



Community Planning & Permitting

Courthouse Annex • 2045 13th Street • Boulder, Colorado 80302 • Tel: 303.441.3930 • Fax: 303.441.4856
Mailing Address: P.O. Box 471 • Boulder, Colorado 80306 • www.bouldercounty.org

**BOULDER COUNTY
BOARD OF ADJUSTMENT
PUBLIC HEARING**

April 5, 2023 at 4:00 p.m.

All Board of Adjustment public hearings will be offered in a hybrid format where attendees can join **through Zoom** or **in-person** at the Boulder County Courthouse, 3rd Floor, 1325 Pearl Street, Boulder.

PUBLIC HEARING

STAFF PLANNER: Sam Walker, Planner II

RECOMMENDATION: Denial of Variance Request

Docket VAR-23-0002: Stevenson Variance

Request:	Variance request to reduce the required side-yard setback from 25 feet (required) to 18 feet (proposed)
Location:	32050 Coal Creek Canyon Drive (aka SH72), approximately 150 feet east of the intersection of Coal Creek Canyon Drive and Copperdale Lane, in Section 32, T1S, R71W.
Zoning:	Forestry (F) Zoning District
Agent:	Guy Stevenson
Property Owners:	Ben Timm & Melissa Antone

PACKET CONTENTS:

Item	Pages
○ Staff Recommendation	1 – 8
○ Application Materials (Attachment A)	A1 – A21
○ Referral Agency Responses (Attachment B)	B1 – B12

SUMMARY

The applicant requests a 7-foot reduction of the 25-foot required side yard setback in the Forestry zoning district to facilitate the construction of a residential addition on the western façade of the existing residence. Staff recommends that this variance request be denied because all of the review criteria in Article 4-1202(B)(2) of the Boulder Country Land Use Code (the Code) cannot be met.

DISCUSSION

The subject property is located on the south side of Coal Creek Canyon Drive (also known as, and heretofore referred to, as SH72), approximately 150 feet east of the intersection of SH72 and Copperdale Lane. The property is approximately 1.6 acres in size, is located in the Forestry zoning district, and is a legal building lot. Access to the parcel is via an existing driveway onto SH72.

The existing residence is a two-story design that follows the slope, and therefore the first floor living area varies in elevation. As illustrated in Figures 1 and 2 below, the bulk of the first floor living area (red outline) is elevated approximately 1' 9" above the garage level (green outline), which is in turn elevated approximately 1' above the floor of the first-floor bedroom (blue outline).

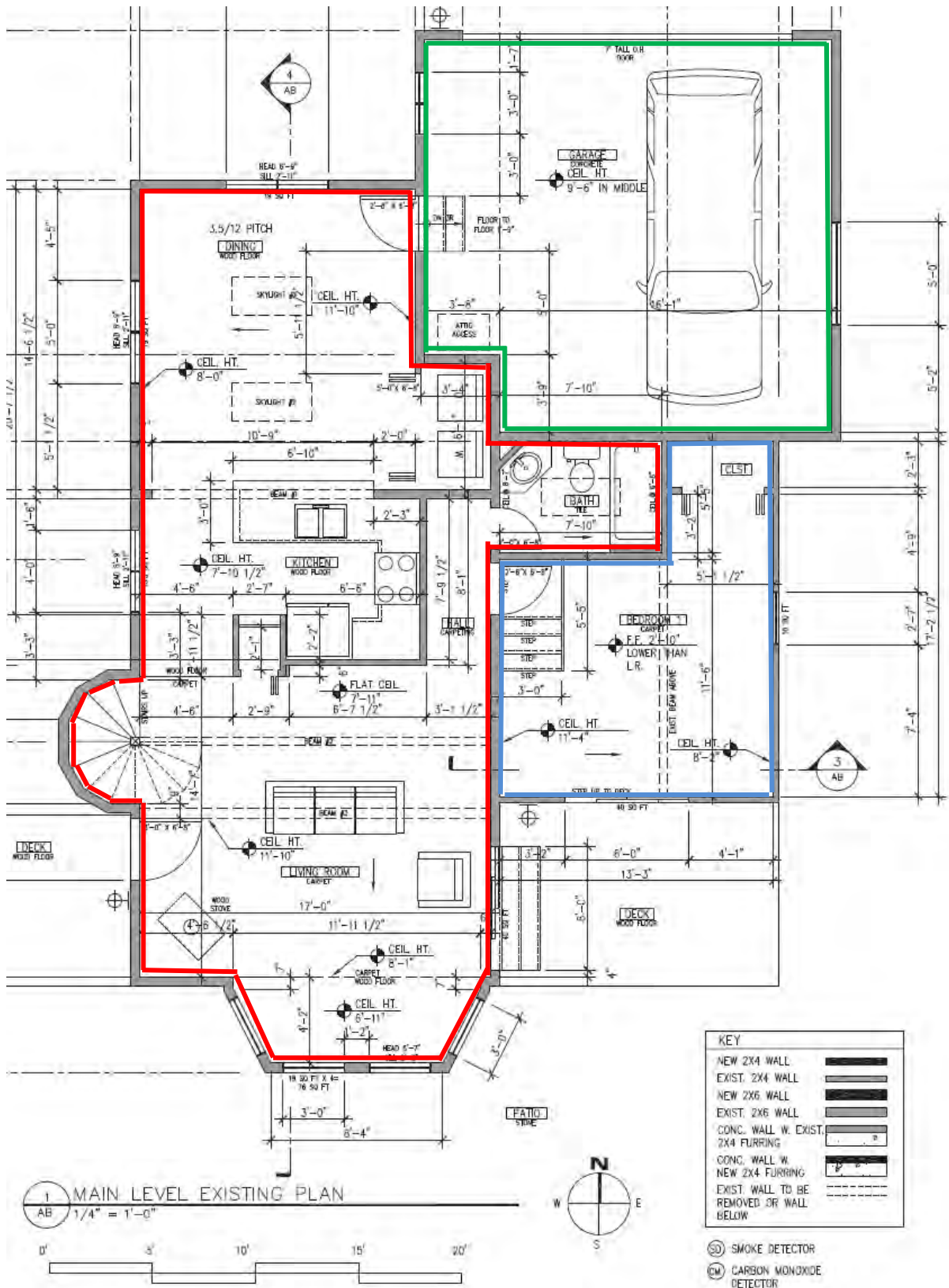


Figure 1: Existing residence main-level floor plan, with areas of differing elevation identified by red (highest elevation, including dining area, kitchen, and living room), green (middle elevation, garage), and blue (lowest elevation, bedroom)

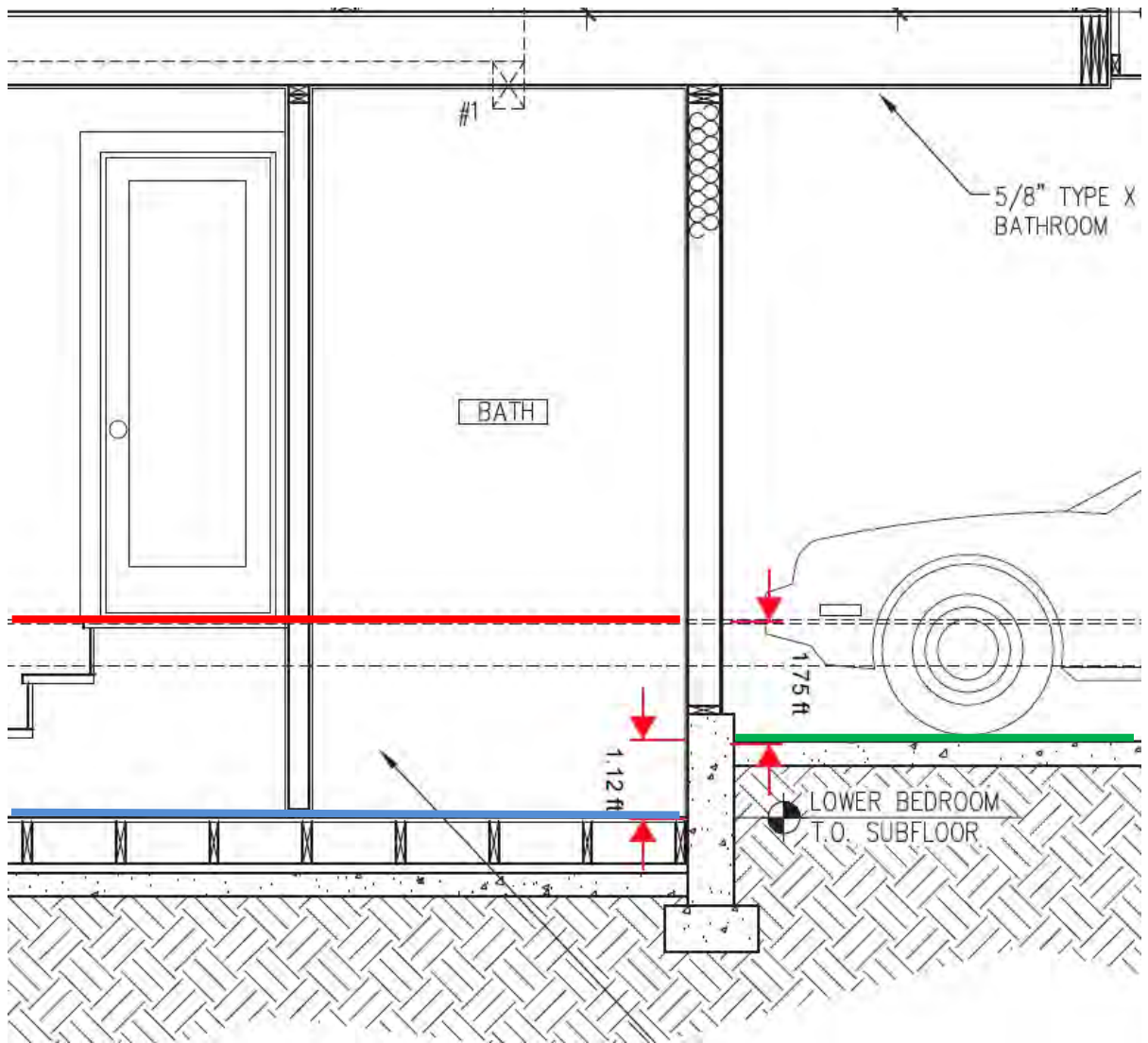


Figure 2: Detail of first-floor residence section with areas of differing elevation identified by red, green, and blue lines to match Figure 1, as well as elevation measurements indicated by red arrows.

The second floor of the structure is accessed via an internal spiral staircase. The staircase is enclosed by a round wall which extends beyond the otherwise flat plane of the western wall of the residence, but meets the required setback. The applicant's hardship statement indicates that this spiral staircase is unsafe and does not meet several current code requirements. The applicants propose to replace the spiral staircase with a larger u-shaped staircase in the same location, requiring a bump-out that will protrude approximately 7 feet into the required side-yard setback. They also propose a mudroom addition directly south of the stairway bump-out to take advantage of the setback reduction and add an enclosed entry to an exterior door. Figure 3, below, shows a detail view of the applicants' site plan, showing the proposal, setbacks, and a comparison to the existing layout. Figure 4 shows a detail view of the interior layout of the desired western addition that necessitates this variance request.

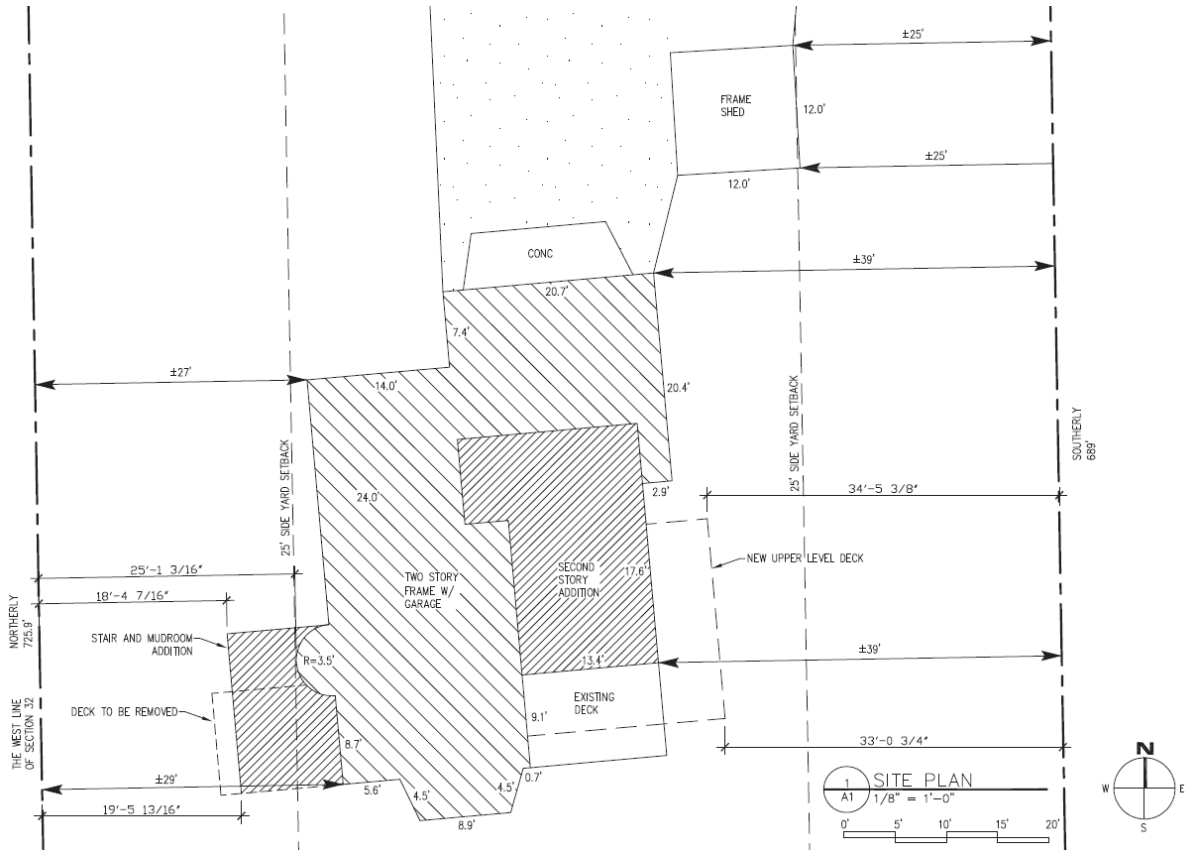


Figure 3: Applicants' proposed site plan, including proposed additions on the western building façade as well as a proposed second-floor addition

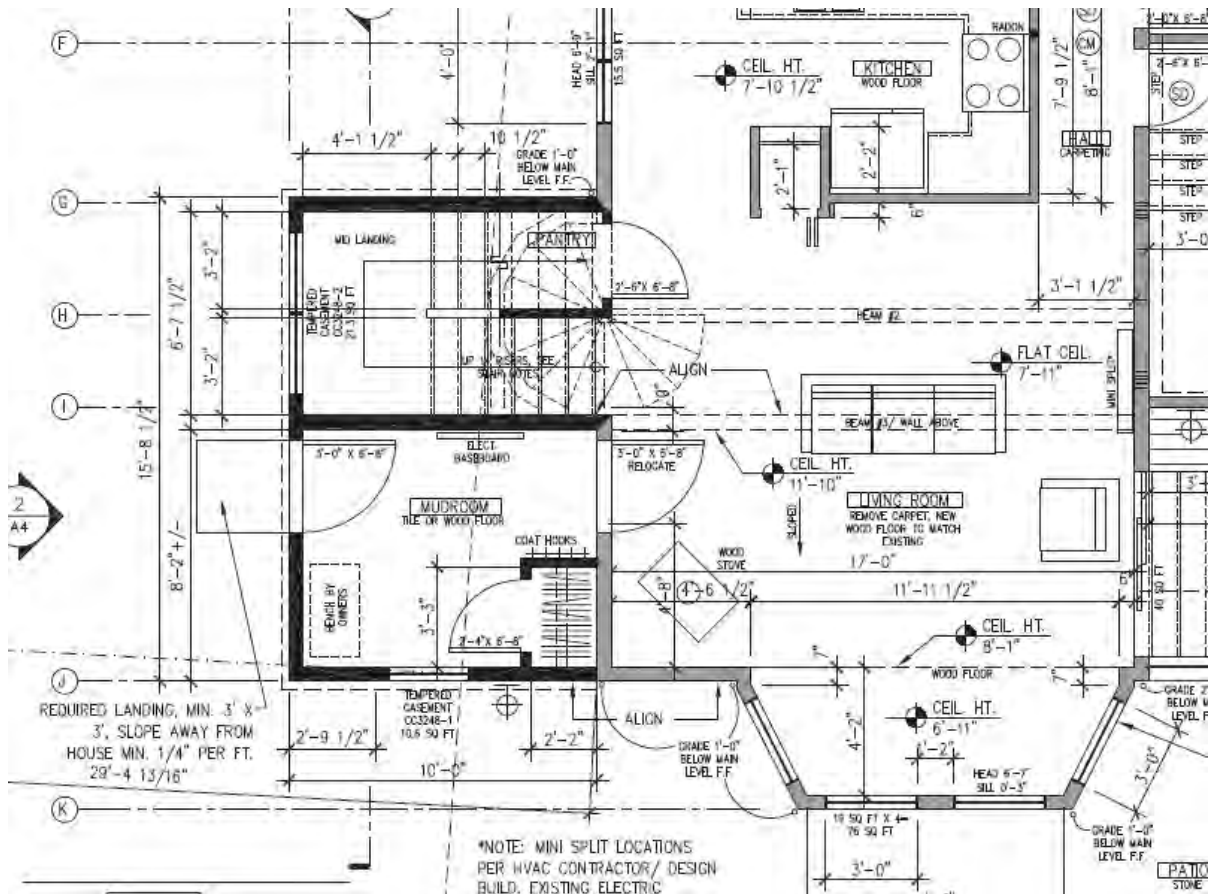


Figure 4: Detail view of interior layout for the proposed staircase and mudroom addition to the western façade of the residence.

