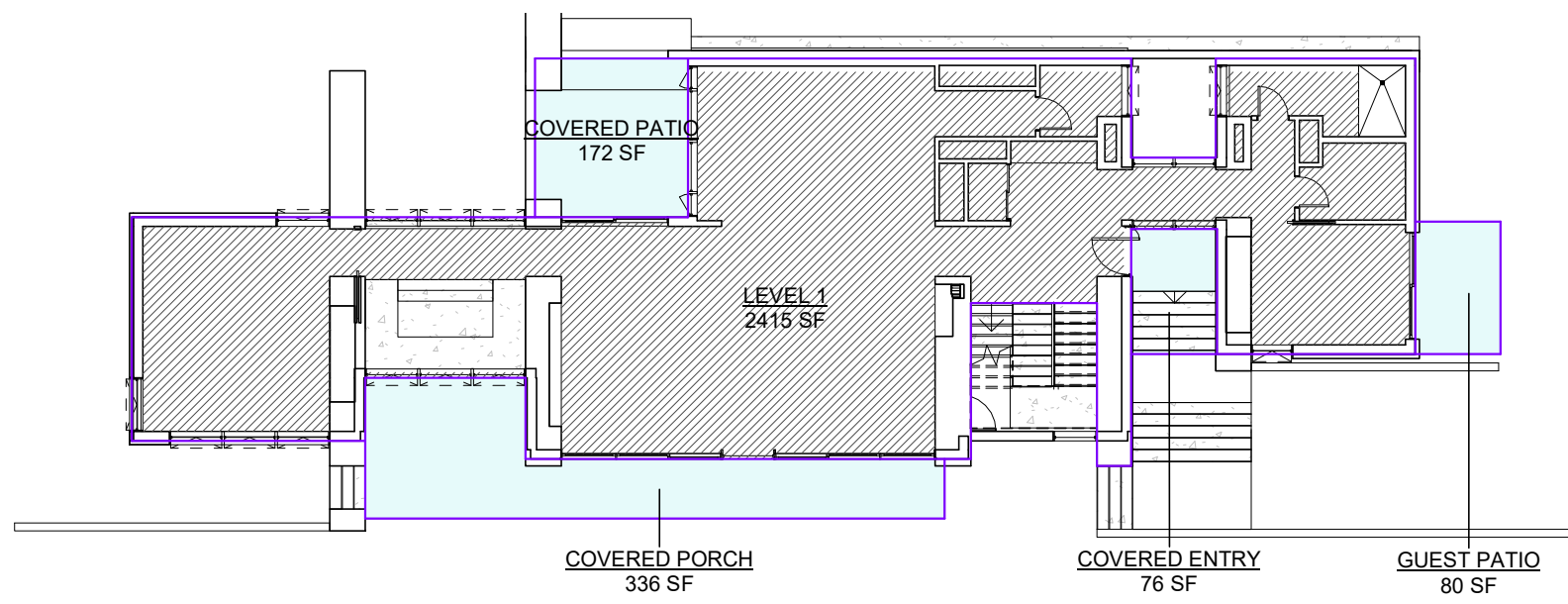
CIVIL DETAILS
695 CUTTER LANE
BOULDER, COLORADO

SCOTT, COX & ASSOCIATES, INC.
consulting engineers • surveyors
1530 55th Street • Boulder, Colorado 80303
(303) 444 - 3051

Designed by	MRF	Date	5/16/22	Scale	AS SHOWN	Drawing no.	22125A-1	Sheet	C6.02
Drawn by	MRF	Revision		Description		Date		Project no.	22125A
Checked by	DPA								



