



# Community Planning & Permitting

Courthouse Annex • 2045 13th Street • Boulder, Colorado 80302 • Tel: 303.441.3930 • Fax: 303.441.4856  
Mailing Address: P.O. Box 471 • Boulder, Colorado 80306 • [www.bouldercounty.gov](http://www.bouldercounty.gov)

## BOULDER COUNTY BOARD OF ADJUSTMENT

### AGENDA ITEM

Wednesday June 7, 2023 4:00 P.M.

#### PUBLIC HEARING

**STAFF PLANNER:** Jonathan Tardif, Planner II

**RECOMMENDATION:** Staff recommends denial of the requested variance.

#### Docket VAR-23-0001: Sombrero Ranch HOA Setback Variance

**Request:** Variance request to reduce the side setback along the western property line from 7' to approximately 1' 6" for the location of a fence line associated with the redevelopment of a community pool area.

**Location:** 6298 Reserve Drive, Property no. 146334108022, approximately 0.40 miles east of the intersection of Cherryvale Road and Reserve Drive, in Section 34, T1N, R70.

**Zoning:** Rural Residential (RR) Zoning District

**Agent:** Blake Sullivan

**Property Owners:** Sombrero Ranch Homeowners & Recreational Association

#### PACKET CONTENTS:

Item	Pages
○ Staff Recommendation	1 – 5
○ Application Materials (Attachment A)	A1 – A37
○ Referral Agency Responses (Attachment B)	B1 – B5
○ Adjacent Property Owner Comments (Attachment C)	C1 – C7

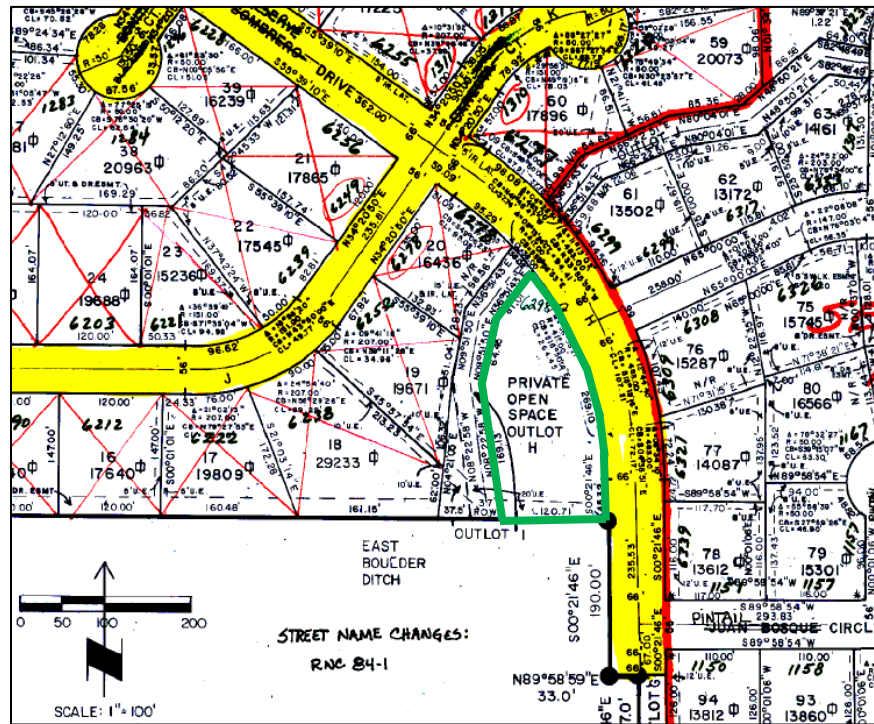
#### SUMMARY

The applicants request a 5-foot 5-inch reduction in the side setback from the western property line to facilitate the construction of a fence line surrounding the community pool at the Sombrero Ranch HOA recreation area. Staff recommends that this variance request be denied because the

applicable review criteria in Article 4-1202(B)(2) of the Boulder Country Land Use Code (the Code) cannot be met.

## DISCUSSION

The subject property is located approximately 0.40 miles east of the intersection of Cherryvale Road and Reserve Drive within the Sombrero Ranch subdivision. The property is approximately 0.7 acres in size, is located in the Rural Residential zoning district, and is a legal building lot (Outlot H of the Sombrero Ranch subdivision). The property is accessed off Reserve Drive.

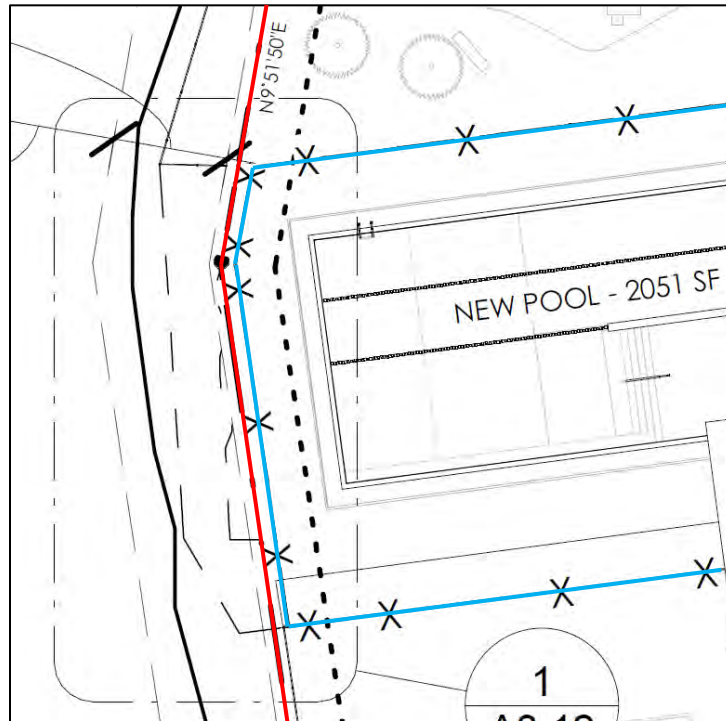


*Figure 1: Zoomed in image of the recorded Sombrero Ranch subdivision plat. Outlot H is identified with a green border.*