The applicant’s hardship statement indicates that the differing elevations on the first-floor level are the reason for the variance request; they state that the interior layout of the residence prevents the addition of a stairway that provides adequate access to the existing second floor anywhere except for on the western side of the structure. Alternative locations for a new stairway would compromise the utility of the first floor living area.

A residential addition on the second floor of the residence is also part of their overall project, but it does not require a variance from setbacks. The proposed second floor addition will be reviewed as part of a Site Plan Review Waiver application following the conclusion of the variance review.

REFERRALS

The variance request was sent to property owners within 1,500 feet of the subject property, as well as all applicable referral agencies. Responses received by staff are attached to this staff recommendation (Attachments B and C) and summarized below.

Boulder County Building Safety & Inspection Services Team: This team expressed no concerns with the variance request, and noted requirements for the additions if approved, including building permits, wind and snow loads, Buildsmart, ignition-resistant materials and defensible space, and Plan Review.

Boulder County Development Review Team – Access & Engineering: This team confirmed that the property is legally accessed via SH72, that no improvements to the access drive would be required as part of the Variance process, and noted no conflicts with the proposed variance.

Boulder County Wildfire Mitigation Team: The Wildfire team referral response noted that wildfire mitigation would be required for any development on the parcel, but indicated that they could support the proposed variance if materials with increased ignition resistance were required for the stair and mudroom addition.

Agencies indicating no conflicts: Boulder County Parks & Open Space, Boulder County Public Health.

Agencies that did not respond: Boulder County Long Range Planning, Boulder County Assessor, Boulder County Attorney's Office, Boulder County Surveyor, Coal Creek Canyon Improvement Association, United Power, Gilpin County CDD, Jefferson County Planning, Boulder Valley & Longmont Conservation Districts, Colorado Department of Transportation.

Adjacent Property Owners – 112 referrals were sent to nearby property owners, and staff received no responses from members of the public.

CRITERIA ANALYSIS

Per Article 3-100.A.18 of the Code the Board of Adjustment (BOA) may approve a variance from the terms of the Code as set forth in Article 4-1200. To grant a variance, the BOA must find that the following criteria from **Article 4-1202(B)(2)** of the Code are satisfied:

(a) *There exist exceptional or extraordinary physical circumstances of the subject property such as irregularity, narrowness, shallowness, or slope;*

Staff do not find that the subject parcel is encumbered by extraordinary or exceptional physical circumstances. The parcel slopes generally downward from north to south, but the area surrounding the existing residence is relatively flat and has previously been developed. While the parcel is narrow, 100 feet wide for its entire north-south length, the required setbacks in the Forestry zoning district where it is located leave a 50-foot wide area in the center of the parcel where development could occur in compliance with the required setbacks.

Therefore, staff finds this criterion is not met.

(b) *Because of these physical circumstances, the strict application of the Code creates an exceptional or undue hardship upon the property owner;*

Because staff do not find that there are exceptional or extraordinary physical circumstances on the parcel, the strict application of the Code does not create an exceptional or undue hardship on the property owner.

Therefore, staff finds this criterion is not met.

(c) *The hardship is not self-imposed;*

Staff have not identified a hardship on the parcel that would justify the proposed setback reduction. The hardship statement included with the application materials indicates that the interior layout of the existing residence precludes construction of a second-floor access that will meet setbacks without limiting utility of existing first-floor rooms.

Therefore, staff finds this criterion is not met.

(d) *The variance, if granted, will not adversely affect the uses of adjacent property as permitted under this code;*

Staff do not anticipate that the proposed variance will adversely affect the uses of adjacent properties as permitted under the Code, nor has any referral agency or nearby property owner responded with such a concern. The proposed variance would still leave an 18-foot setback between the stair addition and the western parcel boundary, and the western-adjacent neighbor is unlikely to develop the area of their property near the proposed setback reduction because of the small area between Copperdale Lane and their eastern property line.

Therefore, staff finds this criterion is met.

(e) The variance, if granted, will not change the character of the zoning district in which the property is located, and is in keeping with the intent of the Code and the Boulder County Comprehensive Plan;

Staff do not have concerns that the variance will change the character of the zoning district in which the property is located if granted. Aerial photographs of the area around the subject parcel indicate that many nearby properties also have development that approaches or possibly encroaches on setbacks.

Therefore, staff finds that this criterion is met.

(f) The variance, if granted, does not adversely affect the health, safety, and welfare of the citizens of Boulder County and is in accordance with the Comprehensive Plan and any applicable intergovernmental agreement affecting land use or development.

There is no indication that the proposed variance would adversely affect the health, safety, or welfare of Boulder County citizens, and no referral agency or nearby property owners responded with such concerns.

Therefore, staff finds this criterion is met.

RECOMMENDATION

As discussed above, staff find that three of the criteria for a variance cannot be met. Therefore, Community Planning & Permitting staff recommend that the Board of Adjustment **DENY Docket VAR-23-0002: Stevenson Variance.**

If the Board of Adjustment approves the request for variance, staff recommends the following conditions:

- 1) The reduced side-yard setback of 18' 4" is only approved for the stair and mudroom addition proposed in the application materials for this variance and BP-23-0304.
- 2) The proposed additions and any future expansions are otherwise subject to the provisions of the Boulder County Land Use Code and shall be reviewed for approval in the appropriate process as required by the provisions of the Boulder County Land Use Code (as amended) including Site Plan Review Waiver, Site Plan Review, or other applicable process.
- 3) All future development is subject to applicable permitting and setback requirements.
- 4) Building permits are required for all proposed improvements.



Boulder County Land Use Department

Courthouse Annex Building
2045 13th Street • PO Box 471 • Boulder, Colorado 80302
Phone: 303-441-3930 • Fax: 303-441-4856
Email: planner@bouldercounty.org
Web: www.bouldercounty.org/lu
Office Hours: Mon., Wed., Thurs., Fri. 8 a.m. to 4:30 p.m.
Tuesday 10 a.m. to 4:30 p.m.

Shaded Areas for Staff Only

Intake Stamp

Application Form

Project Number		Project Name			
<input type="checkbox"/> Limited Impact Special Use <input type="checkbox"/> Limited Impact Special Use Waiver <input type="checkbox"/> Modification of Special Use <input type="checkbox"/> Site Plan Review <input type="checkbox"/> Site Plan Review Waiver <input type="checkbox"/> Subdivision Exemption <input type="checkbox"/> Exemption Plat <input type="checkbox"/> 1041 State Interest Review <input type="checkbox"/> Other:		Application Deadline: First Wednesday of the Month <input checked="" type="checkbox"/> Variance <input type="checkbox"/> Appeal	Application Deadline: Second Wednesday of the Month <input type="checkbox"/> Sketch Plan <input type="checkbox"/> Preliminary Plan <input type="checkbox"/> Final Plat <input type="checkbox"/> Resubdivision (Replat) <input type="checkbox"/> Special Use/SSDP		<input type="checkbox"/> Rezoning <input type="checkbox"/> Road/Easement Vacation <input type="checkbox"/> Location and Extent <input type="checkbox"/> Road Name Change
Location(s)/Street Address(es) 32050 Coal Creek Canyon					
Subdivision Name Walker Ranch Area					
Lot(s)	Block(s)	Section(s) 32	Township(s) 1S	Range(s) 71	
Area in Acres 1.57	Existing Zoning F	Existing Use of Property Single Family Home		Number of Proposed Lots 1 (no change)	
Proposed Water Supply Existing well		Proposed Sewage Disposal Method Septic			

Applicants:

Applicant/Property Owner Ben Timm and Melissa Antone			Email Address benjaminblaketimm@gmail.com	
Mailing Address 32050 Coal Creek Canyon				
City Golden	State CO	Zip Code 80403	Phone 720-625-0886	Fax
Applicant/Property Owner/Agent/Consultant			Email Address	
Mailing Address				
City	State	Zip Code	Phone	Fax
Agent/Consultant Guy Stevenson			Email Address guy@guystevensondesigns.com	
Mailing Address 3013 Lee Hill Drive				
City Boulder	State CO	Zip Code 80302	Phone 303 447 0774	Fax

Certification (Please refer to the Regulations and Application Submittal Package for complete application requirements.)

I certify that I am signing this Application Form as an owner of record of the property included in the Application. I certify that the information and exhibits I have submitted are true and correct to the best of my knowledge. I understand that all materials required by Boulder County must be submitted prior to having this matter processed. I understand that public hearings or meetings may be required. I understand that I must sign an Agreement of Payment for Application processing fees, and that additional fees or materials may be required as a result of considerations which may arise in the processing of this docket. I understand that the road, school, and park dedications may be required as a condition of approval.

I understand that I am consenting to allow the County Staff involved in this application or their designees to enter onto and inspect the subject property at any reasonable time, without obtaining any prior consent.

All landowners are required to sign application. If additional space is needed, attach additional sheet signed and dated.

Signature of Property Owner <i>Benjamin Blake Timm</i>	Printed Name Ben Timm	Date 2/5/2023
Signature of Property Owner <i>Melissa Antone</i>	Printed Name Melissa Antone	Date 2/5/2023

The Land Use Director may waive the landowner signature requirement for good cause, under the applicable provisions of the Land Use Code.



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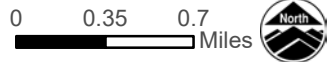
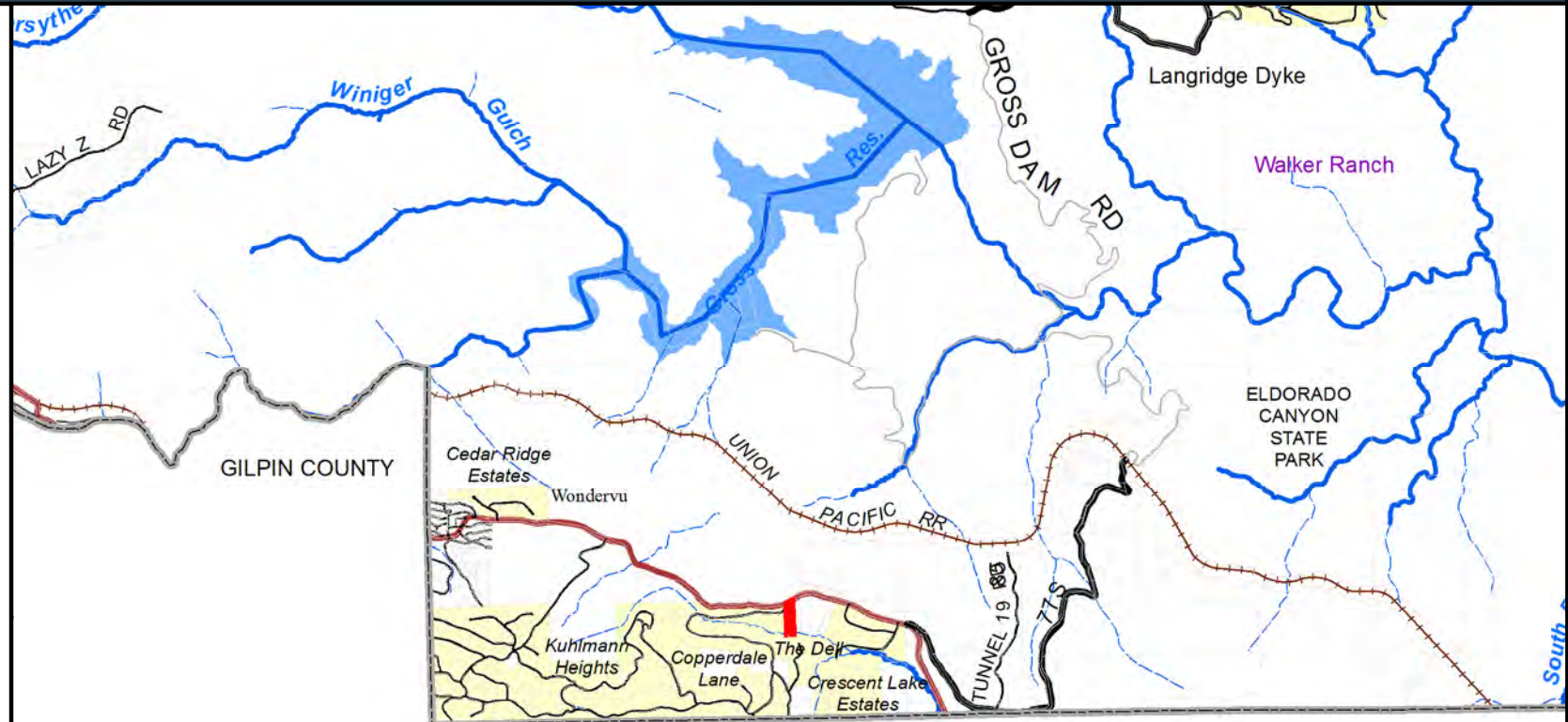
Vicinity

32050 COAL CREEK CANYON DR

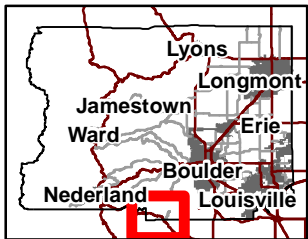
Subject Parcel

Subdivisions

Subdivisions



Area of Detail Date: 9/21/2022



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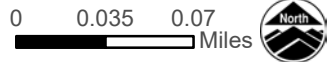
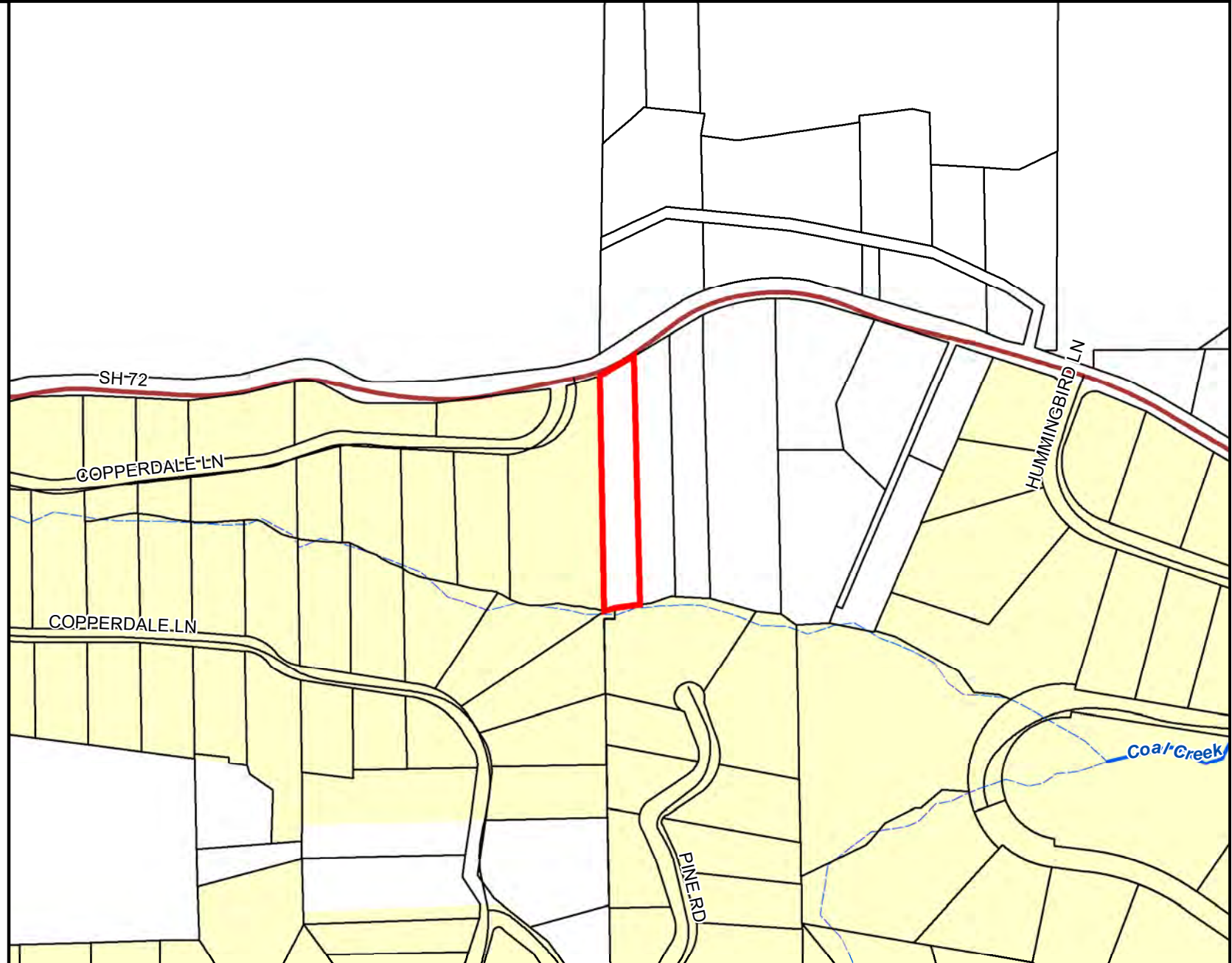
Location