4 FINISHED BUILDING AREA - (N) LVL 2
1/16" = 1'-0"



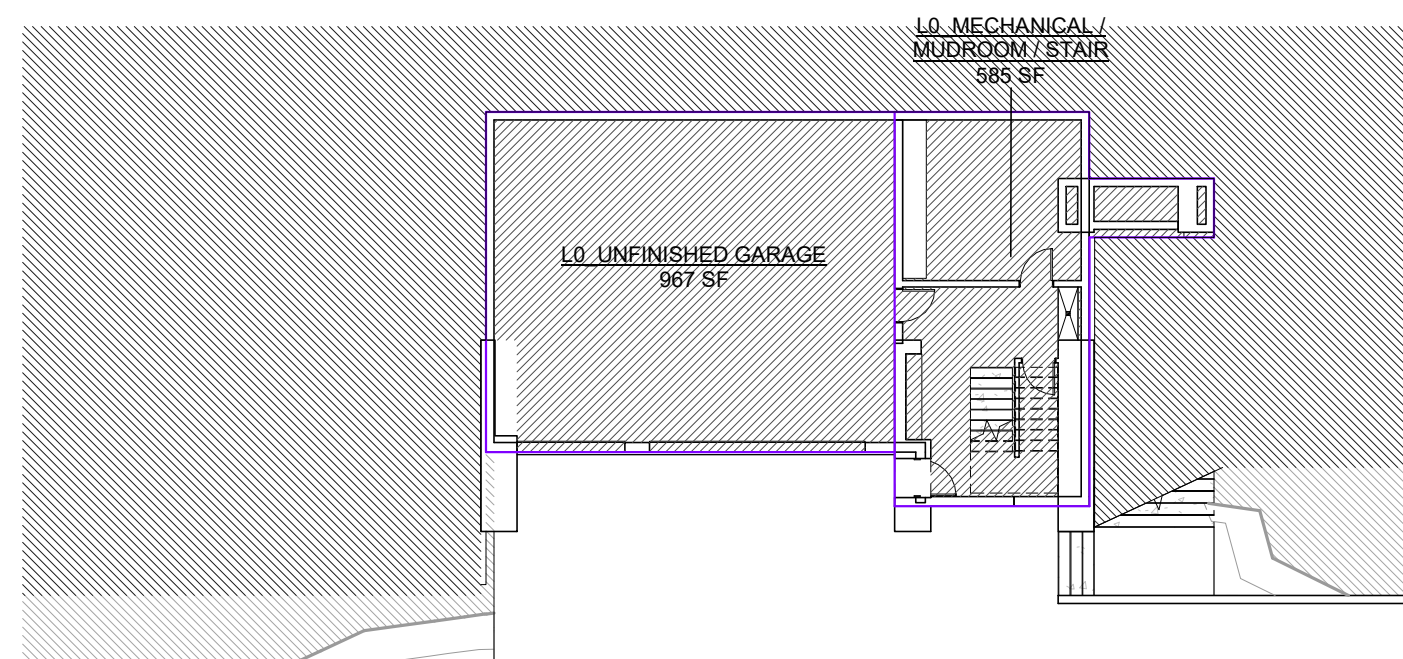
PROPOSED FINISHED BUILDING AREA

Name	Area
L0_MECHANICAL / MUDROOM / STAIR	585 SF
LEVEL 1	2415 SF
LEVEL 2	1010 SF
STUDIO	940 SF
Total Area:	4950 SF

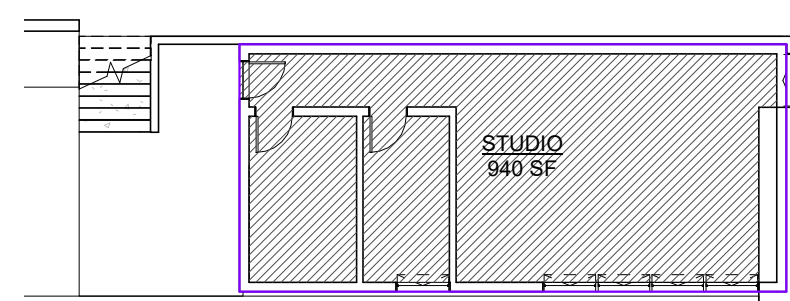
PROPOSED UNFINISHED BUILDING AREA

Name	Area
L0_UNFINISHED GARAGE	967 SF
Total Area:	967 SF

3 FINISHED BUILDING AREA - (N) LVL 1
1/16" = 1'-0"



2 FINISHED BUILDING AREA - (N) LVL 0
1/16" = 1'-0"



1 FINISHED BUILDING AREA - (N) LVL Studio
1/16" = 1'-0"

DD

4 DD 05.02.2022



Community Planning & Permitting

Courthouse Annex • 2045 13th Street • Boulder, Colorado 80302 • Tel: 303-441-3930
Mailing Address: P.O. Box 471 • Boulder, Colorado 80306 • www.BoulderCounty.org

September 14, 2022

TO: Andy Vieth, Staff Planner; Community Planning & Permitting, Development Review Team - Zoning

FROM: Jennifer Severson, Principal Planner; Community Planning & Permitting, Development Review Team – Access & Engineering

SUBJECT: Docket # LU-22-0019/ SPR-22-0050: Nagle Warner Residence & Studio
695 Cutter Lane

The Development Review Team – Access & Engineering staff has reviewed the information provided for the above referenced docket and has the following information:

1. The subject property is accessed from Cutter Lane, a paved privately owned and maintained 18-foot-wide road within a 60-foot-wide access easement as shown on the Carriage Hills Estates plat. Legal access to the subject parcel is demonstrated via the easement as shown on the plat recorded 03/12/1985 at Reception # 06476063.
2. As proposed the width and grades of the new driveway appear to comply with the with the [Boulder County Multimodal Transportation Standards](#) (the Standards) for residential access in the mountains. Plans submitted for permit must demonstrate the driveway has been designed to comply with the Standards, including without limitation:
 - a. Table 5.5.1 – Parcel Access Design Standards (1-Lane Mountain Access)
 - b. Standard Drawings 11 – Private Access
 - c. Standard Drawing 14 – Access with Roadside Ditch
 - d. Standard Drawing 15 – Access Profiles Detail
 - e. Standard Drawing 16 – Access Grade & Clearance

Because the rear of the residence is within 150 feet of Cutter Lane, no emergency turnaround is required.

The driveway must be surfaced with 4" ABC (Class 6) or other suitable material as approved by the County Engineer.

Because of the large radius of the curve in the driveway, the proposed 12-foot travelway width is acceptable.

3. There is no evidence of an Access Permit. An Access Permit will be issued for the point of access at Caribou Road at the time of building permit review. No special application procedure is necessary, the Access Permit will be issued concurrently with the building permit.

Matt Jones County Commissioner **Claire Levy** County Commissioner **Marta Loachamin** County Commissioner

ATTACHMENT B

4. A Drainage Study is required that clearly shows how the proposed development impacts the existing and proposed drainage on the site. The study must show that all drainage improvements (culverts, driveway and roadside ditch, *existing* culvert under Cutter Lane, etc.) are sized appropriately to accommodate runoff from the developed site. NOTE: if the Drainage Study determines the existing culvert under Cutter Lane is undersized, the applicant will be responsible for replacing it with an adequately sized culvert and this work must be included in the plans submitted for building permit.
5. The civil plans submitted for permitting must be revised to address the following issues:
 - a. The grading plan must be updated to show mitigation treatments as necessary based on the conclusions of the Drainage Study.
 - b. Drainage impacts related to the proposed development must be mitigated on-site.
 - c. How will drainage be handled between the outlet of the proposed driveway culvert and the inlet of the existing cross-culvert under Cutter Lane?
 - d. Although the diversion swale uphill of the new residence will convey the majority of uphill runoff around the footprint of the house, it appears some runoff will reach the small retaining walls on the east and west side of the residence. The swale must be redesigned to minimize the amount of runoff that reaches these walls; a small amount of sheet flow over the wall(s) is acceptable.
 - e. The plans must better demonstrate how the drainage in the proposed driveway ditch will be handled where it approaches the new driveway culvert located at STA 2+36 and as it approaches Cutter Lane at the bottom of the drive.
 - f. Staff suggests the addition of check dams in the driveway ditch to mitigate potential erosion during runoff and diverting the runoff from the upper part of the driveway into the culvert to reduce the volume of runoff directed toward the lower part of the driveway near Cutter Lane.
 - g. No culvert is shown at the bottom of the driveway where it meets the road; if there is an existing drainage ditch along Cutter Lane in this location, a new culvert must be installed at the bottom of the driveway to facilitate ditch flow under the driveway.
 - h. All culverts must be metal or concrete; no plastic culverts are allowed.
6. There is a significant amount of fill material upslope and downslope of the new driveway. The applicant should consider adding low retaining walls to the design (< 6 feet high to lessen visible impacts) to reduce the amount of earthwork necessary to achieve maximum 1-½ to 1 slope final grades.
7. All fill slopes must be well compacted (95% or more) to ensure slope stability and prevent erosion.
8. Final grade cuts and fills shall not be steeper than a 1-½ to 1 slope. Grades steeper than a 1-½ to 1 slope must be supported by a retaining wall. Retaining walls or series of walls greater than four feet in height, as measured from the bottom of the footer to the top of the wall, must be included in the building permit application for the residence. Details for retaining walls/ wall series greater than four feet in height must be designed and stamped by a qualified Colorado-licensed professional engineer. Calculations shall be submitted for all retaining walls greater than 6 feet in height.
9. During construction, all materials, machinery, dumpsters, and other items shall be staged on the subject property; no items shall be stored or staged along Cutter Lane. During

ATTACHMENT B

construction (i.e. during the day while work is being performed), all vehicles shall be parked on site or to one side of Cutter Lane so as to not impede the travel way.