Article 18-175 of the Code defines lot lines for subdivided land in plats recorded prior to October 19, 1994 as follows:

- Front lot line: “That part of a property line dividing a lot from a road. On a corner lot, only one property line shall be considered as a front line.”
- Rear lot line: “The line opposite and parallel to the front line. In the event no lot line is opposite and parallel to the front lot line, there shall be no rear.”
- Side lot line: “All lot lines other than front lot lines or rear lot lines. A triangular lot has two side lot lines and no rear lot line.”

In this case, the front property line is the eastern side of the property directly adjacent to Reserve Drive, and the remaining western and southern property lines are side property lines. As such, the required setback to the western and southern sides is a minimum 7-feet.



*Figure 2: Zoomed in image of the submitted Site Plan showing proposed improvements. The property boundary is indicated by red line. The proposed fence line is indicated by blue line.*

The applicants request a variance from this required side setback to facilitate the construction of a fence surrounding the proposed pool deck. The fence is located within the required 7-foot setback to provide the minimum required distance for safe circulation around the pool. The construction of the proposed fence would encroach approximately 5 feet 5 inches into the required side setback, with the remainder of the fence being located outside of the side setback.

The applicants have stated that the proposed pool redevelopment is a high-priority item for the members of the Homeowners Association, and one of the key design components of the pool renovation is to include the standard 25-yard lap lanes for dedicated fitness space.

### **REFERRALS**

The variance request information was sent to property owners within 1,500 feet of the subject property, as well as all applicable referral agencies. Responses received by staff are attached to this staff recommendation (Attachments B and C) and summarized below.

**Boulder County Parks & Open Space (BCPOS) Natural Resource Planner** – The natural resource planner noted that no additional impact to riparian habitats is anticipated and suggested that reducing the length of the proposed pool would resolve the proposed setback encroachment.

**Boulder County Building Safety & Inspection Services Team** – Boulder County Building Safety and Inspection Services had no conflicts. A building permit, plan review, and inspection approvals are required for the proposed fence.

**Agencies indicating no conflicts:** Boulder County Development Review Team – Access & Engineering, Boulder County Public Health, and Xcel Energy.

**Agencies that did not respond:** Boulder County Long Range Planning, East Boulder Ditch Co., City of Boulder Planning & Development Services, and Mountain View FPD.

**Adjacent Property Owners** – 244 referrals were sent to nearby property owners, and staff received seven responses in support of the applicant’s proposal.

**CRITERIA ANALYSIS**

Per Article 3-100.A.18 of the Code the BOA may approve a variance from the terms of the Code as set forth in Article 4-1200. To grant a variance, the BOA must find that the following criteria from **Article 4-1202(B)(2)** of the Code have been satisfied:

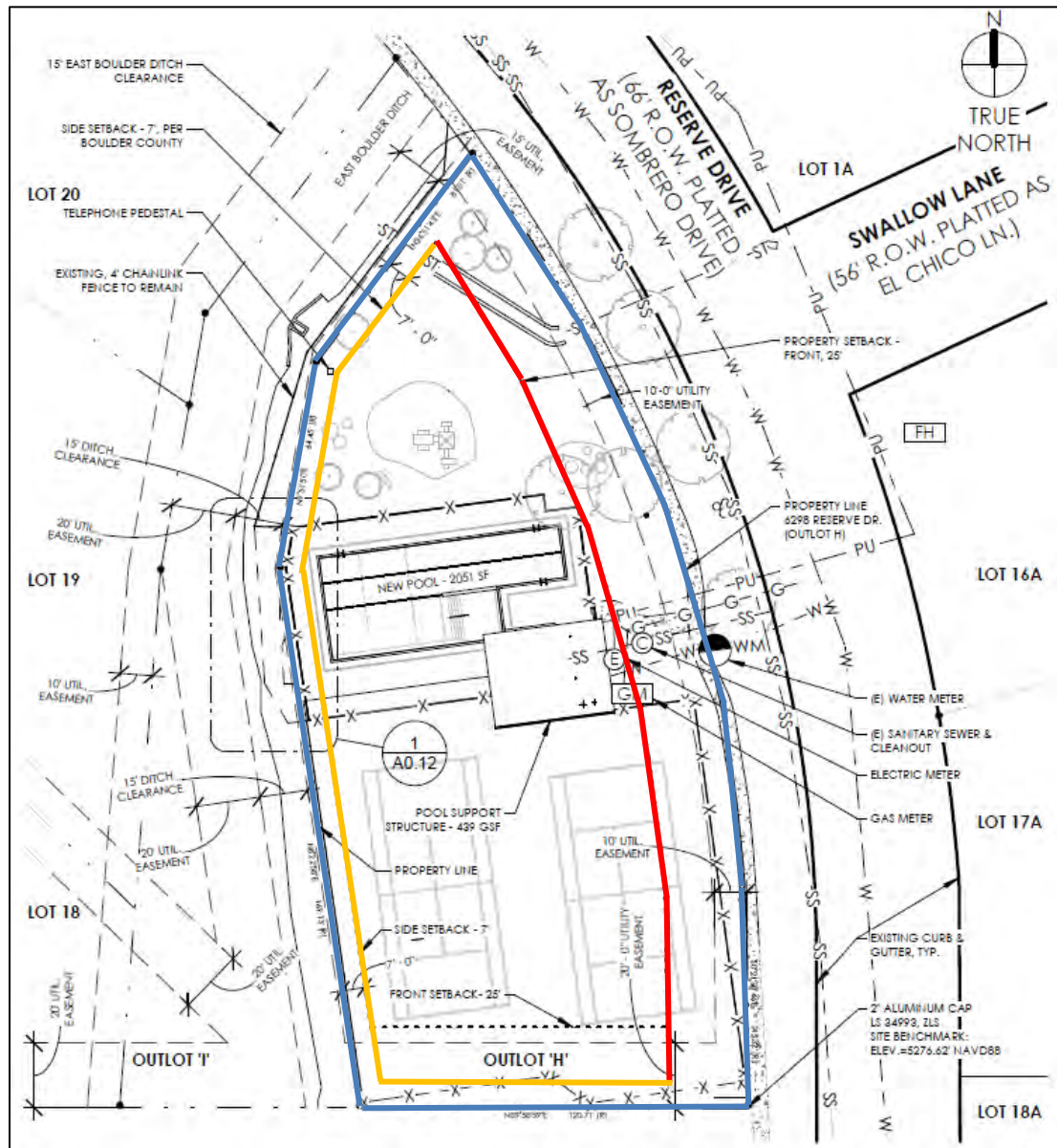
- (a) There exist exceptional or extraordinary physical circumstances of the subject property such as irregularity, narrowness, shallowness, or slope;*