32050 COAL CREEK CANYON DR

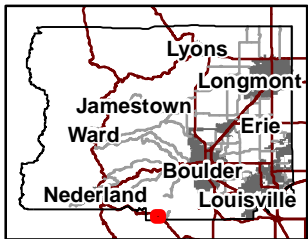
Subject Parcel

Subdivisions

Subdivisions



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Aerial

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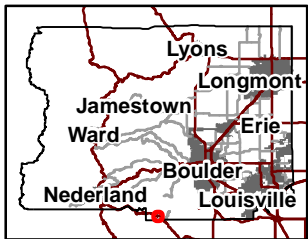
 Subject Parcel



0 0.015 0.03
Miles



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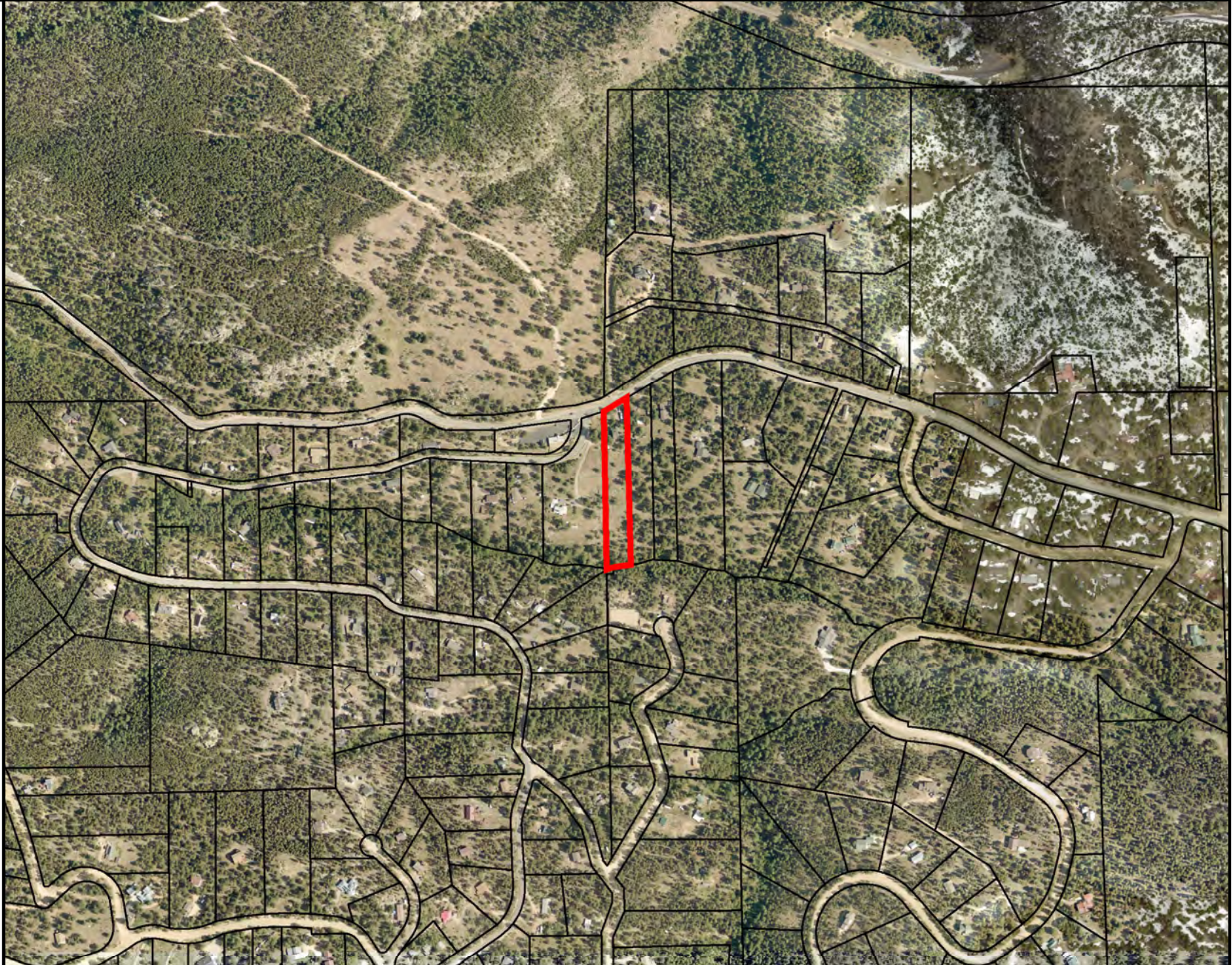
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Aerial

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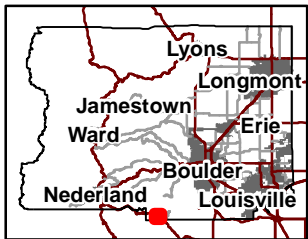
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Area of Detail Date: 9/21/2022



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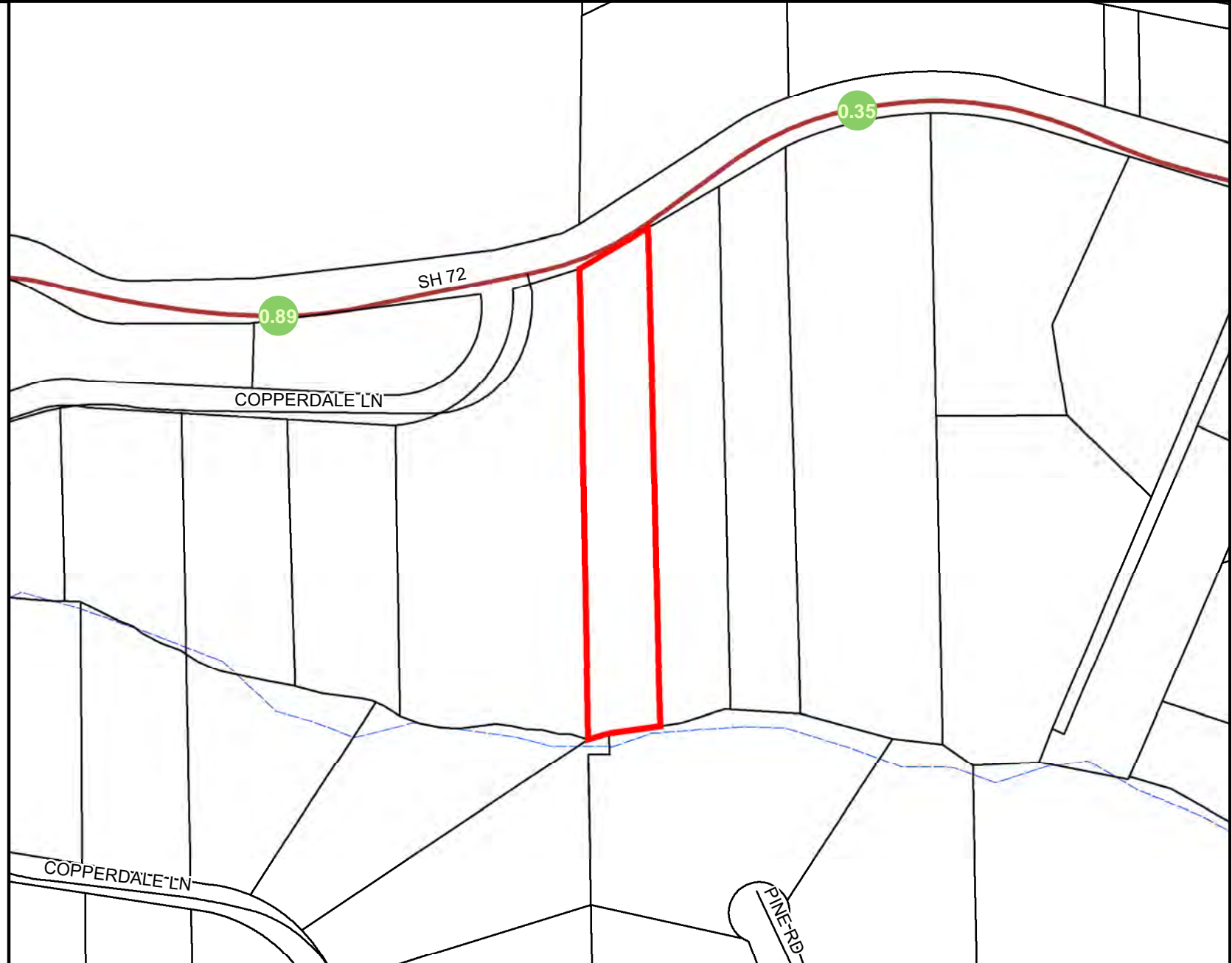


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Comprehensive Plan
32050 COAL CREEK CANYON DR

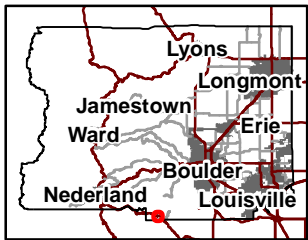
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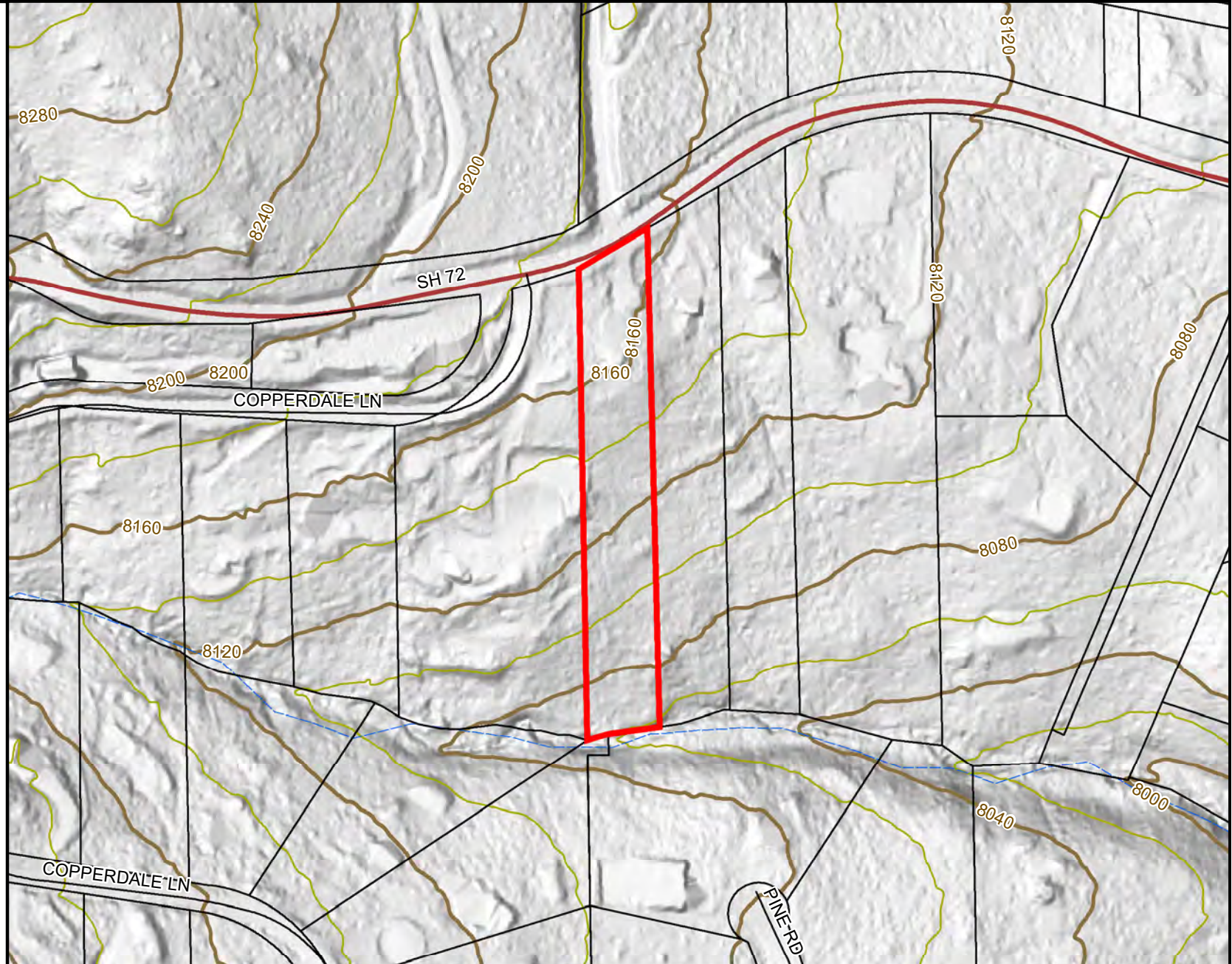
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Elevation Contours

32050 COAL CREEK CANYON DR

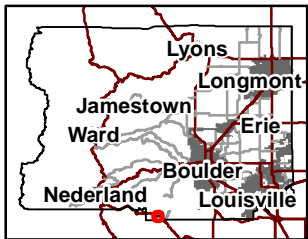
- Subject Parcel
- Contours 40'
- Contours 20'