10. A catch fence must be placed between the proposed residence and studio and Cutter Lane during construction. The catch fence must be placed upslope of erosion control treatments.

This concludes our comments at this time.



ATTACHMENT B

Community Planning & Permitting

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Mailing Address: P.O. Box 471 • Boulder, Colorado 80306 • www.BoulderCounty.org

September 21, 2022

TO: Andy Vieth, Staff Planner; Community Planning & Permitting, Development Review Team - Zoning

FROM: Jennifer Severson, Principal Planner; Community Planning & Permitting, Development Review Team – Access & Engineering

SUBJECT: Docket # LU-22-0019/ SPR-22-0050: Nagle Warner Residence & Studio - **ADDENDUM**

695 Cutter Lane

The Development Review Team – Access & Engineering (A&E) staff has reviewed the above referenced docket and has the following additional comments:

1. The grading fact sheet indicates there will be a total of 3,344 cubic yards of excess cut material (1,293 cubic yards non-foundational and 2,051 cubic yards foundational) that will be exported from the site. A Haul Plan is required that shows the anticipated haul route and estimated number and capacity of haul vehicles that will be running at any one time. The Haul Plan must be submitted with the building permit application.
2. A Traffic Control Plan (TCP) is required that addresses flaggers and the locations and types of warning signs to be used during hauling operations. The TCP must be completed by a certified Traffic Control Supervisor and submitted with the building permit application.
3. Previous A&E referral comments dated 9/14/2022 incorrectly stated the requirement for an Access Permit; however, Cutter Lane is privately owned and maintained. Therefore, no Access Permit is required. Instead, an Access Improvement and Maintenance Agreement (AIMA), which is an agreement for future maintenance responsibility, is required for Cutter Lane. The AIMA will be issued during building permit review. The AIMA will be prepared by the Access & Engineering staff, signed by the property owner and notarized, and approved as part of the building permit process.
4. A Boulder County Hauler License is required for hauling of material off site, regardless of where the material is deposited. This applies to the prime contractor as well as any subcontractors that collect, transport or dispose of any materials (dirt, gravel, garbage, recyclables, or compostables, construction and demolition waste, or landscaping materials) anywhere except within the project site, including locations outside unincorporated Boulder County. Additional information can be found here: <https://www.bouldercounty.org/environment/trash/hauler-license/>.

All other comments from the referral memo dated 9/14/2022 are applicable.

ATTACHMENT B

Boulder County Multimodal Transportation Standards

Table 5.5.1 Parcel Access Design Standards

	One-Lane Access		Two-Lane Access	
	Plains	Mountains	Plains	Mountains
# of units	1 - 5		6 - 15	
Travelway Width (8' turnouts 8'x 55' incl. tapers - required every 400')	10'	12'	18'	18'
Surface Course	Per geotechnical report ¹		Per geotechnical report	
ROW/Easement Width (min.)	20' 28' w/turnouts		30'	
Centerline Radius (min.)	40'		40'	
Max. Grade (%)	12	12 or up to 14 for 200' max. ²	12	12 or up to 14 for 200' max.
Max. Grade through curve	6% ³		6%	
Clearance Vertical/ Horizontal	13'-6" / 14'	13'-6" / 16'	13'-6" / 22'	
Roadside Ditches	Designed and constructed to Standard Drawings. See BCSDCM and USDCM for permanent erosion control practices.		Designed and constructed to Standard Drawings. See BCSDCM and USDCM for permanent erosion control practices.	
Slope Stability	Per geotechnical recommendations to design stability and facilitate revegetation ⁴		Per geotechnical recommendations to design stability and facilitate revegetation ⁴	
Signs and Traffic Control Devices	Required signs and traffic control devices must conform with the MUTCD, latest edition		Required signs and traffic control devices must conform with the MUTCD, latest edition	
Culverts	Min. 18" or equiv. capacity RCP or CMP in public ROW per Standard Drawing Cross-culverts outside of ROW sized to maintain historic flow		Min. 18" or equiv. capacity RCP or CMP in public ROW per Standard Drawing Cross-culverts outside of ROW sized to maintain historic flow	
Sight Distances	per AASHTO recommendations		per AASHTO recommendations	
Approach to Highway	90ft to centerline of highway with max. 30ft variation		90ft to centerline of highway with max. 30ft variation	
Standard Drawings	11, 12, 13, 14, 15, 16, 17, 18, 19		11, 12, 13, 14, 15, 16, 17, 18, 19	
Overall Design Principles	See Section 5.1		See Section 5.1	