The subject property is the platted Outlot H in the Sombrero Ranch subdivision, approximately 0.7 acres in size, and is larger than the typical residential lots. Figure 3, below, provides a zoomed in map of the Sombrero Ranch subdivision with the subject property outlined in red.



**Figure 3: Zoomed in image of the Location Map identifying the Sombrero Ranch subdivision, lot layouts, and the subject property identified by red border.**

The topography on the outlot is flat, with a slight decrease in elevation along the northern side of the property where the existing playground is located. The property measures approximately 288 feet traveling from the northern tip to the southern property line, and approximately 125 feet at its longest point between the east and west property lines. Figure 4, below, provides a site plan noting the property boundaries in blue, the required 25-foot front setback in red, and the required 7-foot side setbacks in orange.



**Figure 3: Site Plan showing the property boundaries in blue, the required front setback in red, and the required side setbacks in orange.**

The design of the proposed pool with 25-yard lap lanes causes the fence to encroach within the required side setback for the subject property. Staff finds that the physical circumstances are not exceptional or extraordinary on this property, given that the property is developable with compliance to setback requirements.

Therefore, staff finds this criterion is not met.

- (b) Because of these physical circumstances, the strict application of the Code creates an exceptional or undue hardship upon the property owner;**

Staff finds that the physical circumstances of the property are not exceptional, consequently no exceptional or undue hardship upon the property owner is created. Redesign of the pool is possible to reduce the length of the swimming lanes and comply with required setbacks.

Therefore, staff finds this criterion is not met.

*(c) The hardship is not self-imposed;*

Staff does not find that a hardship upon the property owner is created, therefore there is no hardship to be self-imposed. Additionally, as stated above, there are alternative designs that would allow for development that is compliant with zoning and the Land Use Code.

Therefore, staff finds this criterion is not met.

*(d) The variance, if granted, will not adversely affect the uses of adjacent property as permitted under this code;*

Staff does not anticipate that the proposed variance, if granted, will adversely affect the uses of adjacent properties as permitted under the Code, nor has any referral agency or nearby property owner responded with such a concern.

Therefore, staff finds this criterion is met.

*(e) The variance, if granted, will not change the character of the zoning district in which the property is located, and is in keeping with the intent of the Code and the Boulder County Comprehensive Plan;*

Staff do not have concerns that the variance will change the character of the zoning district in which the property is located if granted.

Therefore, staff finds that this criterion is met.

*(f) The variance, if granted, does not adversely affect the health, safety, and welfare of the citizens of Boulder County and is in accordance with the Comprehensive Plan and any applicable intergovernmental agreement affecting land use or development.*

There is no indication that the proposed variance would adversely affect the health, safety, or welfare of Boulder County citizens, and no referral agency or nearby property owners responded with such concerns.

Therefore, staff finds this criterion is met.

**RECOMMENDATION**

As discussed above, staff find that the criteria for a variance cannot be met. Therefore, Community Planning & Permitting staff recommend that the Board of Adjustment **DENY Docket VAR-23-0001: Sombrero Ranch HOA Setback Variance.**



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MEMO TO: Whom It May Concern  
 FROM: Jonathan Tardif, Planner II  
 DATE: April 7, 2023  
 RE: Docket VAR-23-0001

The following zoning variance request has been submitted to the office of the Secretary to the Board of Adjustment for consideration at the next regular meeting:

**Docket VAR-23-0001: Sombrero Ranch HOA**

Request: Variance request to reduce the side setback along the western property line from 7' to approximately 1' 6" for the location of a fence line associated with the redevelopment of a community pool area.

Location: 6298 Reserve Drive, Parcel no. 146334108022, approximately 0.40 miles east of the intersection of Cherryvale Road and Reserve Drive, in Section 34, Township 1N, Range 70W.