0 0.015 0.03 Miles



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Floodplain

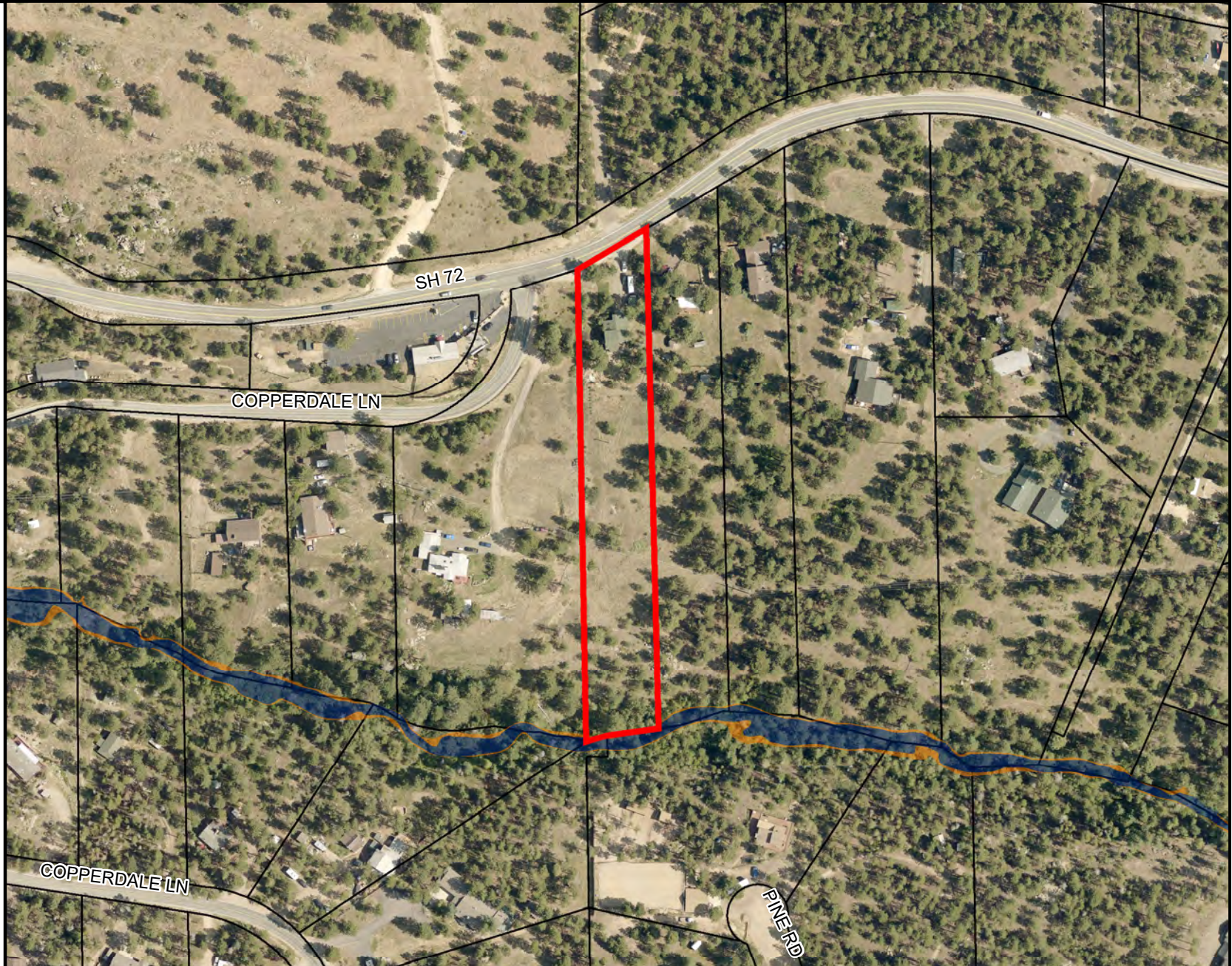
32050 COAL CREEK CANYON DR

Subject Parcel

Floodplain

Floodway

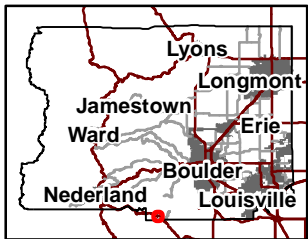
500-Year Floodplain
- Zone X500



0 0.015 0.03 Miles



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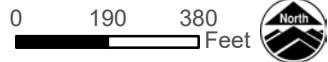
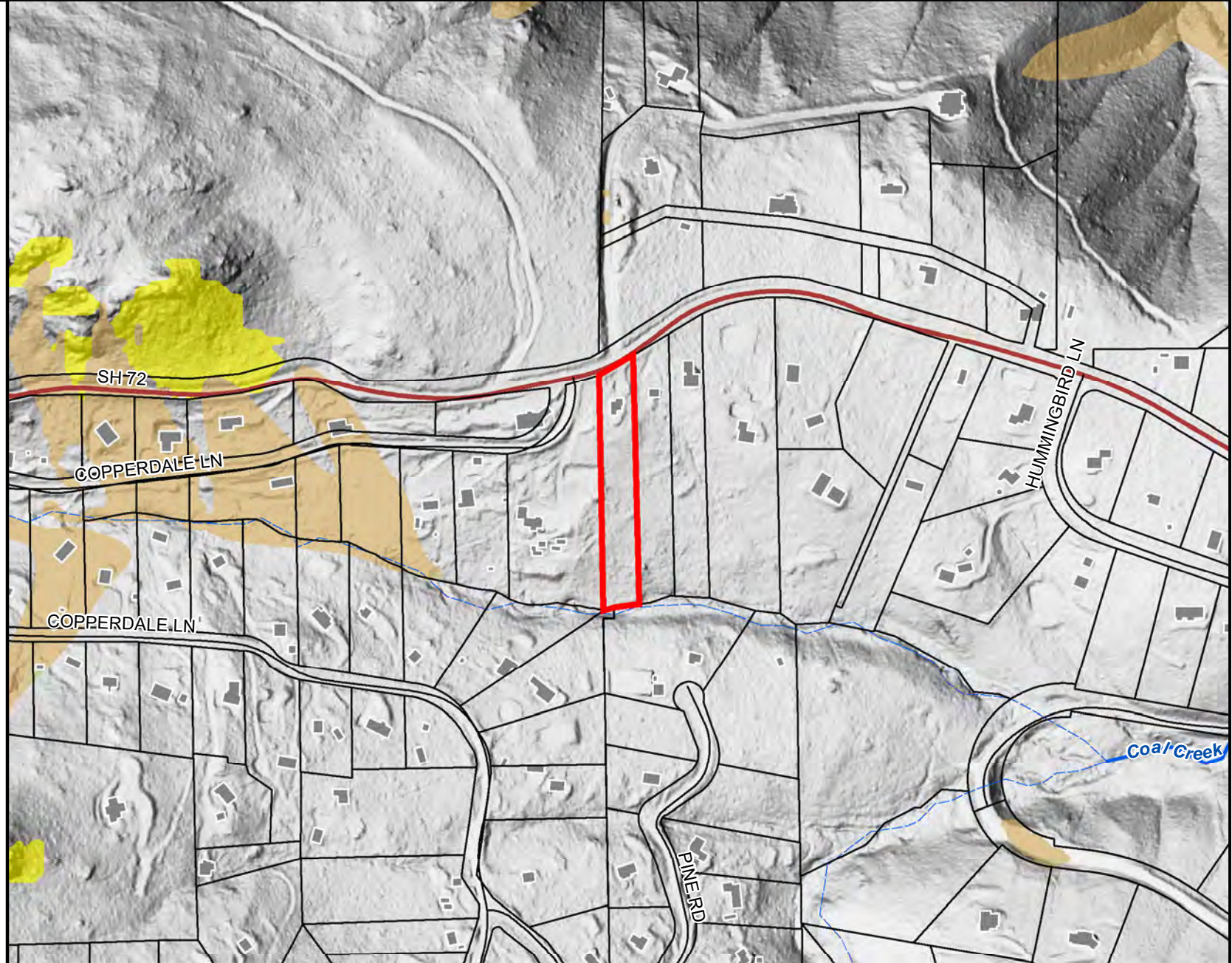
Community Planning & Permitting

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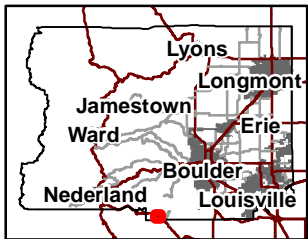
Geologic Hazards

32050 COAL CREEK CANYON DR

 Subject Parcel



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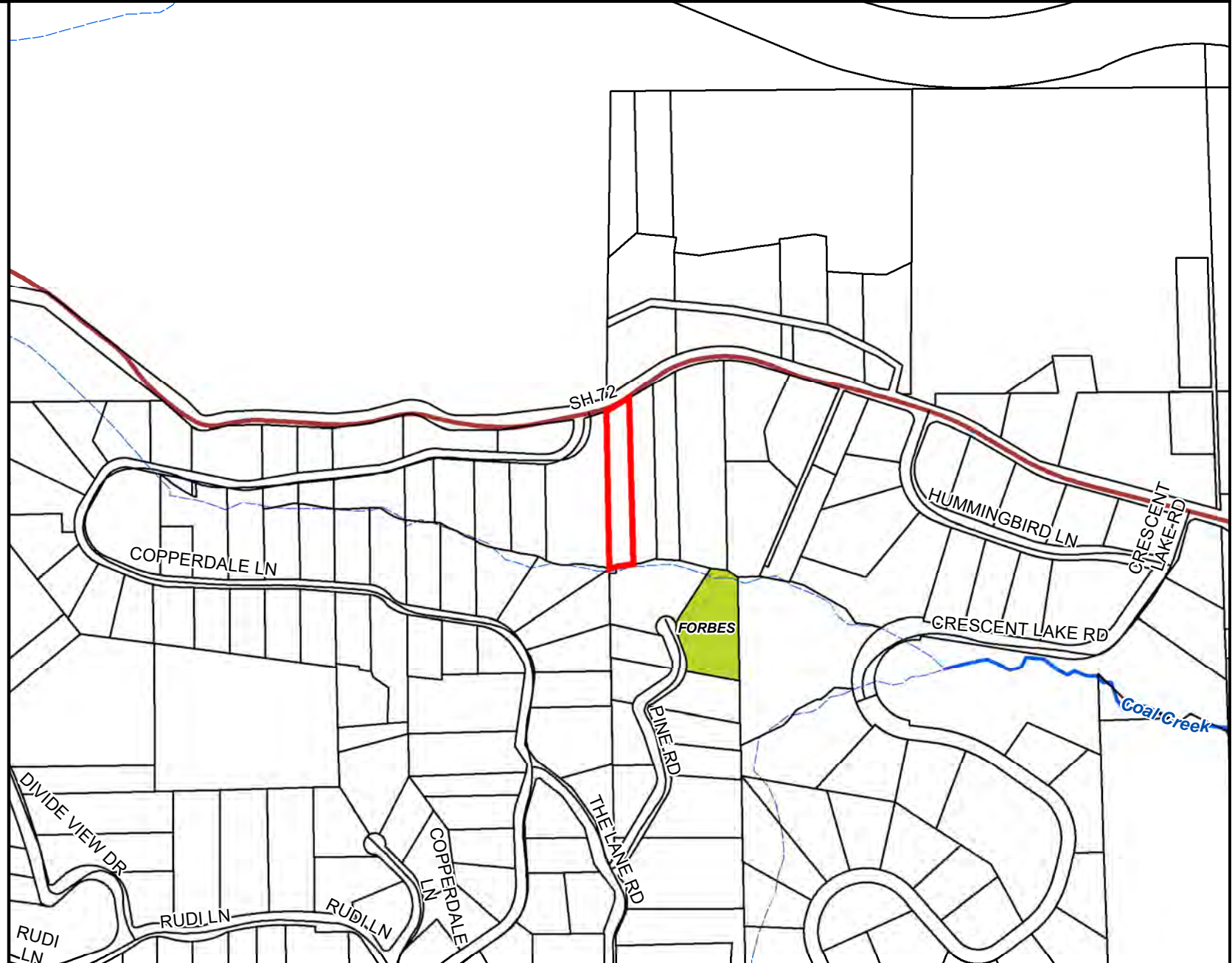
Public Lands & CEs

32050 COAL CREEK CANYON DR

Subject Parcel

Boulder County Open Space

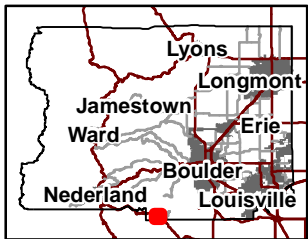
County Conservation Easement



0 0.05 0.1 Miles



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Zoning

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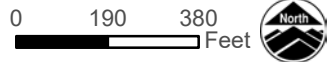
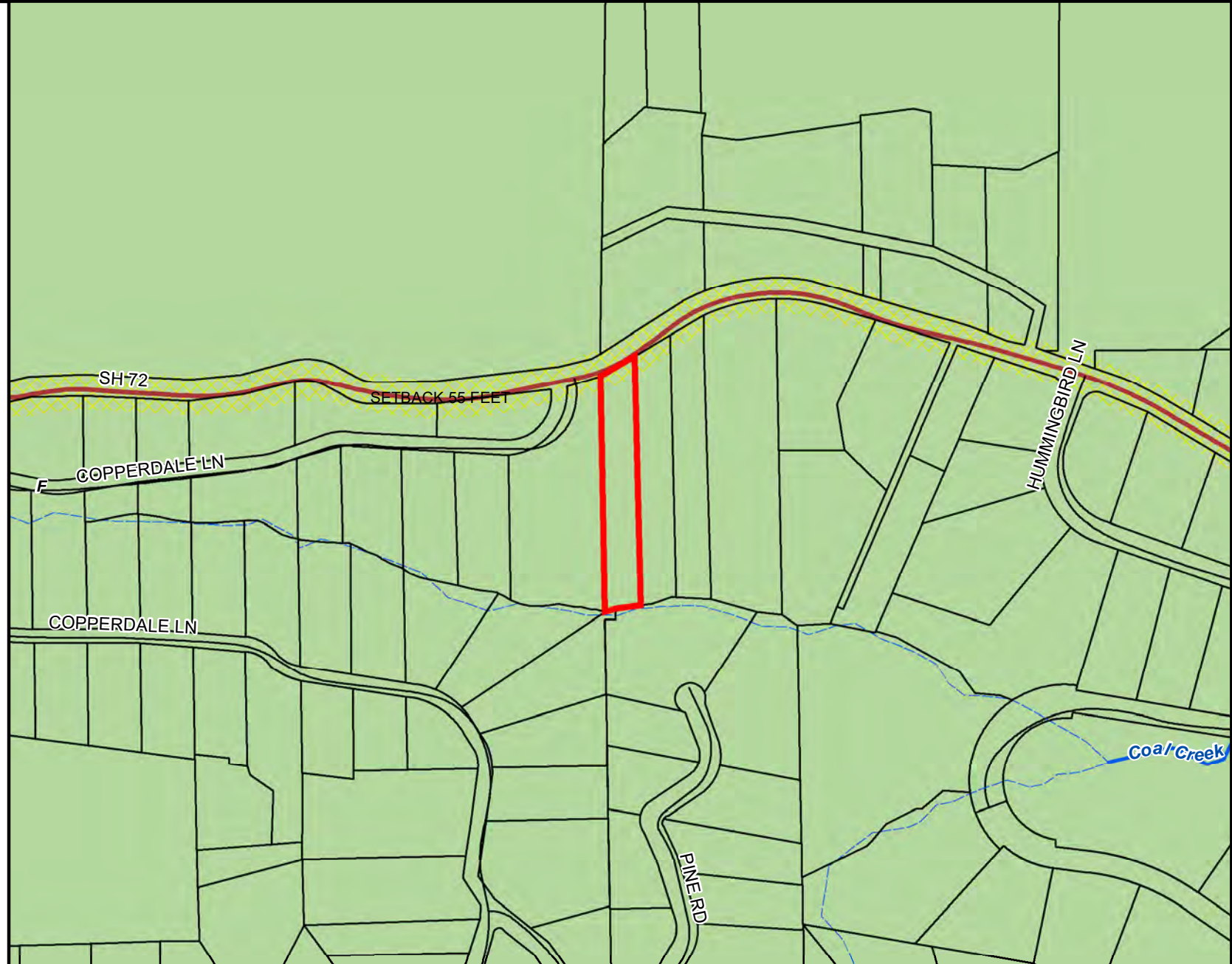
Subject Parcel

Zoning Districts

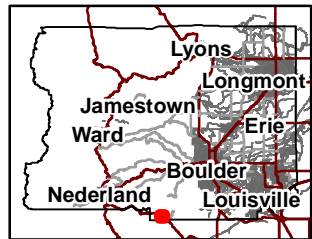
Forestry

Major Road Setbacks

55 feet



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 Email: planner@bouldercounty.org •
<http://www.bouldercounty.org/lu/>
 Office Hours: Monday – Friday 8:00 AM to 4:30 PM

Intake Stamp:

Docket #:

Board of Adjustment (BOA) Hardship Statement

Explain how the following hardship criteria for granting a variance have been satisfied. Please feel free to attach your statements using a separate piece of paper.

- A. There exists exceptional or extraordinary physical circumstances of the subject property such as irregularity, narrowness, shallowness, or slope.

Existing house sits on a very narrow lot that is only 100' wide. House is zoned Forestry with 25' side yard setbacks which only leaves a 50' wide building envelope.

- B. Because of these physical circumstances, the strict application of this Code would create an exceptional or undue hardship up the property owner.

The owners are looking to replace the stairs that lead from the main level to the upper level. The existing stairs are extremely unsafe and the family just had their first child. Existing stairs do not meet the code requirements for treads, risers, stair width, headroom, handrails or guardrails.

The only location in the house that is feasible for the new stairs is along the West wall where the current stairs are. Locating the stairs on the North is not possible due to the 5'-6" ceiling height in the Sitting Area above. Stairs to the South of the Sitting Room would mean locating the stairs in the middle the Living Room. Stairs on the East would involve having to go through the bedroom to access the stairs.

- C. The hardship is not self-imposed.

The house is existing and was located near the West setback when the house was built. Non-conforming stairs seem be original.

- D. The variance, if granted, will not adversely affect the use of adjacent property as permitted under this Code.

The addition on the West as drawn would not adversely affect the adjacent property owner.

- E. That the variance, if granted, will not change the character of the zoning district in which the property is located, and is in keeping with the intent of this Code and the *Boulder County Comprehensive Plan*; and,

Addition as drawn would not adversely affect the character of the zoning district and is in keeping with the intent of this Code and the Boulder Comprehensive Plan. Ironically, it would appear that none of the adjacent properties that have the same narrow lots meet the 25' side yard setback

- F. That the variance, if granted, does not adversely affect the health, safety, and welfare of the citizens of Boulder County.

If the variance was granted it would not adversely affect the health, safety and welfare of the citizens of Boulder. The new stairs would actually have a positive affect on the health and safety of the homeowners given the unsafe nature of the existing stairs.

Applicant or Agent Signature:

Guy Stevenson

Date:

2/3/2023

TIMM/ANTONE RESIDENCE ADDITION AND REMODEL 32050 COAL CREEK CANYON GOLDEN, COLORADO

**STEVENSON
DESIGNS**
3013 LEE HILL DRIVE
BOULDER, CO 80302
303-447-0774

GUY@
GUYSTEVENSON
DESIGNS.COM

VERIFY ALL DIMENSIONS PRIOR TO START OF WORK. DO NOT SCALE DRAWINGS. IMMEDIATELY NOTIFY DESIGNER OF ANY DISCREPANCIES OR DEVIATIONS FROM THE DRAWINGS. ENGINEER'S DRAWINGS TAKE PRECEDENCE OVER STEVENSON DESIGNS DRAWINGS. LARGE SCALE DRAWINGS TAKE PRECEDENCE OVER SMALL SCALE DRAWINGS. INSTALL ALL MATERIALS AND EQUIP. PER MANUFACTURER'S DIRECTION. ALL WORK TO COMPLY WITH ALL APPLICABLE CODES.