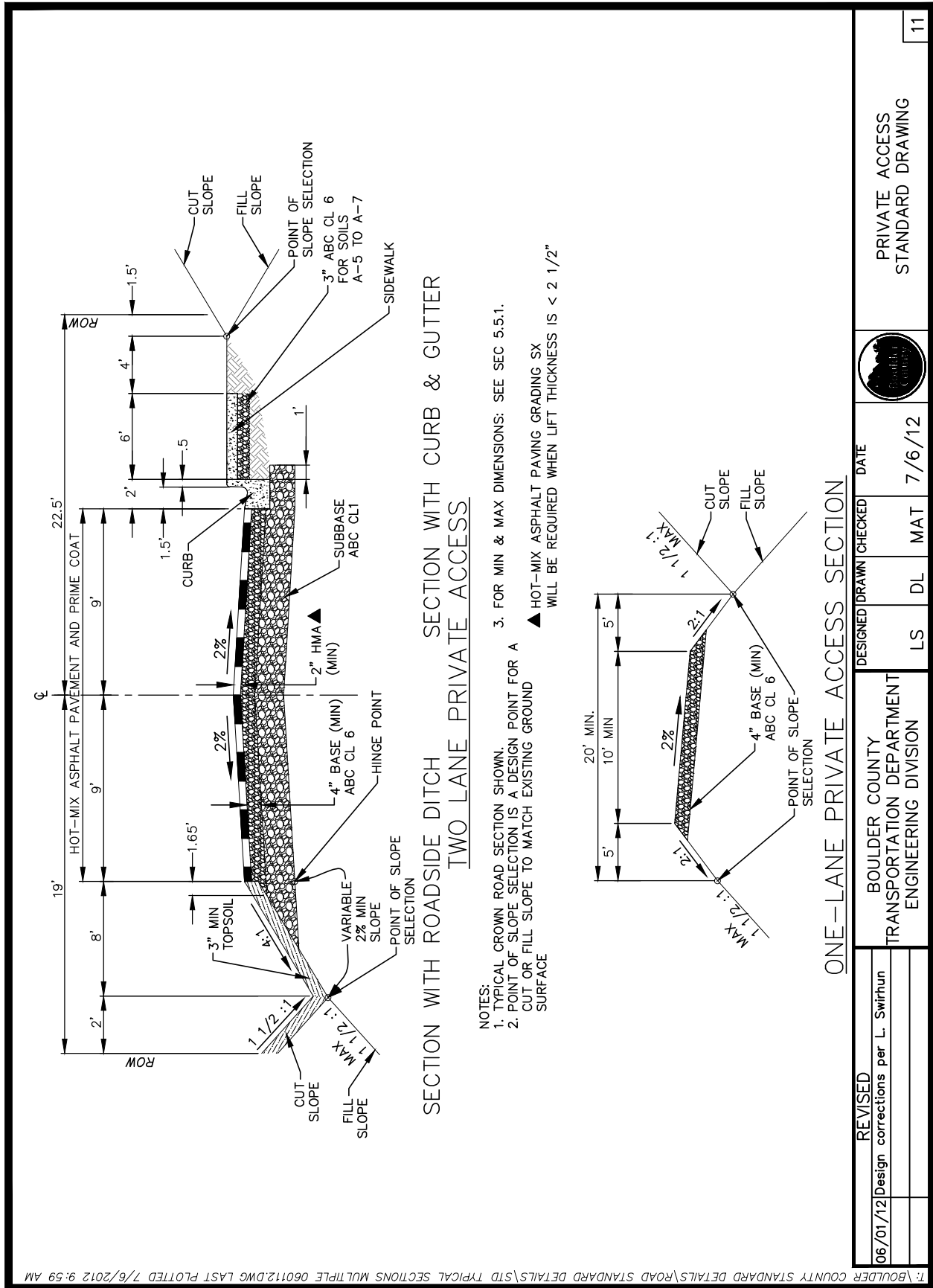
¹ Accesses serving one dwelling unit shall use 4" ABC (Class 6) or other suitable material as approved by the Transportation Department.

² Accesses serving one dwelling unit may use 16% for 200' max.

³ Accesses serving one dwelling unit may use up to 8% w/ 2' additional width.

⁴ Accesses serving one dwelling unit may use 1 ½ : 1 max. cut and fill slopes or per geotechnical recommendations to design stability and facilitate revegetation.