Zoning: Rural Residential (RR) Zoning District

Applicant/Property Owner: Sombrero Ranch Homeowners & Recreational Association, c/o Charles Roberts

Agent: Blake Sullivan, Rodwin Architecture

We would appreciate any comments you may have concerning this request for a variance from the Boulder County Land Use Code. Please respond to this request via a letter (mail to the Community Planning & Permitting Department at PO Box 471, Boulder, CO 80306), by phone at (303-441-3930), or an email to [planner@bouldercounty.org](mailto:planner@bouldercounty.org) by **April 24, 2023**, so that the Board of Adjustment may give full consideration to your recommendation. *A lack of response will be assumed to indicate that you have "NO CONFLICT" with the request.* If you have questions concerning this request, please contact our office.

Should you wish to attend the public hearing to voice your comments or present additional information on the proposed variance, the hearing is scheduled for review by the Board of Adjustment on:

**Wednesday, June 7, 2023 at 4:00 p.m.**

Boulder County BOA meetings are convened in a hybrid format where attendees can join through Zoom or participate in person at the Downtown Boulder County Courthouse, 3rd Floor, 1325 Pearl St., Boulder. Information regarding how to participate will be available on the docket webpage ([www.boco.org/VAR-23-0001](http://www.boco.org/VAR-23-0001)).

If you plan to attend the hearing, please confirm the details by visiting the docket webpage before the scheduled hearing. A staff report will be available at [www.boco.org/VAR-23-0001](http://www.boco.org/VAR-23-0001) approximately one week prior to the hearing.



## Boulder County Land Use Department

Courthouse Annex Building  
2045 13th Street • PO Box 471 • Boulder, Colorado 80302  
Phone: 303-441-3930 • Fax: 303-441-4856  
Email: [planner@bouldercounty.org](mailto:planner@bouldercounty.org)  
Web: [www.bouldercounty.org/lu](http://www.bouldercounty.org/lu)  
Office Hours: Mon., Wed., Thurs., Fri. 8 a.m. to 4:30 p.m.  
Tuesday 10 a.m. to 4:30 p.m.

Shaded Areas for Staff Only

Intake Stamp

## Application Form

Project Number		Project Name	
<input type="checkbox"/> Limited Impact Special Use <input type="checkbox"/> Limited Impact Special Use Waiver <input type="checkbox"/> Modification of Special Use <input type="checkbox"/> Site Plan Review <input type="checkbox"/> Site Plan Review Waiver <input type="checkbox"/> Subdivision Exemption <input type="checkbox"/> Exemption Plat <input type="checkbox"/> 1041 State Interest Review <input type="checkbox"/> Other:		Application Deadline: First Wednesday of the Month <input checked="" type="checkbox"/> <b>Variance</b> <input type="checkbox"/> Appeal	
		Application Deadline: Second Wednesday of the Month	
		<input type="checkbox"/> Sketch Plan <input type="checkbox"/> Preliminary Plan <input type="checkbox"/> Final Plat <input type="checkbox"/> Resubdivision (Replat) <input type="checkbox"/> Special Use/SSDP	
		<input type="checkbox"/> Rezoning <input type="checkbox"/> Road/Easement Vacation <input type="checkbox"/> Location and Extent <input type="checkbox"/> Road Name Change	
Location(s)/Street Address(es) <b>6908 Reserve Dr., Boulder, CO 80303</b>			
Subdivision Name <b>SOMBRERO RANCH - BOV</b>			
Lot(s) <b>34 -1N -70</b>	Block(s) <b>OUTLOT 'H'</b>	Section(s) <b>34</b>	Township(s) <b>1N</b>
Area in Acres <b>0.71 AC</b>	Existing Zoning <b>RR</b>	Existing Use of Property <b>PRIVATE RESIDENTIAL RECREATION</b>	Number of Proposed Lots <b>1</b>
Proposed Water Supply <b>MUNICIPAL</b>		Proposed Sewage Disposal Method <b>MUNICIPAL</b>	

### Applicants:

Applicant/Property Owner <b>SOMBRERO RANCH HOMEOWNERS &amp; RECREATIONAL ASSOCIATION - Charles Roberts</b>			Email Address <b>charles.j.roberts@gmail.com</b>	
Mailing Address <b>6298 Reserve Dr., Boulder, CO 80303</b>				
City <b>Boulder</b>	State <b>CO</b>	Zip Code <b>80303</b>	Phone <b>303.579.9456</b>	Fax
Applicant/Property Owner/Agent/Consultant <b>Rodwin Architecture - Blake Sullivan</b>			Email Address <b>blake@rodwinarch.com</b>	
Mailing Address <b>1245 Pearl St., Suite 202</b>				
City <b>Boulder</b>	State <b>CO</b>	Zip Code <b>80302</b>	Phone <b>303.413.8556</b>	Fax
Agent/Consultant			Email Address	
Mailing Address				
City	State	Zip Code	Phone	Fax

### Certification (Please refer to the Regulations and Application Submittal Package for complete application requirements.)

I certify that I am signing this Application Form as an owner of record of the property included in the Application. I certify that the information and exhibits I have submitted are true and correct to the best of my knowledge. I understand that all materials required by Boulder County must be submitted prior to having this matter processed. I understand that public hearings or meetings may be required. I understand that I must sign an Agreement of Payment for Application processing fees, and that additional fees or materials may be required as a result of considerations which may arise in the processing of this docket. I understand that the road, school, and park dedications may be required as a condition of approval.

I understand that I am consenting to allow the County Staff involved in this application or their designees to enter onto and inspect the subject property at any reasonable time, without obtaining any prior consent.

**All landowners are required to sign application. If additional space is needed, attach additional sheet signed and dated.**

Signature of Property Owner	Printed Name	Date
Signature of Property Owner	Printed Name	Date

The Land Use Director may waive the landowner signature requirement for good cause, under the applicable provisions of the Land Use Code.