OWNER
BENJAMIN TIMM
MELISSA ANTONE
32050 COAL CREEK CANYON
GOLDEN, CO 80403

CONTRACTOR
HOMEOWNER TO ACT AS G.C.

PROJECT INFO

PROJECT DESCRIPTION:
EXISTING HOME MAIN LEVEL 1362 SQ. FT.
EXISTING UPPER LEVEL 255 SQ. FT.
PROPOSED MAIN ADDITION 157
PROPOSED UPPER ADDITION 427 SQ. FT.
TOTAL SQ. FT. X SQ. FT.
LOT SIZE X SQ. FT.
APPLICABLE CODE: 2015 IRC

SHEET INDEX

- A1 SITE PLAN
- A2 PROPOSED PLANS
- A3 PROPOSED PLANS
- AB AS-BUILT PLANS
- A4 SECTIONS
- A5 ELEVATIONS
- S1 STRUCTURAL
- S2 STRUCTURAL
- S3 STRUCTURAL
- S4 STRUCTURAL
- EN ENERGY CODE

DESIGNER

STEVENSON DESIGNS
GUY STEVENSON
3013 LEE HILL DRIVE
BOULDER, CO 80302
PH. 303-447-0774
GUY@GUYSTEVENSONDESIGNS.COM

STRUCTURAL ENGINEER

GLENN FRANK ENGINEERING
P.O. BOX 20708
BOULDER CO 80308
PH. 303-554-9591
FAX 303-554-9592

GENERAL NOTES*

1. WORK IS TO BE PERFORMED IN COMPLIANCE WITH ALL APPLICABLE BUILDING CODES.
2. CONTRACTOR TO FIELD VERIFY ALL CONDITIONS PRIOR TO START OF WORK AND NOTIFY S.D. (STEVENSON DESIGNS) OF ANY AND ALL DISCREPANCIES.
3. CONTRACTOR TO OBTAIN ALL REQUIRED PERMITS PRIOR TO START OF ANY CONSTRUCTION OR DEMOLITION.
4. BUILDER TO LOCATE ALL EXISTING UTILITIES PRIOR TO START OF ANY WORK.
5. IF NO GEOTECHNICAL REPORT HAS BEEN PROVIDED, AN OPEN HOLE INSPECTION SHALL BE COORDINATED WITH AN APPROVED SOILS ENGINEER AFTER EXCAVATION, BUT PRIOR TO SETTING OF ANY FORMWORK. RESULTS ARE TO BE FORWARDED TO THE ARCHITECT AND THE STRUCTURAL ENGINEER.
6. UNLESS OTHERWISE INDICATED OR NOT FEASIBLE, PROVIDE POSITIVE DRAINAGE AWAY FROM THE BUILDING FOR A MINIMUM OF 10'.
7. UNLESS OTHERWISE NOTED, ALL EXTERIOR WALLS SHALL BE 2X6'S AT 16" O.C. AND INTERIOR WALLS SHALL BE 2X4'S AT 16" O.C.
8. ALL INTERIOR WALLS SHALL RECEIVE INSULATION UNLESS OTHERWISE INSTRUCTED.
9. ALL EXPOSED ROOF PENETRATIONS SUCH AS VENTS AND FLUES SHALL BE PAINTED TO MATCH THE SURROUNDING ROOF.
10. ALL MATERIALS AND EQUIPMENT SHALL BE INSTALLED PER THE MANUFACTURER'S INSTRUCTIONS. NOTIFY S.D. OF ANY DISCREPANCIES BETWEEN THE MANUFACTURER'S INSTRUCTIONS AND THE CONSTRUCTION DRAWINGS.
11. PROVIDE FIRE BLOCKING AS REQUIRED.
12. DO NOT SCALE DRAWINGS. IF A PARTICULAR DIMENSION IS NOT CLEARLY INDICATED CONTACT S.D. LARGE SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS. IF THERE IS A CONFLICT BETWEEN TWO DRAWINGS OF THE SAME AREA CONTACT S.D. STRUCTURAL DRAWINGS TAKE PRECEDENCE OVER S.D. DRAWINGS IN REGARDS TO STRUCTURAL ISSUES. IF THERE IS A CONFLICT BETWEEN THE STRUCTURAL DRAWINGS AND S.D. DRAWINGS CONTACT S.D.
13. TAKE CARE NOT TO DAMAGE EXISTING LANDSCAPING. PROVIDE ADEQUATE PROTECTION IN THE FORM OF HAY BALES AND SNOW FENCING AS REQUIRED.
14. VERIFY WITH OWNER WHETHER DRYWALL CORNERS SHALL BE RADIASED OR SQUARE.
15. SHOP DRAWINGS SHALL BE PROVIDED TO THE OWNER AND S.D. FOR CUSTOM CABINETRY.
16. OWNER TO APPROVE SAMPLES FOR PAINT, TILE, FLOORING, CABINETRY, DRYWALL FINISH, EXTERIOR FINISHES, ROOFING MATERIALS, GUTTERS, FASCIA MATERIAL AND SIZE, SOFFIT MATERIAL AND COLOR, WINDOWS, DOORS, INTERIOR AND EXTERIOR TRIM AND ANY AND ALL APPLANCES AND EQUIPMENT. IF WINDOW SPEC. IS CHANGED FROM THE CONSTRUCTION DOCUMENTS NOTIFY S.D.
17. IF TRUSSES ARE TO BE USED, PROVIDE A SET OF SHOP DRAWING TO S.D. AND STRUCTURAL ENGINEER FOR REVIEW.
18. EGRESS WINDOWS SHALL MEET THE FOLLOWING CRITERIA: CLEAR SILL HEIGHT SHALL BE A MAXIMUM OF 44" ABOVE THE FINISHED FLOOR, THE CLEAR WIDTH SHALL BE A MIN. 20", THE CLEAR HEIGHT SHALL BE A MIN. OF 24", AND THE TOTAL CLEAR OPENING SHALL BE A MIN. OF 5.7 SQ. FT. WINDOW WELLS (IF REQ.) SHALL BE A MIN. OF 36" DEEP, A MIN. OF 9 SQ. FT. AND SHALL BE PROVIDED WITH A LADDER IF REQ. BY CODE. VERIFY WITH WINDOW MANUFACTURERS WHETHER A PARTICULAR WINDOW MEETS EGRESS PRIOR TO PLACING ORDER. REQUIREMENTS FOR TEMPERED GLASS SHALL BE THE RESPONSIBILITY OF THE WINDOW AND DOOR SUPPLIER. ARCHITECT SHALL BE PROVIDED WITH A COPY OF WINDOW AND DOOR ORDER TO REVIEW.
19. COORDINATE LANDSCAPE AND EXTERIOR HARDSCAPE WITH OWNERS.
20. ALL ELECTRICAL, PLUMBING AND MECHANICAL SHALL BE DESIGN BUILD UNLESS OTHERWISE INDICATED AND SHALL BE PERFORMED PER ALL APPLICABLE CODES.
21. COORDINATE WITH OWNER ON PROJECT PHASING SITE ACCESS, AND TEMPORARY UTILITIES.
22. CHANGES OR DEVIATIONS FROM THE PLANS MADE WITHOUT THE PERMISSION OF S.D. ARE NOT ALLOWED WITHOUT CONSULTATION AND SHALL RELIEVE S.D. FROM ALL RESPONSIBILITY FROM ANY CONSEQUENCES RESULTING FROM SUCH CHANGES. IF ANY QUESTIONS ARISE DURING THE PROJECT, PLEASE CONTACT S.D. OR STRUCTURAL ENGINEER PRIOR TO MOVING FORWARD WITH WORK IN QUESTION.
23. UNLESS OTHERWISE INDICATED, PROVIDE ROUGHED IN DRAINAGE SYSTEM TO SUMP PIT UNDER ALL BASEMENT SLABS. ROUGH IN ELECT. POWER AS REQUIRED.
24. PROVIDE A ROUGHED IN RADON MITIGATION SYSTEM. PROVIDE A MIN. 4' LENGTH OF MIN. 3" PERFORATED HORIZONTAL PVC PIPE CONNECTED TO A VERTICAL PVC PIPE RUN UP THROUGH AN INTERIOR WALL TO A MIN. OF 12" ABOVE ROOF. COVER PERFORATED PIPE WITH WASHED GRAVEL (UNDER SLAB CONDITION ONLY) AND A CONTINUOUS VAPOR RETARDER WITH 6" LAPPED/TAPED SEAMS AND RUN VAPOR RETARDER UP FOUNDATION WALL A MIN. OF 6". PROVIDE ROUGHED IN POWER FOR POSSIBLE FUTURE RADON EXHAUST FAN. IT IS THE OWNERS RESPONSIBILITY TO PERFORM A RADON TEST UPON JOB COMPLETION.
25. PROVIDE SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS AS REQUIRED.
26. PROVIDE ATTIC VENTILATION PER IRC SECTION R806. PROVIDE NET FREE AREA OF 1/150, OR 1/300 IF VAPOR RETARDER IS INSTALLED UNDER OWB, OR 1/300 IF VENTS ARE SPLIT EQUALLY BETWEEN RIDGE AND SOFFITS.
27. PROVIDE DRAINS IN LIGHTWELLS CONNECTED TO SUMP PUMP OR SLOPE MIN. 1/4"/FT TO DAYLIGHT. FIELD VERIFY.
28. PROVIDE PAN AND DRAIN UNDER WASHING MACHINE.
29. PROVIDE CRAWLSPACE ACCESS, MIN 18" X 24" IN THE FLOOR, OR MIN. 16" X 24" IN A WALL

*NOTE: SOME OF THESE NOTES MAY NOT BE APPLICABLE TO THE PROJECT

INSULATION REQUIREMENTS PER TABLE IRC SECTION N1102, TABLE N1102.1

FENESTRATION U FACTOR: .30 MAX
SKYLIGHTS U FACTOR: .43 MAX
CEILING R VALUE: R54 MIN.
NEW EXTERIOR FRAMED WALLS: MIN. R19/5 INSUL/SHEATHING*
EXISTING FRAMED WALLS WHERE THERMAL ENVELOPE IS EXPOSED TO BE AIRSEALED AND FILLED WITH INSULATION PER RESNET GRADE 1 STANDARDS
FLOOR R VALUE: 42 MIN.
SLAB EDGE R VALUE: R15 MIN., 3' DEEP MIN.**
FRAMED FLOOR R VALUE: R42 MIN.
BASEMENT AND CRAWLSPACE WALLS: R15 MIN. IF CONTINUOUS INSUL., R20 MIN. IF FRAMED CAVITY IS INSULATED.
MAX GLAZING TO FLOOR AREA RATIO: 18% (NEW CONSTRUCTION OR ADDITIONS ONLY)
MAX AIR LEAKAGE: 3 ACH AT 50 PASCALS
APPLIANCES (CLOTHES WASHER AND DISHWASHER) ENERGY STAR CERTIFIED (ONLY IF A SELECTED "RETROFIT MEASURE")
LIGHTING FIXTURES: MIN. 80% CFL OR EQUAL
INSULATION INSTALLED PER RESNET GRADE 1 STANDARDS
NEW FURNACES AND BOILERS: 92% AFUE WITH ECM BLOWERS
WATER HEATERS: .82 EF OR BETTER
NEW AND REPLACEMENT PLUMBING FIXTURES TO BE EPA WATER SENSE CERTIFIED

*R19 CAVITY PLUS R5 INSUL. SHEATHING.

** ADD AN ADDITIONAL R10 TO THE REQUIRED SLAB EDGE FOR HEATED SLABS

BOULDER COUNTY 327.4 AND 327.5 IGNITION RESISTANT CONSTRUCTION:

EXTERIOR WALLS TO BE IGNITION RESISTANT SIDING, HEAVY TIMBER, LOGS OR FIRE-RETARDANT TREATED WOOD. EXTERIOR TRIM NOT REQUIRED TO MEET THESE REQUIREMENTS.
METAL GUTTERS AND DOWN SPOUTS W/ APPROVED MEANS OF PREVENTING DEBRIS ACCUMULATION
CLASS A ROOF W/ METAL VALLEYS (WHEN APPLICABLE)
SPARK ARRESTORS ON CHIMNEYS
EAVES, FASCIAS AND SOFFITS CAN BE ANY MATERIAL PERMITTED BY THIS CODE EXCEPT VINYL OR PLASTIC
DECK SURFACE TO BE NON-COM, DECK FRAMING TO BE 2X MATERIAL OR HEAVY TIMBER
ATTIC VENTS TO HAVE METAL SCREENS W/ MAX. 1/8" OPENINGS. EACH VENT TO BE MAX 144 SQ. IN. OF VENT AREA
2" THICK 3/4" DIAM GRAVEL OVER WEED BARRIER REQUIRED TO 3' PAST THE EXTERIOR WALLS AND 2' PAST DRIP LINE OF DECKS, BAY WINDOWS, AND OTHER EAVES AND OVERHANGS.
METAL DRIP EDGE REQUIRED AT ROOF EDGE SO NO SHEATHING IS EXPOSED
NO UNREINFORCED VINYL WINDOWS ALLOWED IN ZONE 1 (MOUNTAINS)

NOTE: SEE BOULDER COUNTY CODE AMENDMENTS FOR ADDITIONAL DETAILS

NOTE: SPRINKLER SYSTEM REQUIRED FOR NEW CONSTRUCTION, SEPARATE PERMIT REQUIRED

FIREBLOCKING NOTES:

PROVIDE FIREBLOCKING IN THE FOLLOWING LOCATIONS:
1. IN CONCEALED SPACES OF STUD WALLS INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS AS FOLLOWS:
1.1. VERTICALLY AT THE CEILING AND FLOOR LEVELS
1.2. HORIZONTALLY AT INTERVALS NOT EXCEEDING 10'
2. AT INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS.
3. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOT. OF THE RUN. ENCLOSED SPACES UNDER STAIRS SHALL COMPLY WITH SECTION R302.7.
4. AT THE OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES AT CEILING AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION. THE MATERIAL FILLING THIS ANNULAR SPACE SHALL NOT BE REQUIRED TO MEET THE ASTM E 136 REQUIREMENTS.
5. FOR THE FIREBLOCKING OF CHIMNEYS AND FIREPLACES SEE R1003.19.

FLASHING NOTES:

PROVIDE CORROSION RESISTANT FLASHING AT THE FOLLOWING LOCATIONS:
1. AT THE TOP OF ALL EXTERIOR DOOR AND WINDOW OPENINGS
2. AT THE INTERSECTION OF CHIMNEY WITH FRAME OR STUCCO WALLS
3. UNDER AND AT THE ENDS OF MASONRY, WOOD OR METAL COPINGS AND SILLS.
4. WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WOOD FRAME WALL OR FLOOR ASSEMBLY
5. AT WALL AND ROOF INTERSECTIONS
6. AT BUILT IN GUTTERS

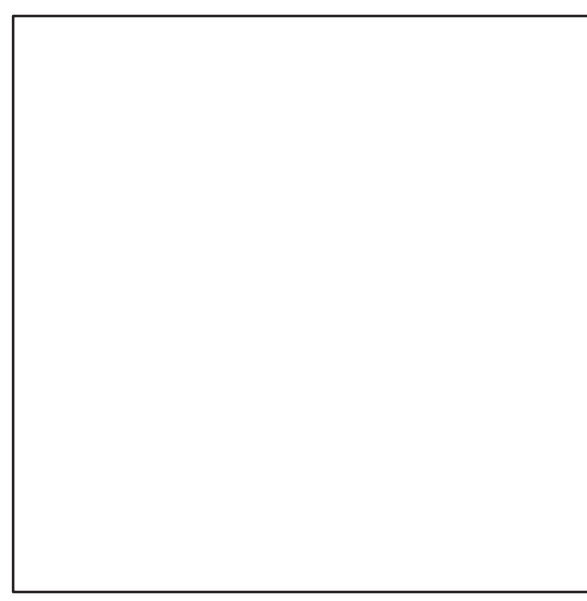
**TIMM / ANTONE RESIDENCE
ADDITION AND REMODEL
32050 COAL CREEK CANYON
GOLDEN, CO 80403**

DATA

SCALE	
DATE	
DRAWN BY	
NO.	