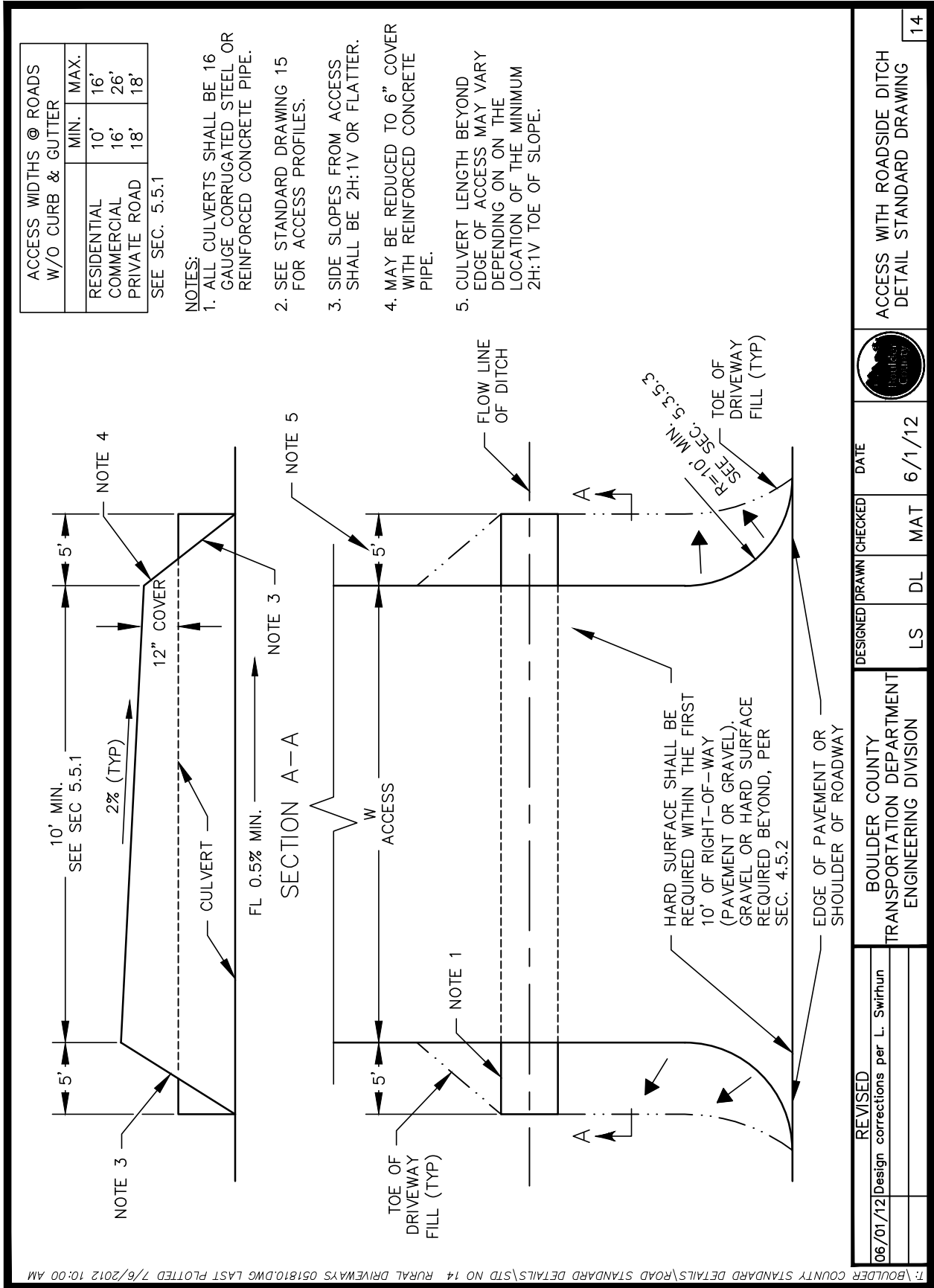
Standard Drawing 11



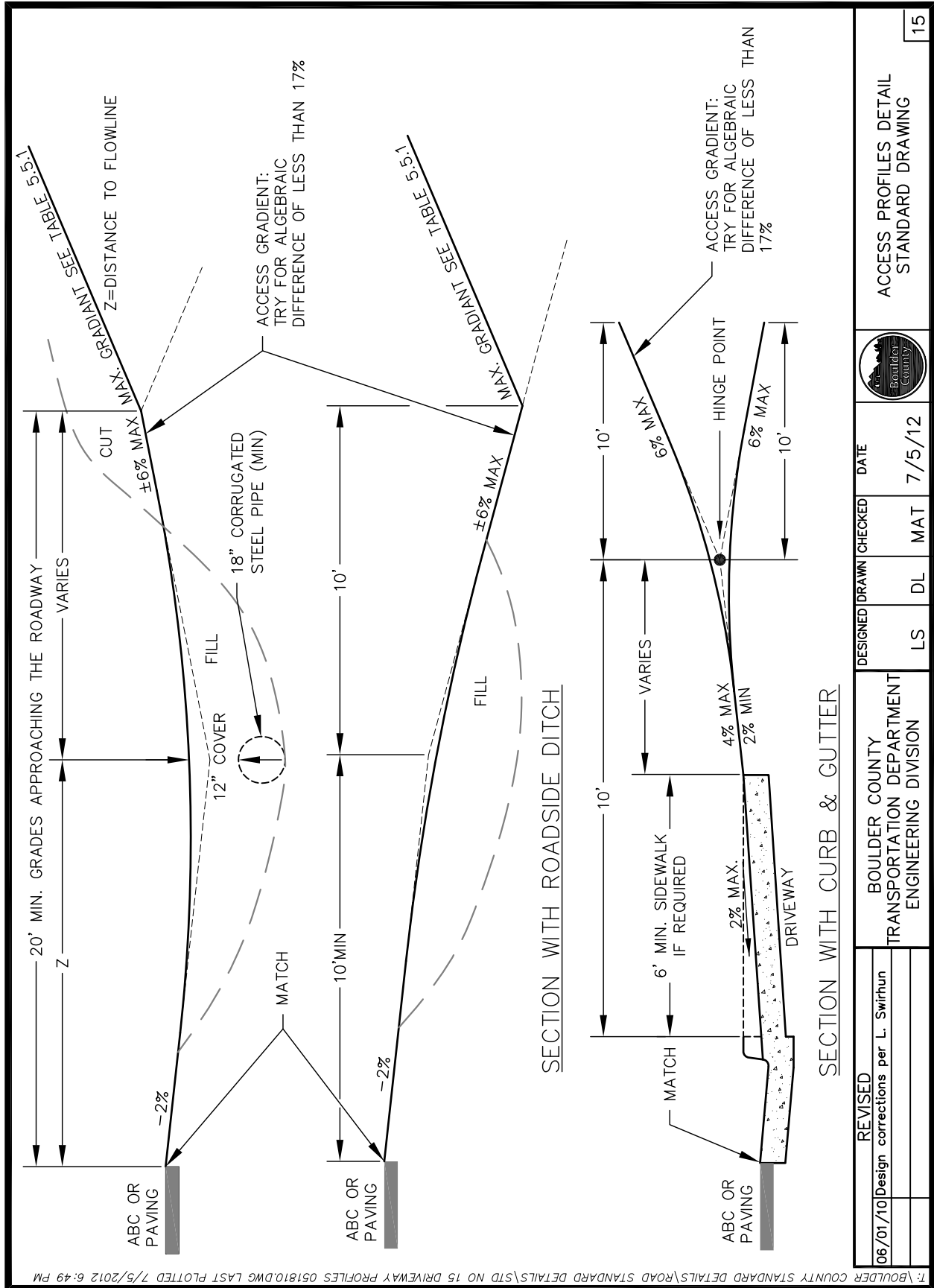
I:\BOULDER COUNTY STANDARD DETAILS\ROAD STANDARD DETAILS\STD TYPICAL SECTIONS MULTIPLE 060112.DWG LAST PLOTTED 7/6/2012 9:59 AM

REVISED 06/01/12 Design corrections per L. Swirhun	DESIGNED BOULDER COUNTY TRANSPORTATION DEPARTMENT ENGINEERING DIVISION	CHECKED LS	DATE 7/6/12	MAT DL	PRIVATE ACCESS STANDARD DRAWING	11
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Standard Drawing 14