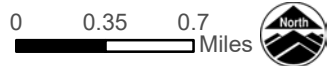
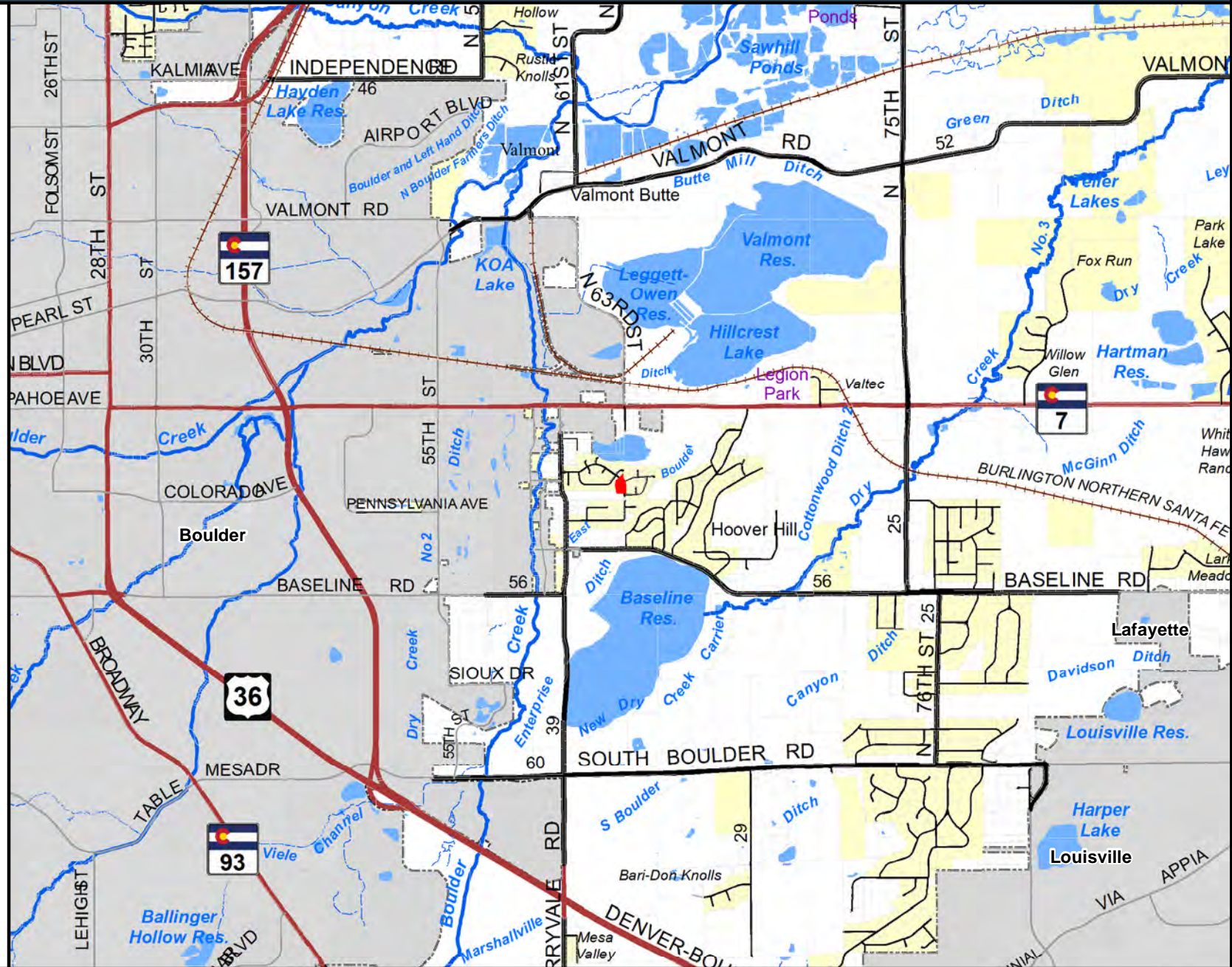
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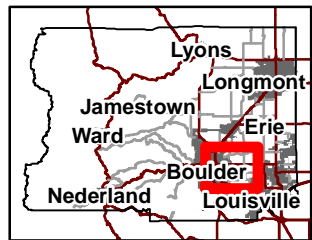
Vicinity

6298 RESERVE

-  Subject Parcel
-  Municipalities
- Subdivisions**
-  Subdivisions



Area of Detail Date: 4/25/2022



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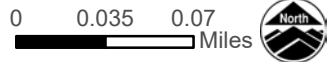
Location