REVISIONS

NO.	DATE	DESCRIPTION
X	X	X

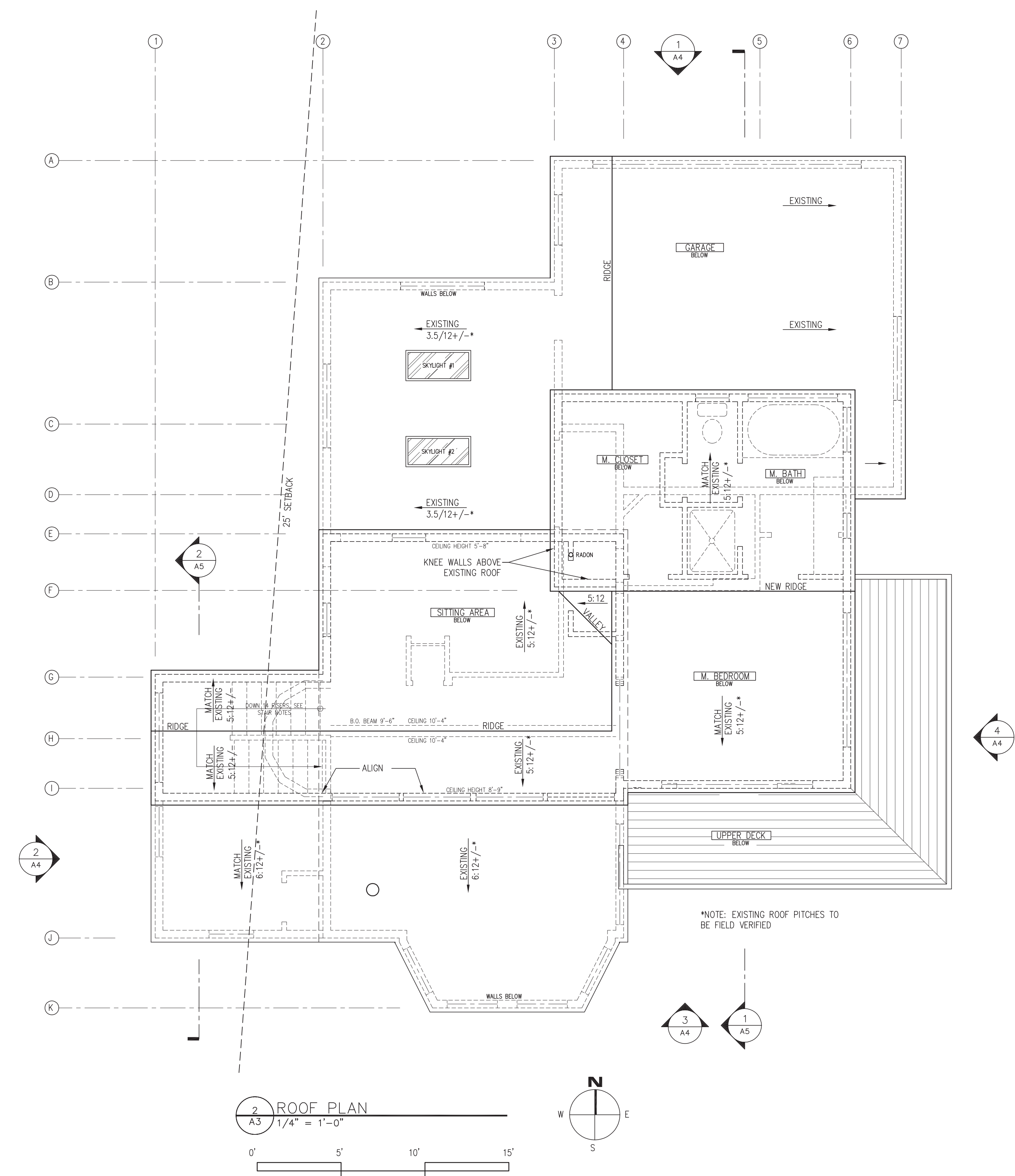


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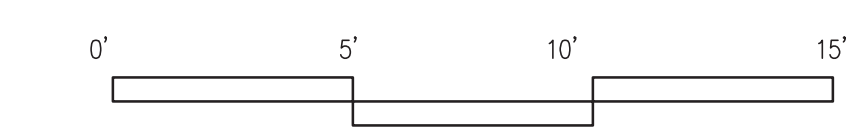
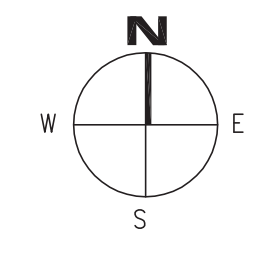
2/3/2023

VERIFY ALL DIMENSIONS PRIOR TO START OF WORK. DO NOT SCALE DRAWINGS. IMMEDIATELY NOTIFY DESIGNER OF ANY DISCREPANCIES OR DEVIATIONS FROM THE DRAWINGS. ENGINEER'S DRAWINGS TAKE PRECEDENCE OVER STEVENSON DESIGN'S DRAWINGS. LARGE SCALE DRAWINGS TAKE PRECEDENCE OVER SMALL SCALE DRAWINGS. INSTALL ALL MATERIALS AND EQUIP. PER MANUFACTURER'S DIRECTION. ALL WORK TO COMPLY WITH ALL APPLICABLE CODES.

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2 ROOF PLAN
A3
1/4" = 1'-0"



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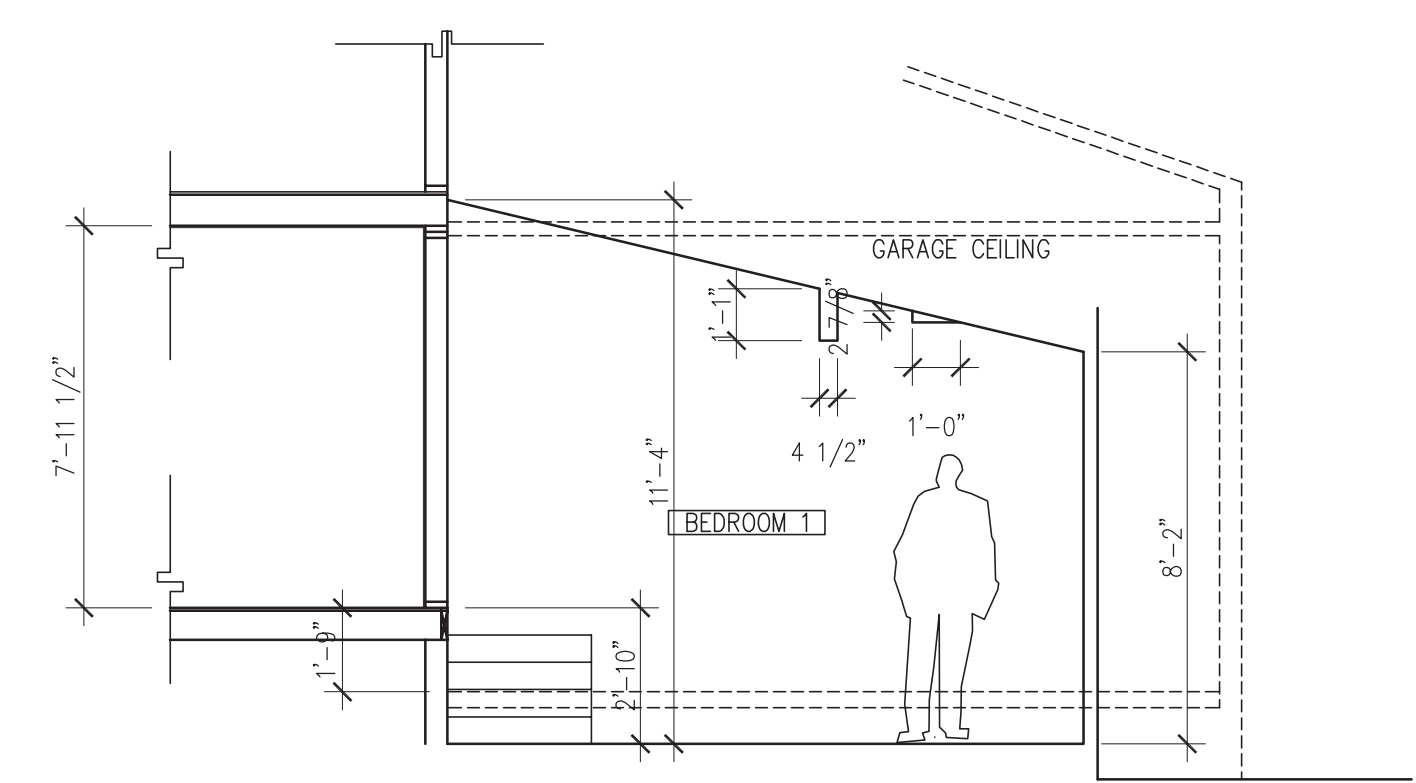
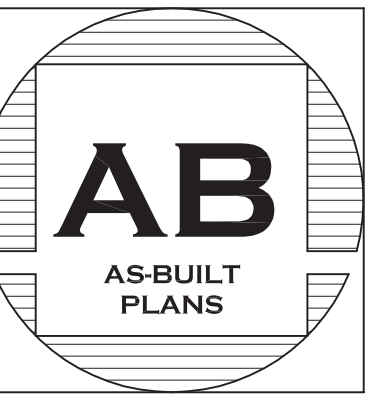
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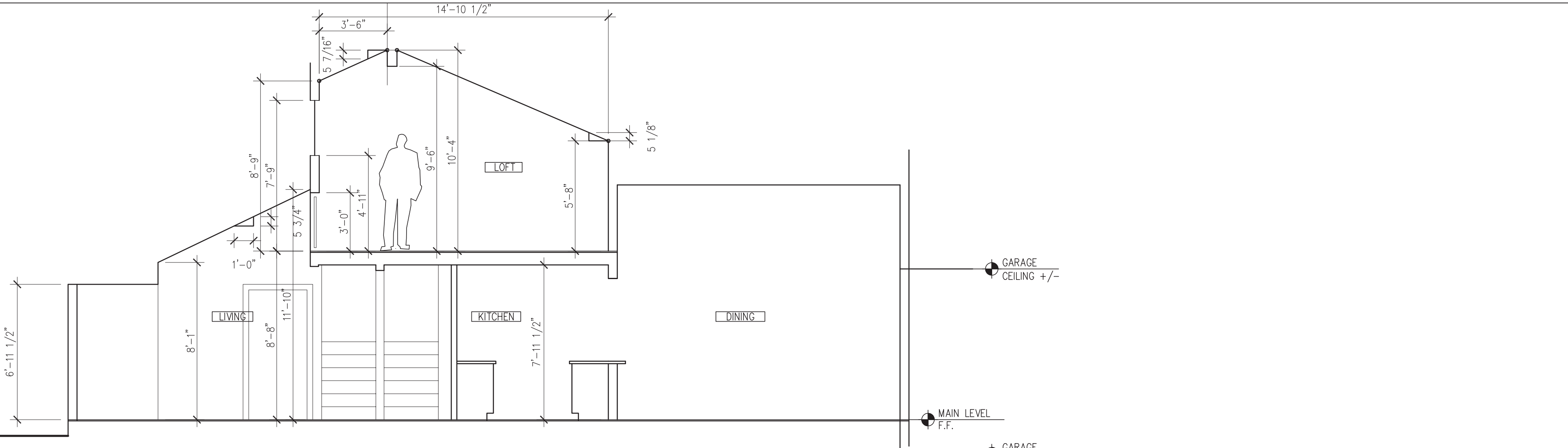
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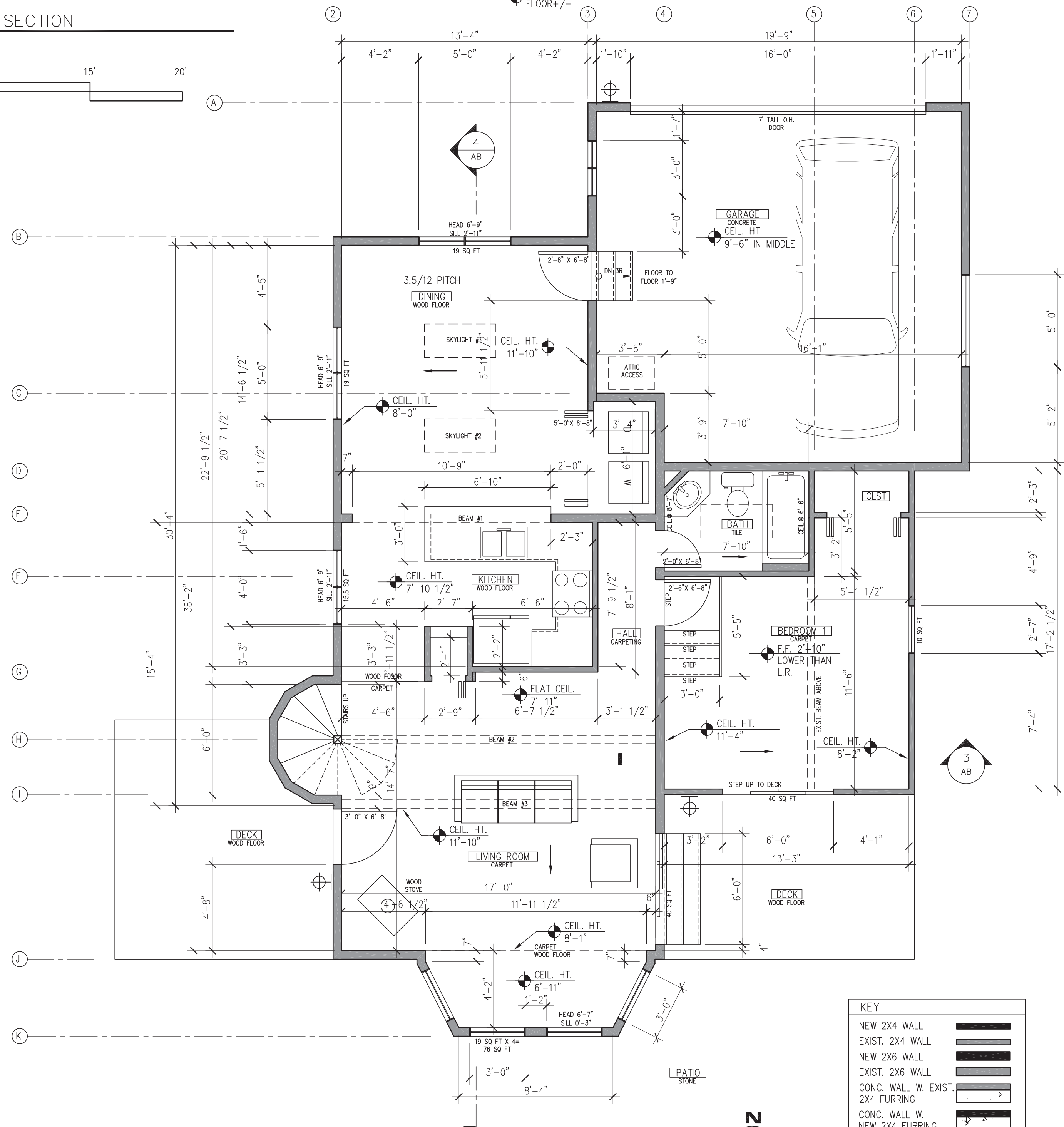
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3 SECTION AT BEDROOM 1
1/4" = 1'-0"



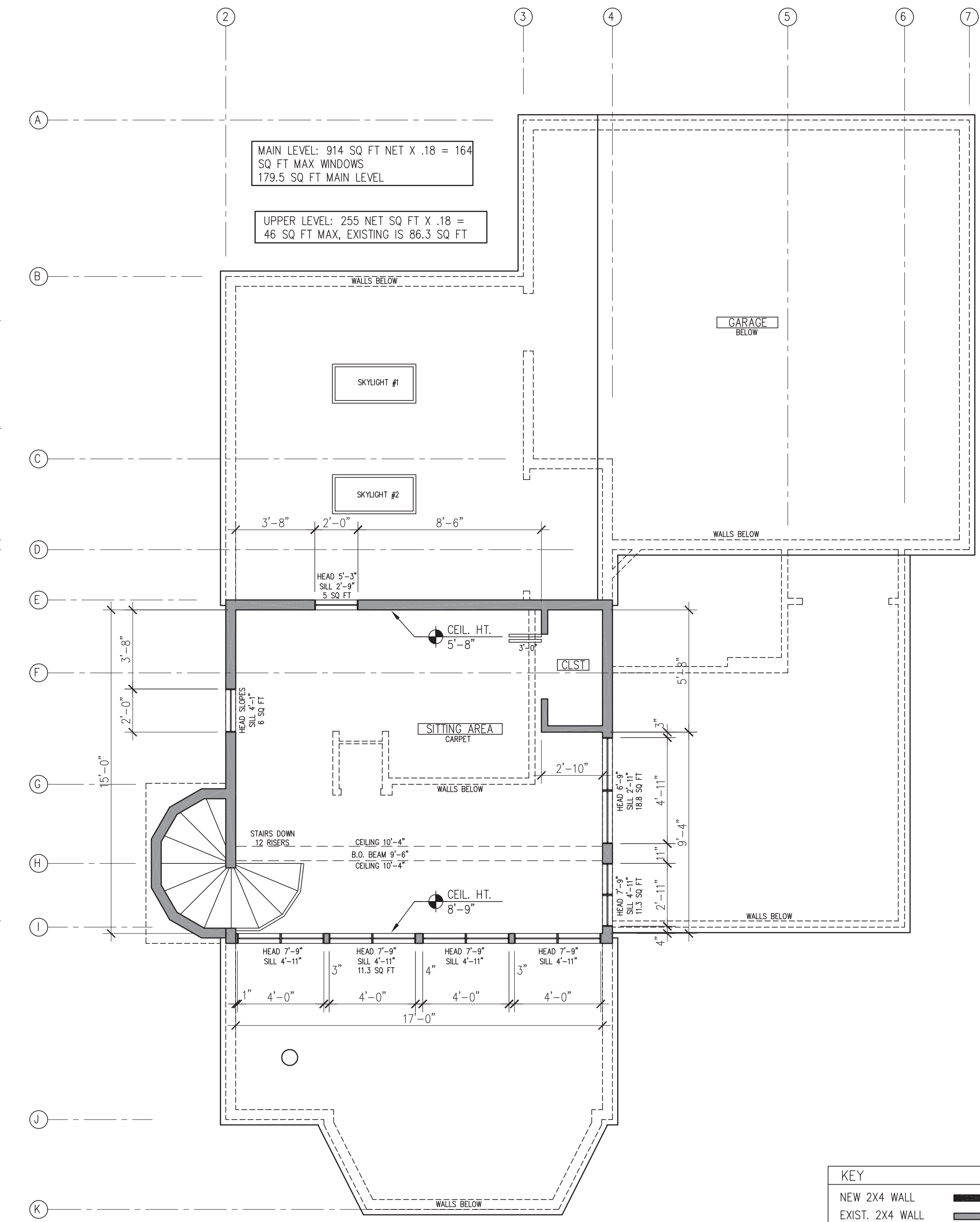
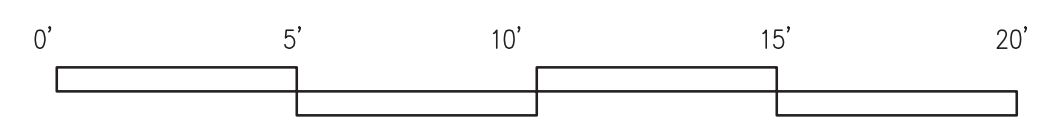
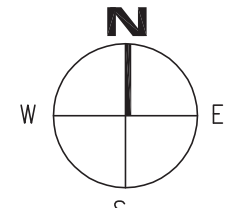
4 PARTIAL BUILDING SECTION
1/4" = 1'-0"