Standard Drawing 15

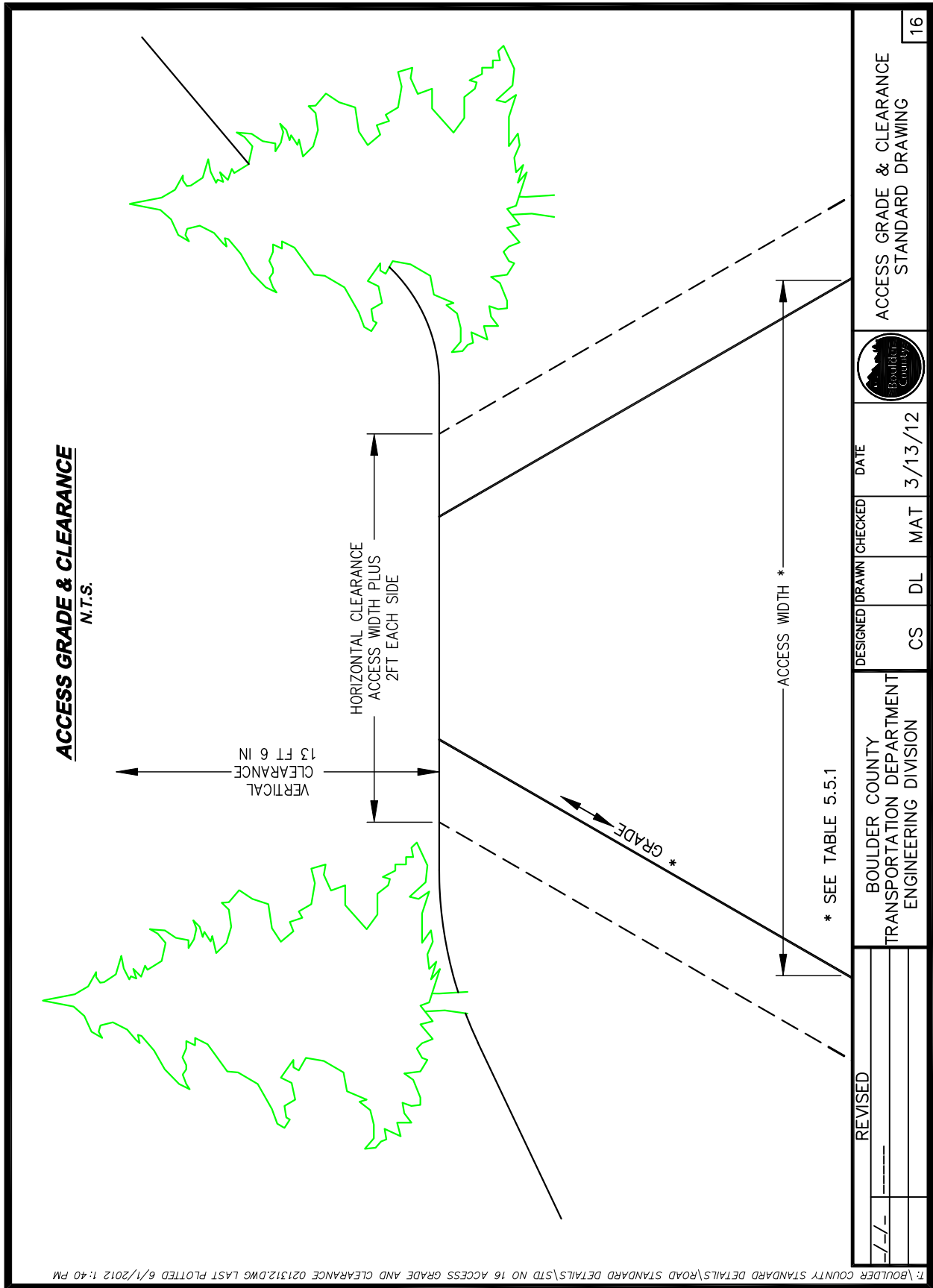


06/01/10 Design corrections per L. Swirhun	BOULDER COUNTY TRANSPORTATION DEPARTMENT ENGINEERING DIVISION	DESIGNED LS	DRAWN DL	CHECKED MAT	DATE 7/5/12	ACCESS PROFILES DETAIL STANDARD DRAWING	15
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ATTACHMENT B

Boulder County Multimodal Transportation Standards

Standard Drawing 16





ATTACHMENT B

Public Health Environmental Health Division

July 16, 2022

TO: Staff Planner, Land Use Department

FROM: Jessica Epstein, Environmental Health Specialist

SUBJECT: LU-22-0019/SPR-22-0050: Nagle Warner Residence and Studio

OWNER: Nagle Warner

PROPERTY ADDRESS: 695 Cutter Lane

SEC-TOWN-RANGE: 10 -1N -71

The Boulder County Public Health – Environmental Health division has reviewed the submittals for the above referenced docket and has the following comments.

OWTS Application Needed:

1. An onsite wastewater treatment system (OWTS) permit has not been issued by Boulder County Public Health for this property. The owner or their agent (e.g., contractor) must apply for an OWTS permit, and the OWTS permit must be issued prior to installation and before a building permit can be obtained. The OWTS components must be installed, inspected and approved before a Certificate of Occupancy or Final Building Inspection approval will be issued by Community Planning and Permitting (CP&P).
2. Boulder County Public Health must conduct an onsite investigation and review percolation rates, soil conditions and any design plans and specifications prior to OWTS permit issuance. The OWTS absorption field must be located a minimum distance of 100' from all wells, 25' from waterlines, 50' from waterways and 10' from property lines.

This concludes comments from the Public Health - Environmental Health division at this time. For additional information on the OWTS application process and regulations, refer to the following website: www.SepticSmart.org. If you have additional questions about OWTS, please do not hesitate to contact Jessica Epstein at (303) 441-1138.

Cc: OWTS file, owner, Land Use Department



ATTACHMENT B

Community Planning & Permitting

Courthouse Annex • 2045 13th Street • Boulder, Colorado 80302 • Tel: 303.441.3930 • Fax: 303.441.4856
Mailing Address: P.O. Box 471 • Boulder, Colorado 80306 • www.bouldercounty.org

Building Safety & Inspection Services Team

MEMO

TO: Andy Vieth, Planning Consultant
FROM: Michelle Huebner, Plans Examiner Supervisor
DATE: July 14, 2022

RE: Referral Response, LU-22-0019/SPR-22-0050: Nagle Warner Residence and Studio. Limited Impact Special Use Review to allow for 2,571 cubic yards of grading for driveway and site improvements, and Site Plan Review for the constructions of a 4,977-square-foot residence and 940-square-foot studio for a total residential floor area of 5,917 square feet on a 17.50-acre parcel.

Location: 695 Cutter Lane

Thank you for the referral. We have the following comments for the applicants:

1. **Building Permit.** A building permit, plan review, inspection approvals, and a Certificate of Occupancy (“C.O.”) are required for the proposed residence. A separate building permit is required for the studio.

Please refer to the county’s adopted 2015 editions of the International Codes and code amendments, which can be found via the internet under the link:

2015 Building Code Adoption & Amendments, at the following URL:

<https://assets.bouldercounty.org/wp-content/uploads/2017/03/building-code-2015.pdf>

2. **Ignition-Resistant Construction and Defensible Space.** Please refer to Section R327 of the Boulder County Building Code for wildfire hazard mitigation requirements, including ignition-resistant construction and defensible space.
3. **BuildSmart.** Please refer to the county’s adoption and amendments to Chapter 11 of the IRC, the county’s “BuildSmart” program, for the applicable requirements for energy conservation and sustainability for residential additions and new residential buildings. Please be aware that there are energy related requirements of this code that may require the use of renewable energy systems (such as rooftop solar systems) that will also need to be approved by your electric utility provider. In some cases, there may be limitations on the size of on-site systems allowed by your utility provider that could constrain the project design. We strongly encourage discussions

ATTACHMENT B

between the design team and the utility company as early in the process as possible in order to identify these constraints.