6298 RESERVE

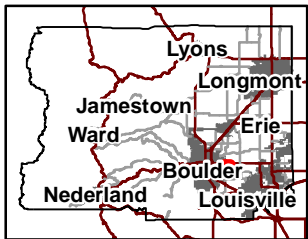
Subject Parcel

**Subdivisions**

Subdivisions



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Aerial  
6298 RESERVE

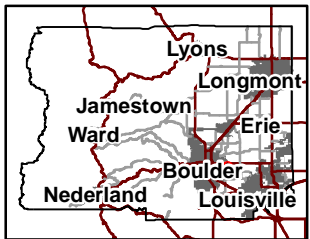
 Subject Parcel



0 0.004 0.008  
Miles



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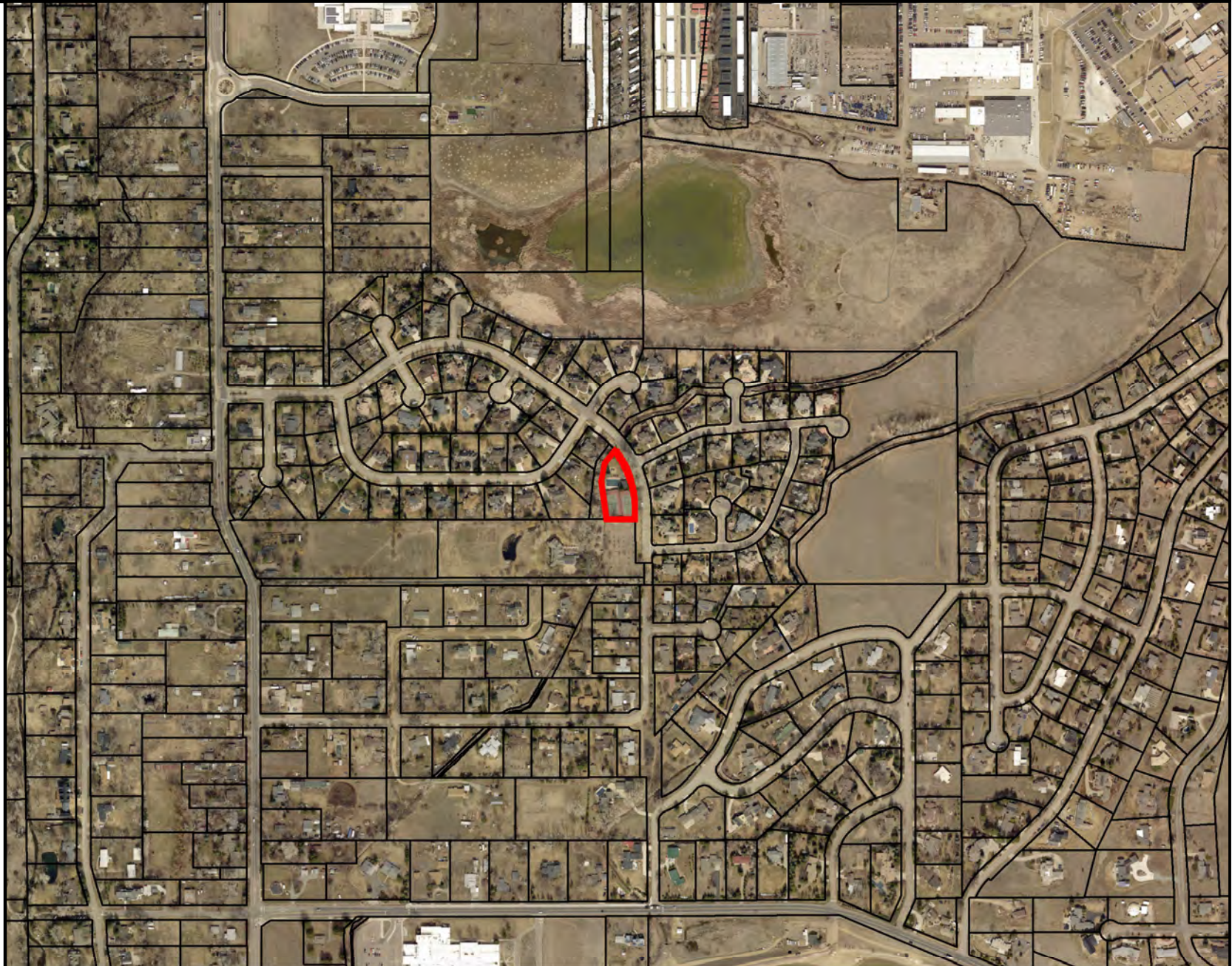