1 MAIN LEVEL EXISTING PLAN
1/4" = 1'-0"

- KEY**
- NEW 2X4 WALL
 - EXIST. 2X4 WALL
 - NEW 2X6 WALL
 - EXIST. 2X6 WALL
 - CONC. WALL W. EXIST. 2X4 FURRING
 - CONC. WALL W. NEW 2X4 FURRING
 - EXIST. WALL TO BE REMOVED OR WALL BELOW

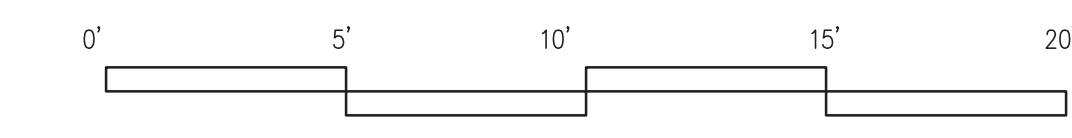
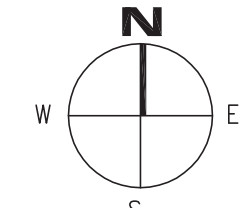
- SD SMOKE DETECTOR
- MD CARBON MONOXIDE DETECTOR



2 UPPER LEVEL EXISTING PLAN
1/4" = 1'-0"

- KEY**
- NEW 2X4 WALL
 - EXIST. 2X4 WALL
 - NEW 2X6 WALL
 - EXIST. 2X6 WALL
 - CONC. WALL W. EXIST. 2X4 FURRING
 - CONC. WALL W. NEW 2X4 FURRING
 - EXIST. WALL TO BE REMOVED OR WALL BELOW

- SD SMOKE DETECTOR
- MD CARBON MONOXIDE DETECTOR

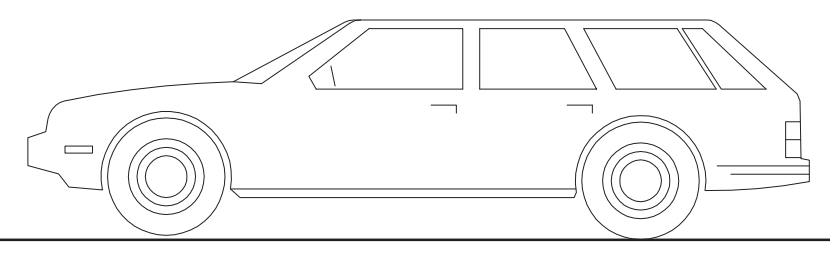
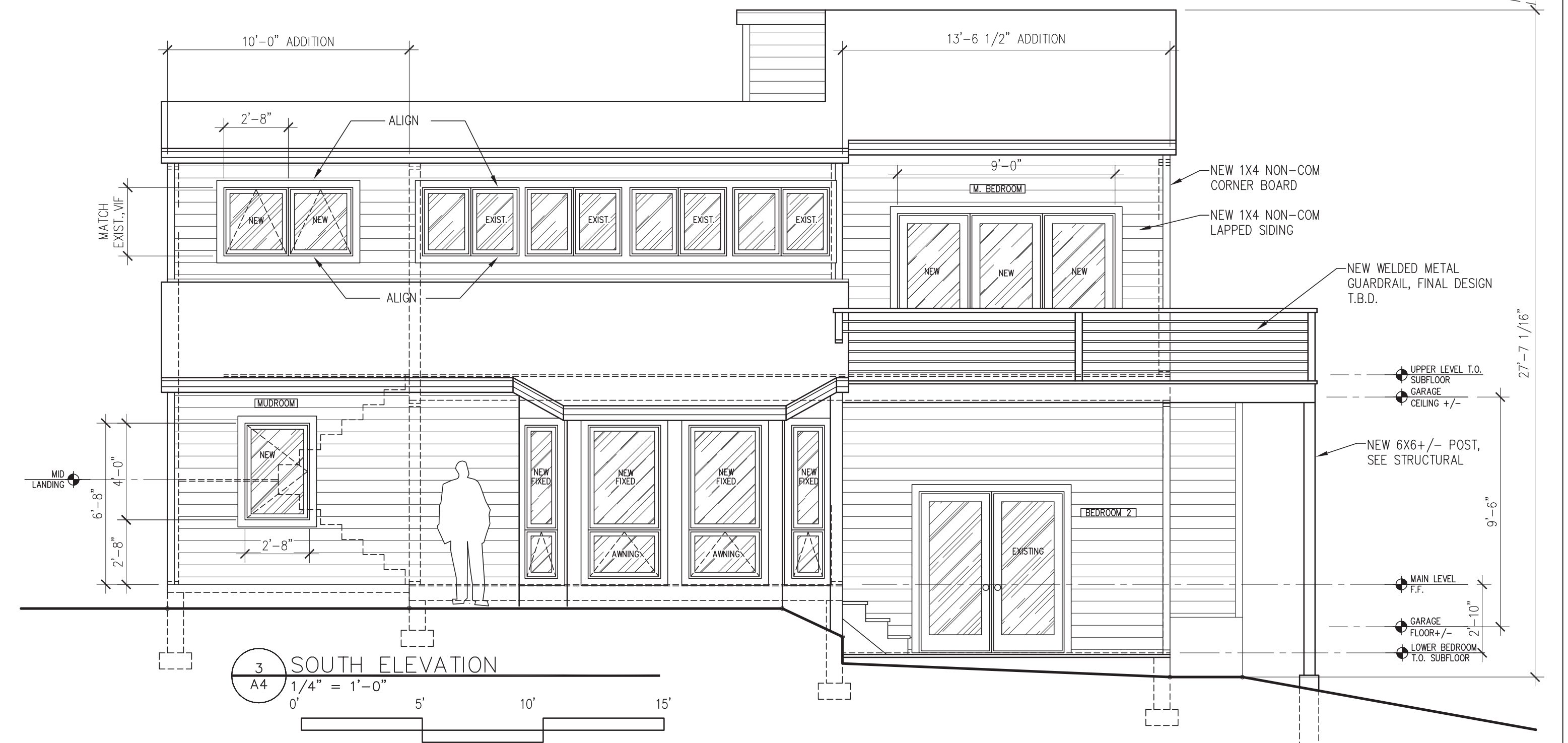
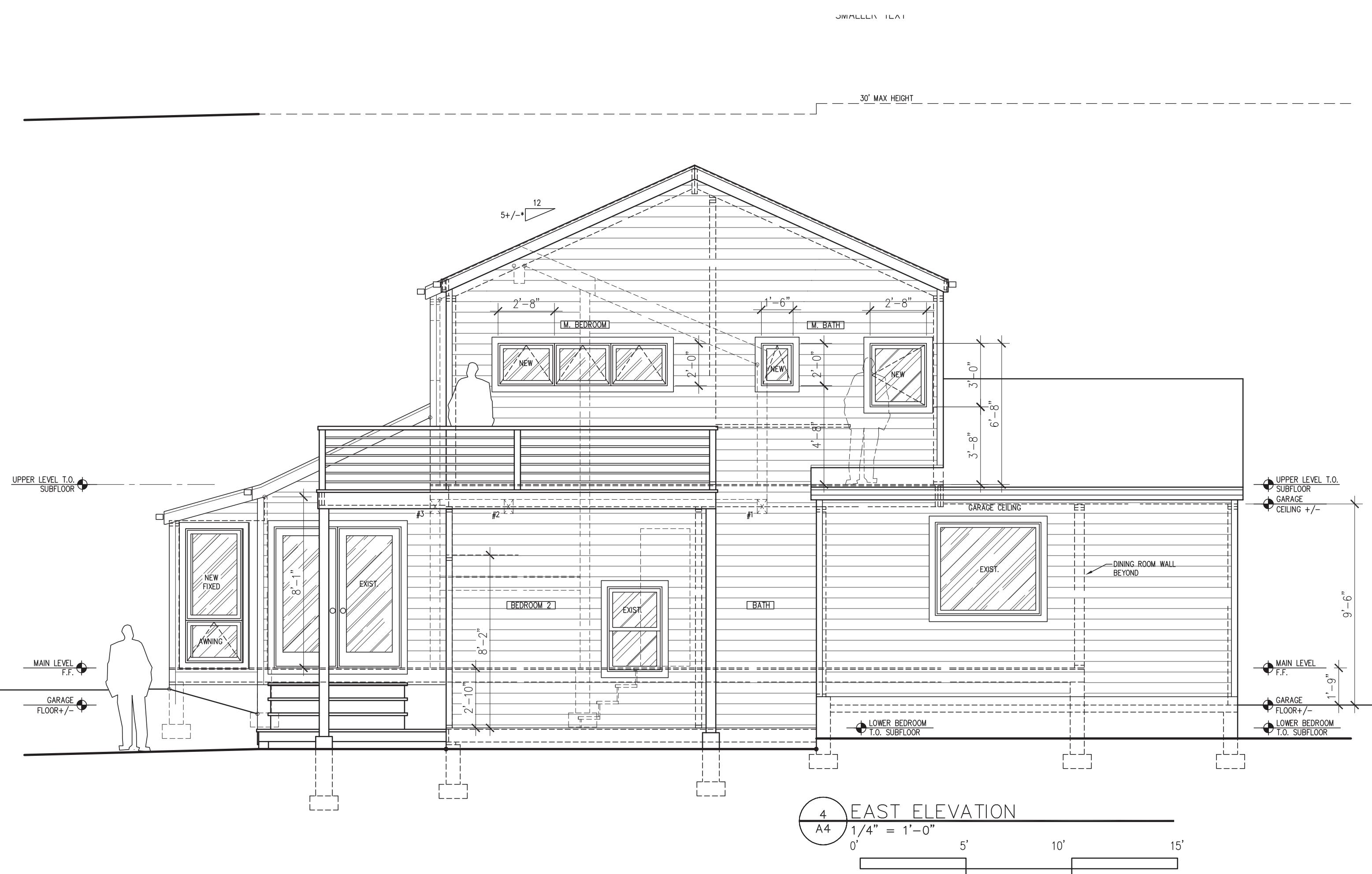
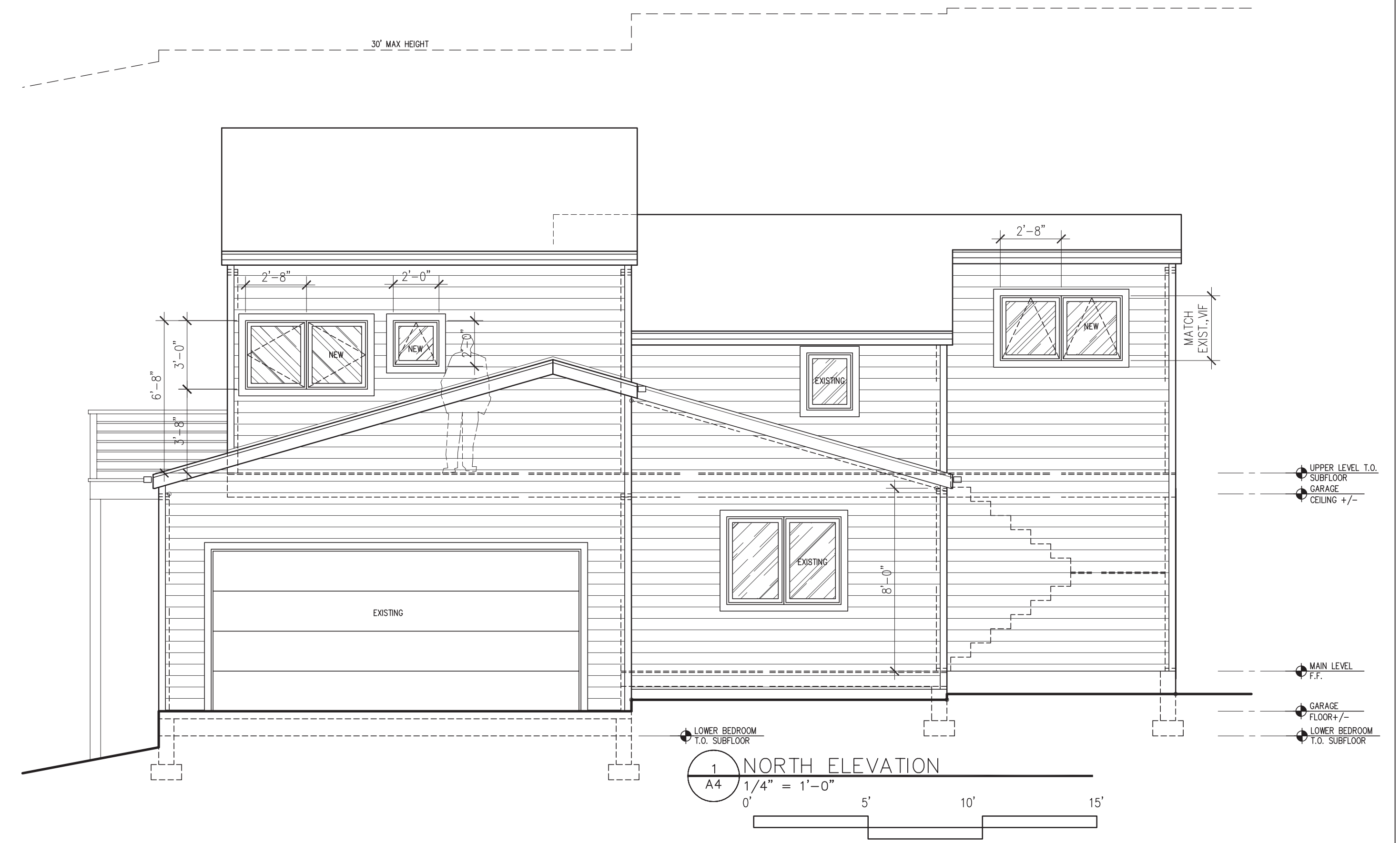
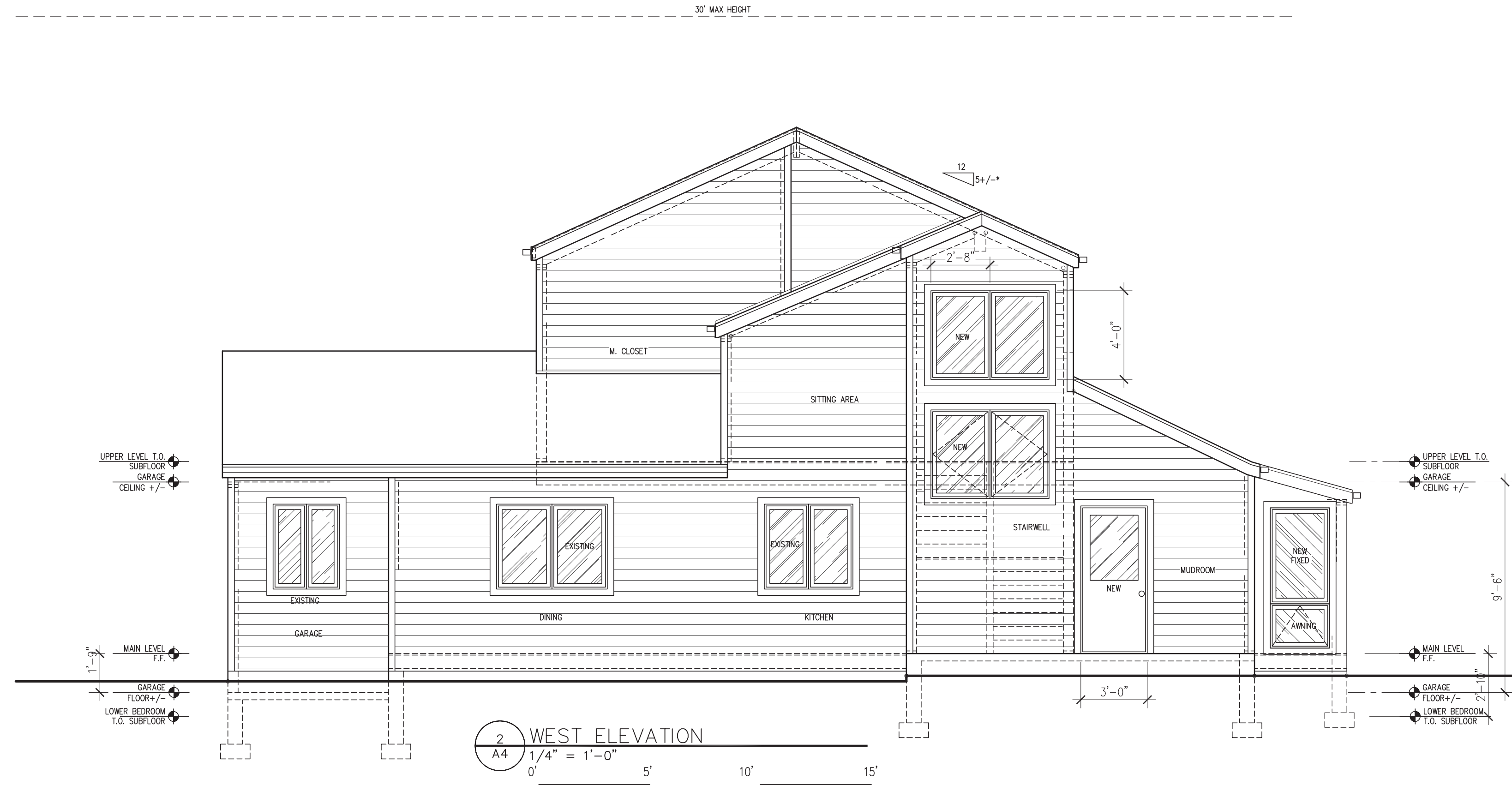