4. **Design Wind and Snow Loads.** The design wind and ground snow loads for the property are 165 mph (Vult) and 50 psf, respectively.
5. **Electric vehicle charging outlet.** Boulder County Building Code requires:
 - a. R329.1 Electric vehicle charging pre-wire option. In addition to the one 125-volt receptacle outlet required for each car space by NEC Section 210.52(G)(1.), every new garage or carport that is accessory to a one- or two-family dwelling or townhouse shall include at least one of the following, installed in accordance with the requirements of Article 625 of the Electrical Code:
 - i. A Level 2 (240-volt) electric vehicle charging receptacle outlet, or
 - ii. Upgraded wiring to accommodate the future installation of a Level 2 (240-volt) electric vehicle charging receptacle outlet, or
 - iii. Electrical conduit to allow ease of future installation of a Level 2 (240-volt) electric vehicle charging receptacle outlet.
6. **Plan Review.** The items listed above are a general summary of some of the county's building code requirements. A much more detailed plan review will be performed at the time of building permit application, when full details are available for review, to assure that all applicable minimum building codes requirements are to be met. Our [Commercial Plan Submittal Checklist](#) and other Building Safety publications can be found at: <https://www.bouldercounty.org/property-and-land/land-use/building/building-publications/>

If the applicants should have questions or need additional information, we'd be happy to work with them toward solutions that meet minimum building code requirements. Please call (720) 564-2640 or contact us via e-mail at building@bouldercounty.org



Parks & Open Space **ATTACHMENT B**

5201 St. Vrain Road • Longmont, CO 80503
303-678-6200 • POSinfo@bouldercounty.org
www.BoulderCountyOpenSpace.org

TO: Andy Vieth, Community Planning & Permitting Department
FROM: Ron West, Natural Resource Planner
DATE: August 4, 2022
SUBJECT: Docket LU-22-0019/SPR-22-005022, Nagle Warner, 695 Cutter Lane

Staff has reviewed the submitted materials, and has visited Carriage Hills Estates (a “subdivision” of 35-acre parcels) several times in the past. No significant natural resource impacts are foreseen from the proposal. The house site is proposed almost as close to Cutter Lane as possible, resulting in a short driveway. Total grading is somewhat extensive, but this is largely dependent on the parcel’s steep slopes and the large size of the development (nearly 6000 square feet in total).

Some of the cut and fill slopes are extensive, with one being 25 vertical feet high, another at 20 feet, and large areas at 10 to 15 feet in height. The resulting extensive 1.5:1 slopes would be very difficult to revegetate. Retaining walls or terracing should be considered to reduce the extent or restorability of these features.

Given the site’s steep slopes, archeological resources are unlikely. Staff does not have visibility concerns.

A Revegetation Plan is required that includes native grass species to be used, an explanation of how topsoils will be stockpiled and reused, mapped delineation of all disturbance areas (this includes construction staging areas, driveway, utility lines, and septic system), locations of silt fence or erosion control logs down slope of all disturbed areas, and matting requirements on the many steep slopes.

ATTACHMENT B



Community Planning & Permitting

Courthouse Annex • 2045 13th Street • Boulder, Colorado 80302 • Tel: 303.441.3930

Mailing Address: P.O. Box 471 • Boulder, Colorado 80306 • www.bouldercounty.org

MEMO TO: Agencies and Adjacent Property Owners
FROM: Andy Vieth, Planning Consultant
DATE: July 12, 2022
RE: Docket LU-22-0019/SPR-22-0050

Docket LU-22-0019/SPR-22-0050: Nagle Warner Residence and Studio

Request: Limited Impact Special Use Review to allow for 2,571 cubic yards of grading for driveway and site improvements, and Site Plan Review for the constructions of a 4,977-square-foot residence and 940-square-foot studio for a total residential floor area of 5,917 square feet on a 17.50-acre parcel.

Location: 695 Cutter Lane, Tract 37, Carriage Hills Estates, approximately 1 mile north of the intersection of Wagon Wheel Gap Road and Pinto Drive in Section 10, Township 1N, Range 71W.

Zoning: Forestry (F)

Applicants/Property Owners: Derya Nagle & Kelsey Warner

Agent: Anna Martin & Chris Gray, BLDG.Collective Architecture + Design

Limited Impact Special Review is required of proposed uses that may have greater impacts on services, neighborhoods, or the environment than those allowed by right under the Boulder County Land Use Code. This process will review conformance of the proposed use with the Boulder County Comprehensive Plan and the Land Use Code.

Site Plan Review by the Boulder County Land Use Director is required for new building/grading/access or floodplain development permits in the plain and mountainous areas of unincorporated Boulder County. The Review considers potential significant impact to the ecosystem, surrounding land uses and infrastructure, and safety concerns due to natural hazards.

This process includes a public hearing before the Board of County Commissioners. Adjacent property owners and holders of liens, mortgages, easements or other rights in the subject property are notified of this hearing.

The Community Planning & Permitting staff and County Commissioners value comments from individuals and referral agencies. Please check the appropriate response below or send a letter to the Community Planning & Permitting Department at P.O. Box 471, Boulder, Colorado 80306 or via email to planner@bouldercounty.org. All comments will be made part of the public record and given to the applicant. Only a portion of the submitted documents may have been enclosed; you are welcome to call the Community Planning & Permitting Department at 303-441-3930 or email planner@bouldercounty.org to request more information. If you have any questions regarding this application, please contact me at 303-441-4997 or avieth@bouldercounty.org.

Please return responses by **July 28, 2022**.

(Please note that due to circumstances surrounding COVID-19, application timelines and deadlines may need to be modified as explained in the CPP Notice of Emergency Actions issued March 23, 2020 (see <https://boco.org/covid-19-cpp-notice-20200323>)).

Matt Jones County Commissioner **Claire Levy** County Commissioner **Marta Loachamin** County Commissioner

ATTACHMENT B

We have reviewed the proposal and have no conflicts.
 Letter is enclosed.

Signed  PRINTED Name Jessica Fasick

Agency or Address CPP Historic Review

*Universal Citation: CO Rev Stat § 24-80-1302

(1) Except as provided in section 24-80-1303 with regard to anthropological investigations, any person who discovers on any land suspected human skeletal remains or who knowingly disturbs such remains shall immediately notify the coroner or medical examiner of the county wherein the remains are located and the sheriff, police chief, or land managing agency official.



ATTACHMENT B

Community Planning & Permitting

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Mailing Address: P.O. Box 471 • Boulder, Colorado 80306 • www.bouldercounty.org

Wildfire Mitigation Team

MEMO

TO: Andy Vieth, Planning Consultant
FROM: Kyle McCatty, Wildfire Mitigation Specialist
DATE: July 21, 2022
RE: Referral Packet & Public Notice for LU-22-0019/SPR-22-0050: Nagle Warner Residence and Studio at 695 Cutter Lane

Thank you for the referral. We have the following comments for the applicants:

Decades of catastrophic wildfires, research, and case studies have shown that extreme wildfires are inevitable in the forests of Boulder County and across the Western US. Still, the loss of life and homes does not have to be inevitable. The conditions that principally determine if a house ignites occur within 100 feet of the house, including the house itself. That is why Boulder County has such strong wildfire mitigation requirements in our Land Use and Building Code. Boulder County encourages all homeowners to voluntarily take responsibility to mitigate their own home's risk of igniting in a wildfire through Wildfire Partners.