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Aerial  
6298 RESERVE

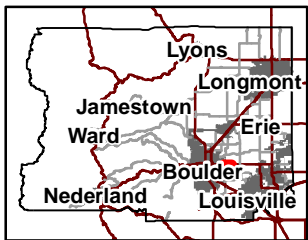
 Subject Parcel



0 0.05 0.1 Miles



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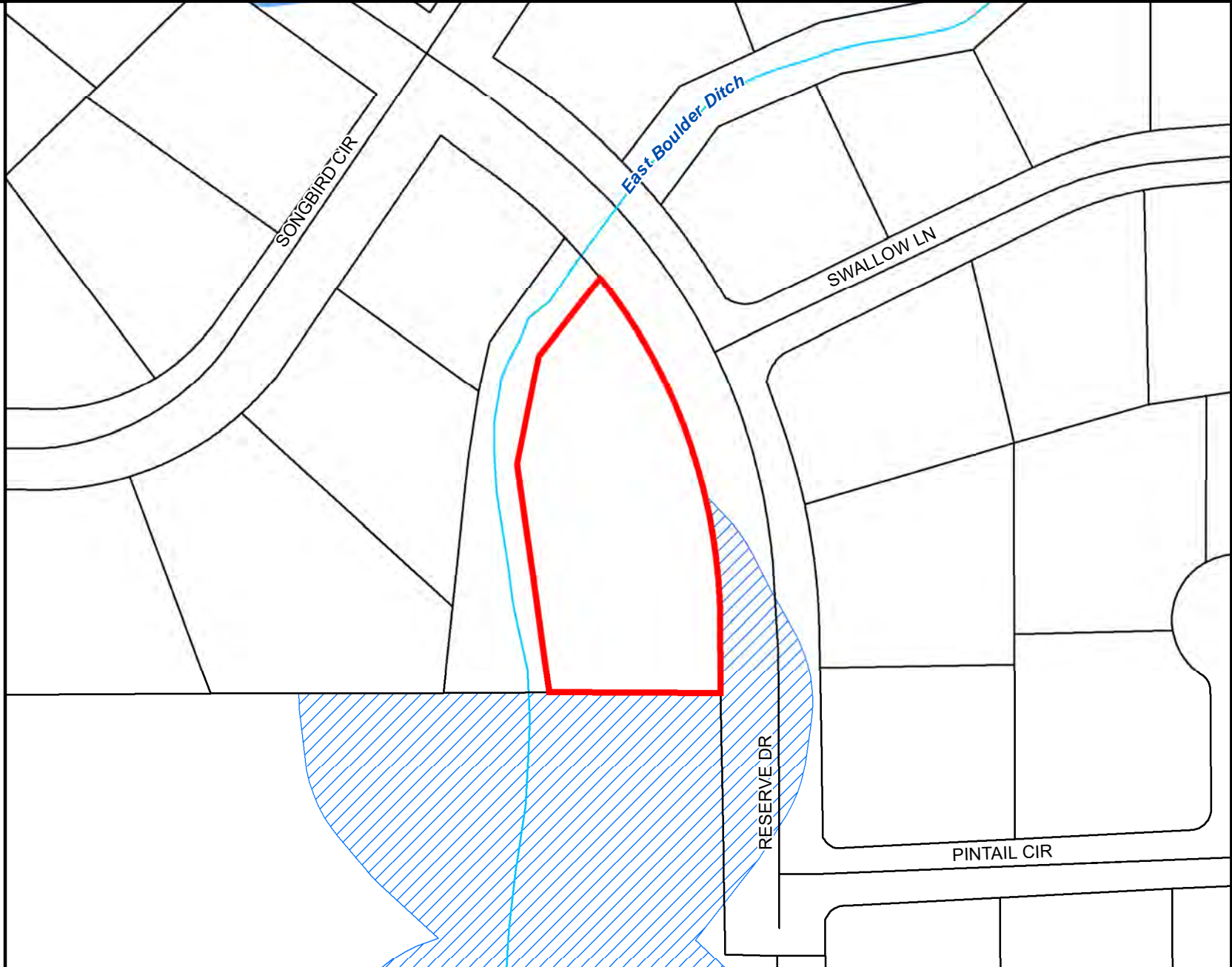
# Community Planning & Permitting

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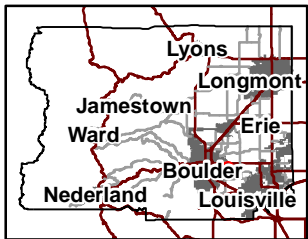
## Comprehensive Plan

### 6298 RESERVE

-  Subject Parcel
-  Riparian Areas
-  Wetlands



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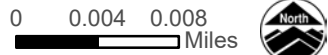
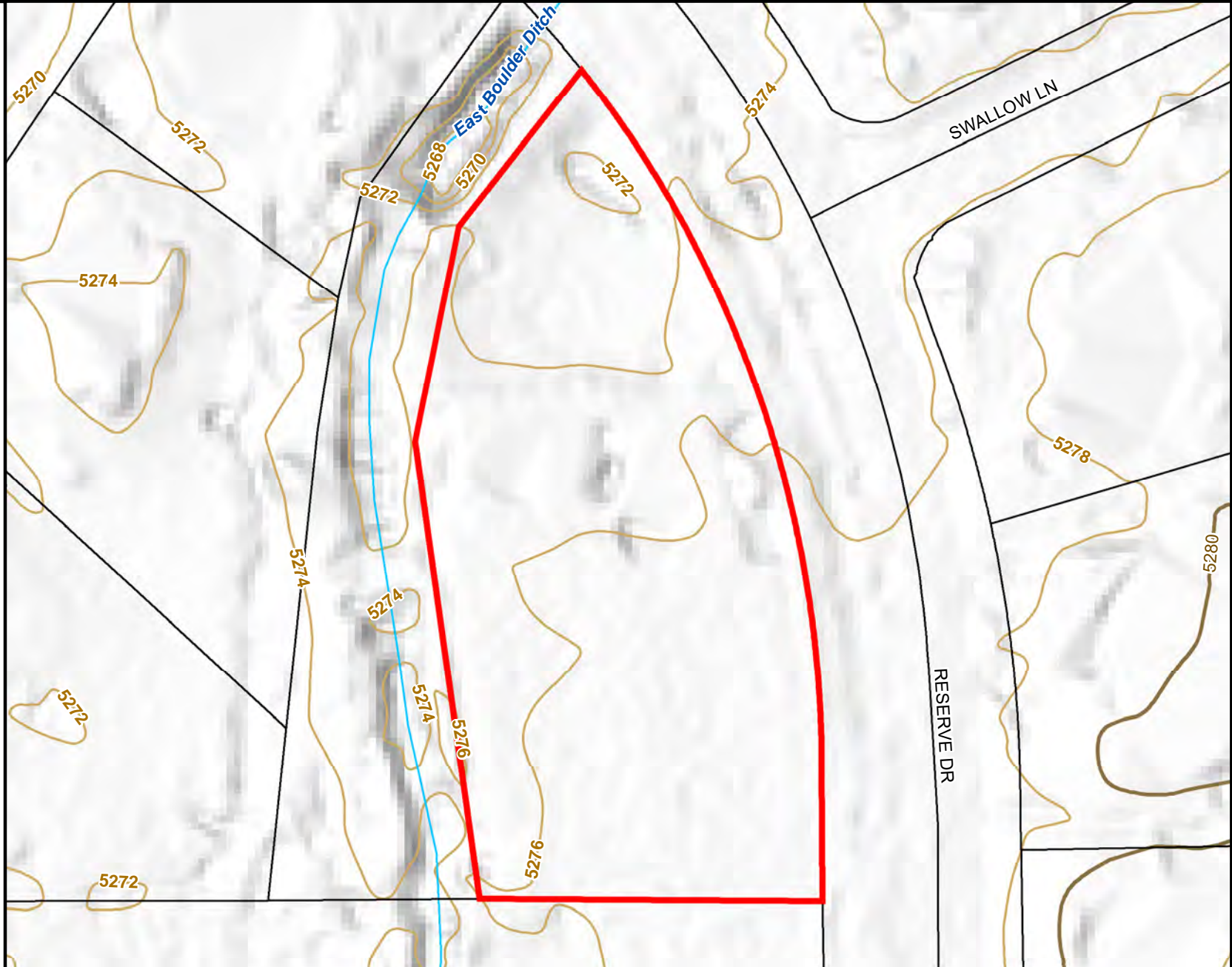
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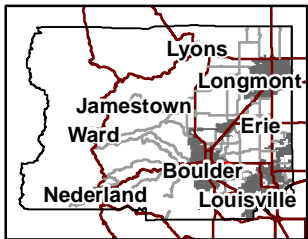
## Elevation Contours