NOT FOR CONSTRUCTION

3/12/2021

VERIFY ALL DIMENSIONS PRIOR TO START OF WORK. DO NOT SCALE DRAWINGS. IMMEDIATELY NOTIFY DESIGNER OF ANY DISCREPANCIES OR DEVIATIONS FROM THE DRAWINGS. ENGINEER'S DRAWINGS TAKE PRECEDENCE OVER STEVENSON DESIGNS DRAWINGS. LARGE SCALE DRAWINGS TAKE PRECEDENCE OVER SMALL SCALE DRAWINGS. INSTALL ALL MATERIALS AND EQUIP. PER MANUFACTURER'S DIRECTION. ALL WORK TO COMPLY WITH ALL APPLICABLE CODES.

**TIMM / ANTONE RESIDENCE
ADDITION AND REMODEL
32050 COAL CREEK CANYON
GOLDEN, CO 80403**



NOT FOR CONSTRUCTION

2/3/2023

DATA

SCALE	
DATE	
DRAWN BY	
NO.	

REVISIONS

NO.	DATE	DESCRIPTION
X	X	X







Walker, Samuel

From: Carden, Timothy
Sent: Tuesday, February 14, 2023 1:36 PM
To: Walker, Samuel
Cc: Northrup, Elizabeth (Liz)
Subject: RE: Referral packet for VAR-23-0002: Stevenson Variance at 32050 Coal Creek Canyon Drive

Hello Sam,

Thank you for the opportunity to review VAR-23-0002. I have completed my review of the referral packet and as proposed this project should not impact the conservation values of the nearby Forbes conservation easement.

Best,

Tim Carden | Conservation Easement Stewardship Specialist
 Boulder County Parks & Open Space
 Pronouns: he/him/his
 5201 St. Vrain Road
 Longmont, CO 80503
 303-413-7533 (office)
tcarden@bouldercounty.org
[Boulder County Open Space Website](#)



New: Boulder County has a new website: [BoulderCounty.gov](https://www.bouldercounty.gov)! Bookmark it today. Email addresses will transition at a later date.

From: Goldstein, Andrew <agoldstein@bouldercounty.org>
Sent: Monday, February 13, 2023 11:45 AM
To: #WildfireMitigation <WildfireMitigation@bouldercounty.org>; #AssessorReferral <AssessorReferral@bouldercounty.org>; #Cereferral <Cereferral@bouldercounty.org>; Stadele, Lee <leestadele@bouldercounty.org>; Stadele, Lee <leestadele@flagstaffsurveying.com>; cccia80403@gmail.com; John Baich <John@the642.com>; platreferral@unitedpower.com; mschuste@jeffco.us; dhorn@co.gilpin.co.us; Vanessa McCracken <bldrvalleyandlongmontcds@gmail.com>; richard.solomon@state.co.us; admin@coalcreekcanyonfd.org; Atherton-Wood, Justin <jatherton-wood@bouldercounty.org>; Milner, Anna <amilner@bouldercounty.org>; Moline, Jeffrey <jmoline@bouldercounty.org>; Abner, Ethan <eabner@bouldercounty.org>; Hippely, Hannah <hhippely@bouldercounty.org>; Sheehan, Jack <jsheehan@bouldercounty.org>; Vaughn, Andrea <avaughn@bouldercounty.org>; Cavaleri, Keli <kcavaleri@bouldercounty.org>; Flax, Ron <rflax@bouldercounty.org>; Frederick, Summer <sfrederick@bouldercounty.org>; HealthWaterQuality-EnvironmentalBP LU <HealthWQ-EnvironBPLU@bouldercounty.org>; Huebner, Michelle <mhuebner@bouldercounty.org>; Sanchez, Kimberly <ksanchez@bouldercounty.org>; Transportation Development Review <TransDevReview@bouldercounty.org>; West, Ron <rowest@bouldercounty.org>
Cc: Walker, Samuel <swalker@bouldercounty.org>
Subject: Referral packet for VAR-23-0002: Stevenson Variance at 32050 Coal Creek Canyon Drive

Please find attached the referral packet for *VAR-23-0002: Stevenson Variance* at *32050 Coal Creek Canyon Drive*.

Please return responses and direct any questions to [Sam Walker](#) by *February 28, 2023*. (Boulder County internal departments and agencies: Please attach the referral comments in Accela.)

All the best,

**Andrew Goldstein (pronouns: he/him/his) | Administrative Technician
Planning Division | Boulder County Community Planning & Permitting**

P.O. Box 471, Boulder, CO 80306 | Courthouse Annex—2045 13th St., Boulder, CO 80302

agoldstein@bouldercounty.org | [\(303\) 441-3930](tel:3034413930) | www.boco.org/cpp

My usual working hours are Monday-Thursday, 7:00 a.m.-5:30 p.m.





Parks & Open Space

5201 St. Vrain Road • Longmont, CO 80503
303-678-6200 • POSinfo@bouldercounty.org
www.BoulderCountyOpenSpace.org

TO: Sam Walker, Community Planning & Permitting Department
FROM: Ron West, Natural Resource Planner
DATE: February 28, 2023
SUBJECT: Docket VAR-23-0002, Stevenson, 32050 Coal Creek Canyon Drive

Staff has no natural resource concerns with the proposal.



Community Planning & Permitting

Courthouse Annex • 2045 13th Street • Boulder, Colorado 80302
 Mailing Address: P.O. Box 471 • Boulder, Colorado 80306
 303-441-3930 • www.BoulderCounty.gov

Wildfire Mitigation Team

MEMO

TO: Sam Walker, Planner II
FROM: Kyle McCatty, Wildfire Mitigation Specialist
DATE: March 1, 2023
RE: Referral packet for VAR-23-0002: Stevenson Variance at 32050 Coal Creek Canyon Drive

Thank you for the referral. We have the following comments for the applicants:

Decades of catastrophic wildfires, research, and case studies have shown that extreme wildfires are inevitable in the forests of Boulder County and across the Western US. Still, the loss of life and homes does not have to be inevitable. The conditions that principally determine if a house ignites occur within 100 feet of the house, including the house itself. That is why Boulder County has such strong wildfire mitigation requirements in our Land Use and Building Code. Boulder County encourages all homeowners to voluntarily take responsibility to mitigate their own home's risk of igniting in a wildfire through Wildfire Partners.

Wildfire Mitigation is required; the proposed project is in [Wildfire Zone 1](#) (the foothills or mountains—approximately west of highways 7, 36, or 93) of the unincorporated portion of Boulder County. The Boulder County Wildfire Mitigation requirements are composed of site location, ignition-resistant materials and construction, defensible space, emergency water supply, and emergency vehicle access.

Site Location

A Boulder County Wildfire Mitigation Specialist has reviewed the site location as part of the Variance process. The greatest risk of loss of life and property from a wildfire associated with the proposed variance is the distance between the proposed “stair and mudroom addition” and the western property line.

Ideally, all structures should be located as far from property lines as possible to maximize full defensible space—at least 100 feet, especially in the direction of prevailing winds. Generally, at least 25-30 feet are required between a new structure and a property line so that minimally effective defensible space can be created and maintained. However, although far from ideal, the Wildfire Mitigation Team can support the project as proposed if increased ignition resistant materials are required for the “stair and mudroom addition” because of the relatively moderate wildfire fuel loading within 100 feet of the addition that Copperdale Lane and the business to the west creates.

Ignition-Resistant Materials and Construction

Since the proposed development is located within a potentially hazardous area, all exterior building materials (including any proposed decking) must be ignition-resistant construction or better. Because of the wildfire mitigation risks associated with the site location, the following more restrictive increased ignition-resistant exterior materials are required for the “stair and mudroom addition”:

- Double pane tempered glass is required.
- Wood and fire-retardant-treated wood are not allowed.
- Heavy timber (IBC Section 602.4) and log wall construction (see definition in R327) are allowed.
- If applicable, deck surface must be an ASTM E84 (UL 723) flame-spread index no greater than 75.

Additional requirements may exist if the proposed project goes through site plan review. For additional ignition-resistant construction information, please contact the Building Safety & Inspection Services Team at 303-441-3926. Refer to the Boulder County publication: [Building with Ignition Resistant Materials](#) for specific requirements. All exterior materials must be clearly noted on the building plans and must be reviewed and approved as “ignition resistant” by the Building Safety & Inspection Services Team.

Defensible Space

Adequate defensible space is required to prevent the spread of fire to and from the structure. This requires limbing and/or removal of trees and shrubs to provide necessary vertical and horizontal fuel separation within a minimum of 100 ft. from the home and within 30 ft. along both sides of a driveway. Where the property boundary limits Zone 2 (at least 100 feet from structures), Zone 1 (a buffer of at least 30 feet free of conifer trees and other highly combustible vegetation immediately surrounding the home, including all attachments and accessory structures within 30 feet) may need to begin at the home’s dripline. More information can be found by referring to the Colorado State Forest Service publication [Protecting Your Home from Wildfire: Creating Wildfire-Defensible Zones – 2012 Quick Guide](#).

Follow the Colorado State University [FireWise Plant Materials – 6.305](#), [Fire-Resistant Landscaping – 6.303](#), and Colorado State Forest Service [Protecting Your Home from Wildfire: Creating Wildfire-Defensible Zones – 2012 Quick Guide](#) publications when choosing plants and designing revegetation and landscaping.

Emergency Water Supply

Emergency water supply is currently only required when building a new residence. No emergency water supply will be required for this application.

Emergency Vehicle Clearance

Emergency vehicle clearance is required to allow for safe ingress and egress of emergency vehicles. Emergency personnel try their best to respond to calls in a timely manner, often while negotiating difficult terrain. Planning for access by emergency vehicles improves safety for homeowners and their families by providing for a more efficient response by firefighters and other emergency personnel arriving on the scene. This is especially important in rural and mountainous areas where response times may be considerably longer than in cities, where emergency services are closer by. Refer to the Boulder County publication: [Driveway Access for Emergency Vehicles](#) for specific clearance-related requirements.

Timeline

After applying for, but prior to issuance of any permits, a Boulder County Wildfire Mitigation Specialist will contact you to schedule a Wildfire Partners or Regulatory Wildfire Mitigation assessment and defensible space marking. Based upon the compliance path selected, either a Wildfire Partners Assessment report or a Wildfire Mitigation Plan will be created to describe the wildfire mitigation requirements.

Before scheduling rough framing inspections, the plan's defensible space portion must be implemented and inspected by the Community Planning & Permitting Department. All trees marked for removal must be cut, and all slash, cuttings, and debris must be removed and/or properly disposed of.

At the time of final inspection, all remaining required items in the Wildfire Partners Assessment report or the Wildfire Mitigation Plan are to be fully implemented and inspected. Ground surfaces within three feet of both existing and new structures, and at least 2 feet beyond the driplines of decks, bay windows, and other eaves and overhangs, must be covered with an allowable non-combustible ground cover over a weed barrier material. The driveway vertical and horizontal vegetation clearance must be in place and conform to the Parcel Access Design Standards in the [Boulder County Multimodal Transportation Standards](#).

If the applicants should have questions or need additional information, we'd be happy to work with them toward solutions that meet minimum land use and building code requirements. I can be reached at 720-564-2625 or via e-mail at kmccatty@bouldercounty.org.



Community Planning & Permitting

Courthouse Annex • 2045 13th Street • Boulder, Colorado 80302 • Tel: 303.441.3930 • Fax: 303.441.4856
 Mailing Address: P.O. Box 471 • Boulder, Colorado 80306 • www.bouldercounty.org

Building Safety & Inspection Services Team

MEMO

TO: Sam Walker, Planner II
 FROM: Michelle Huebner, Plans Examiner Supervisor
 DATE: February 15, 2023

RE: Referral Response, VAR-23-0002: Stevenson Variance. Variance request to reduce the required side-yard setback from 25 feet (required) to 18 feet (proposed).

Location: 32050 Coal Creek Canyon Drive (aka SH72)

Thank you for the referral. We have the following comments for the applicants:

1. **Building Permit.** A building permit, plan review, and inspection approvals are required for the proposed addition.

Please refer to the county's adopted 2015 editions of the International Codes and code amendments, which can be found via the internet under the link:

2015 Building Code Adoption & Amendments, at the following URL:

<https://assets.bouldercounty.org/wp-content/uploads/2017/03/building-code-2015.pdf>

2. **BuildSmart.** Please refer to the county's adoption and amendments to Chapter 11 of the IRC, the county's "BuildSmart" program, for the applicable requirements for energy conservation and sustainability for residential additions and new residential buildings. Please be aware that there are energy related requirements of this code that may require the use of renewable energy systems (such as rooftop solar systems) that will also need to be approved by your electric utility provider. In some cases, there may be limitations on the size of on-site systems allowed by your utility provider that could constrain the project design. We strongly encourage discussions between the design team and the utility company as early in the process as possible in order to identify these constraints.
3. **Design Wind and Snow Loads.** The design wind and ground snow loads for the property are 170 mph (Vult) and 50 psf, respectively.
4. **Ignition-Resistant Construction and Defensible Space.** Please refer to Section R327 of the Boulder County Building Code for wildfire hazard mitigation requirements, including ignition-resistant construction and defensible space.

5. **Plan Review.** The items listed above are a general summary of some of the county's building code requirements. A much more detailed plan review will be performed at the time of building permit application, when full details are available for review, to assure that all applicable minimum building codes requirements are to be met. Our [Residential Plan Check List](https://assets.bouldercounty.org/wp-content/uploads/2017/03/b24-residential-plan-check-list.pdf) and other Building Safety publications can be found at: <https://assets.bouldercounty.org/wp-content/uploads/2017/03/b24-residential-plan-check-list.pdf>

If the applicants should have questions or need additional information, we'd be happy to work with them toward solutions that meet minimum building code requirements. Please call (720) 564-2640 or contact us via e-mail at building@bouldercounty.org



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February 27, 2023

TO: Sam Walker, Planner II; Community Planning & Permitting, Development Review

FROM: Ian Brighton, Planner II; Community Planning & Permitting, Access & Engineering

SUBJECT: Docket VAR-23-0002: Stevenson Variance

32050 Coal Creek Canyon Drive

The Development Review Team – Access & Engineering staff has reviewed the above referenced docket and has the following comments:

1. The subject property is accessed via State Highway 72 (SH72), also known as Coal Creek Canyon Drive, a Colorado Department of Transportation (CDOT) owned and maintained right-of-way (ROW). Legal access has been demonstrated via adjacency to this public ROW.
2. No site improvements have been proposed as part of the Variance Request. Future improvements to the access drive may require a Land Use review process.
3. Staff has reviewed the proposed variance and has no concerns.

This concludes our comments at this time.