Wildfire Mitigation is required; the proposed project is in [Wildfire Zone 1](#) (the foothills or mountains—approximately west of highways 7, 36, or 93) of the unincorporated portion of Boulder County. The Boulder County Wildfire Mitigation requirements are composed of site location, ignition-resistant materials and construction, defensible space, emergency water supply, and emergency vehicle access.

Site Location

A Boulder County Wildfire Mitigation Specialist has reviewed the site location as part of the Site Plan Review process, and no conflicts have been identified.

Ignition-Resistant Materials and Construction

Since the proposed development is located within a potentially hazardous area, all exterior building materials (including any proposed decking) must be ignition-resistant construction or better.

For additional ignition-resistant construction information, please contact the Building Safety & Inspection Services Team at 303-441-3926. Refer to the Boulder County publication: [Building with Ignition Resistant Materials](#) for specific requirements. All exterior materials must be clearly noted on the building plans and must be reviewed and approved as "ignition resistant" by the Building Safety & Inspection Services Team.

Defensible Space

Adequate defensible space is required to prevent the spread of fire to and from the structure. This requires limbing and/or removal of trees and shrubs to provide necessary vertical and horizontal

Matt Jones County Commissioner **Claire Levy** County Commissioner **Marta Loachamin** County Commissioner

ATTACHMENT B

fuel separation within a minimum of 100 ft. from the home and within 30 ft. along both sides of a driveway and Cutter Lane, within the property. The defensible space around the house may be increased to approximately 200 feet from the house because of the topography, density of surrounding wildland fuels, and the time and potential difficulty it would take to evacuate from the property in a wildfire. More information can be found by referring to the Colorado State Forest Service publication [Protecting Your Home from Wildfire: Creating Wildfire-Defensible Zones – 2012 Quick Guide](#).

Follow the Colorado State University [FireWise Plant Materials – 6.305](#), [Fire-Resistant Landscaping – 6.303](#), and Colorado State Forest Service [Protecting Your Home from Wildfire: Creating Wildfire-Defensible Zones – 2012 Quick Guide](#) publications when choosing plants and designing revegetation and landscaping.

Emergency Water Supply

An emergency water supply is required to aid in the defense of the structures from a wildfire and assist in firefighting efforts. This may include, but is not limited to, a hydrant on a public water system, a dry hydrant in a local water source, a community cistern, or an individual cistern. Contact Chief John Benson of the Boulder Mountain Fire Protection District for their requirements at 303-440-0235 and bouldermountainfire@gmail.com. If installing an individual cistern and the Fire Protection District does not have its own installation requirements follow the Boulder County publication: [Emergency Water Supply for Firefighting](#).

Emergency Vehicle Clearance

Emergency vehicle clearance is required to allow for safe ingress and egress of emergency vehicles. Emergency personnel try their best to respond to calls in a timely manner, often while negotiating difficult terrain. Planning for access by emergency vehicles improves safety for homeowners and their families by providing for a more efficient response by firefighters and other emergency personnel arriving on the scene. This is especially important in rural and mountainous areas where response times may be considerably longer than in cities, where emergency services are closer by. Refer to the Boulder County publication: [Driveway Access for Emergency Vehicles](#) for specific clearance-related requirements.

Timeline

After applying for, but prior to issuance of any permits, a Boulder County Wildfire Mitigation Specialist will contact you to schedule a Wildfire Partners or Regulatory Wildfire Mitigation assessment and defensible space marking. Based upon the compliance path selected, either a Wildfire Partners Assessment report or a Wildfire Mitigation Plan will be created to describe the wildfire mitigation requirements.

Before scheduling rough framing inspections, the plan's defensible space and water supply portion must be implemented and inspected by the Land Use Department. All trees marked for removal must be cut, and all slash, cuttings, and debris must be removed and/or properly disposed of. The [Fire Sprinkler or Fire Cistern Approval Form](#) must be submitted to the Boulder County Building Safety & Inspection Services at ezbp@bouldercounty.org (or P.O. Box 471, Boulder, Colorado, 80306) after the fire protection district completes the applicable portion of the form. If an individual cistern was required, it must be located on-site in an appropriate location (subject to

ATTACHMENT B

approval by the fire protection district), fitted with an appropriate dry hydrant connection, and be filled, and tested by the local fire protection district.

At the time of final inspection, all remaining required items in the Wildfire Partners Assessment report or the Wildfire Mitigation Plan are to be fully implemented and inspected. Ground surfaces within three feet of both existing and new structures, and at least 2 feet beyond the driplines of decks, bay windows, and other eaves and overhangs, must be covered with an allowable non-combustible ground cover over a weed barrier material. The driveway vertical and horizontal vegetation clearance must be in place and conform to the Parcel Access Design Standards in the [Boulder County Multimodal Transportation Standards](#).

If the applicants should have questions or need additional information, we'd be happy to work with them toward solutions that meet minimum land use and building code requirements. I can be reached at 720-564-2625 or via e-mail at kmccatty@bouldercounty.org.

ATTACHMENT B



Right of Way & Permits

1123 West 3rd Avenue
Denver, Colorado 80223
Telephone: **303.571.3306**
Facsimile: 303. 571. 3284
donna.l.george@xcelenergy.com

July 27, 2022

Boulder County Community Planning and Permitting
PO Box 471
Boulder, CO 80306

Attn: Andy Vieth

Re: Nagle Warner Residence and Studio, Case #s LU-22-0019 and SPR-22-0050

Public Service Company of Colorado's (PSCo) Right of Way & Permits Referral Desk has reviewed the documentation for **Nagle Warner Residence and Studio**. Please be aware PSCo owns and operates existing overhead electric distribution facilities within the subject property. The property owner/developer/contractor must complete the application process for any new electric service, or modification to existing facilities via xcelenergy.com/InstallAndConnect. It is then the responsibility of the developer to contact the Designer assigned to the project for approval of design details.

If additional easements need to be acquired by separate PSCo document, a Right-of-Way Agent will need to be contacted.

As a safety precaution, PSCo would like to remind the developer to call the Utility Notification Center by dialing 811 for utility locates prior to construction.

Donna George
Right of Way and Permits
Public Service Company of Colorado dba Xcel Energy
Office: 303-571-3306 – Email: donna.l.george@xcelenergy.com