### 6298 RESERVE

-  Subject Parcel
-  Contours 40'
-  Contours 2'



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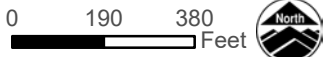
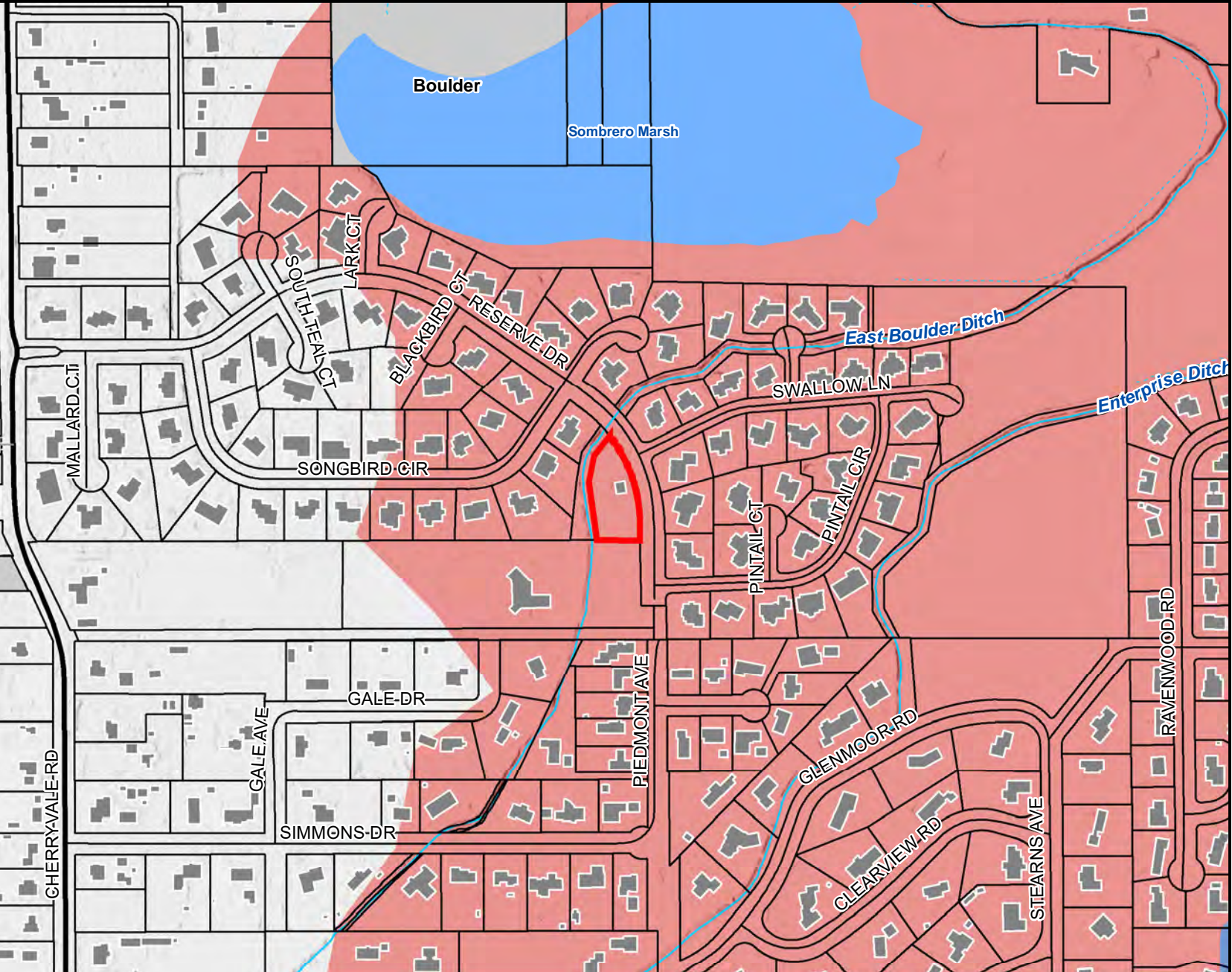
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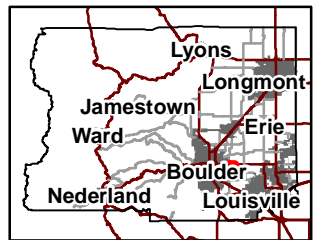
## Geologic Hazards

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- Subject Parcel
- Very High Swelling Soil Potential



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Planning Areas

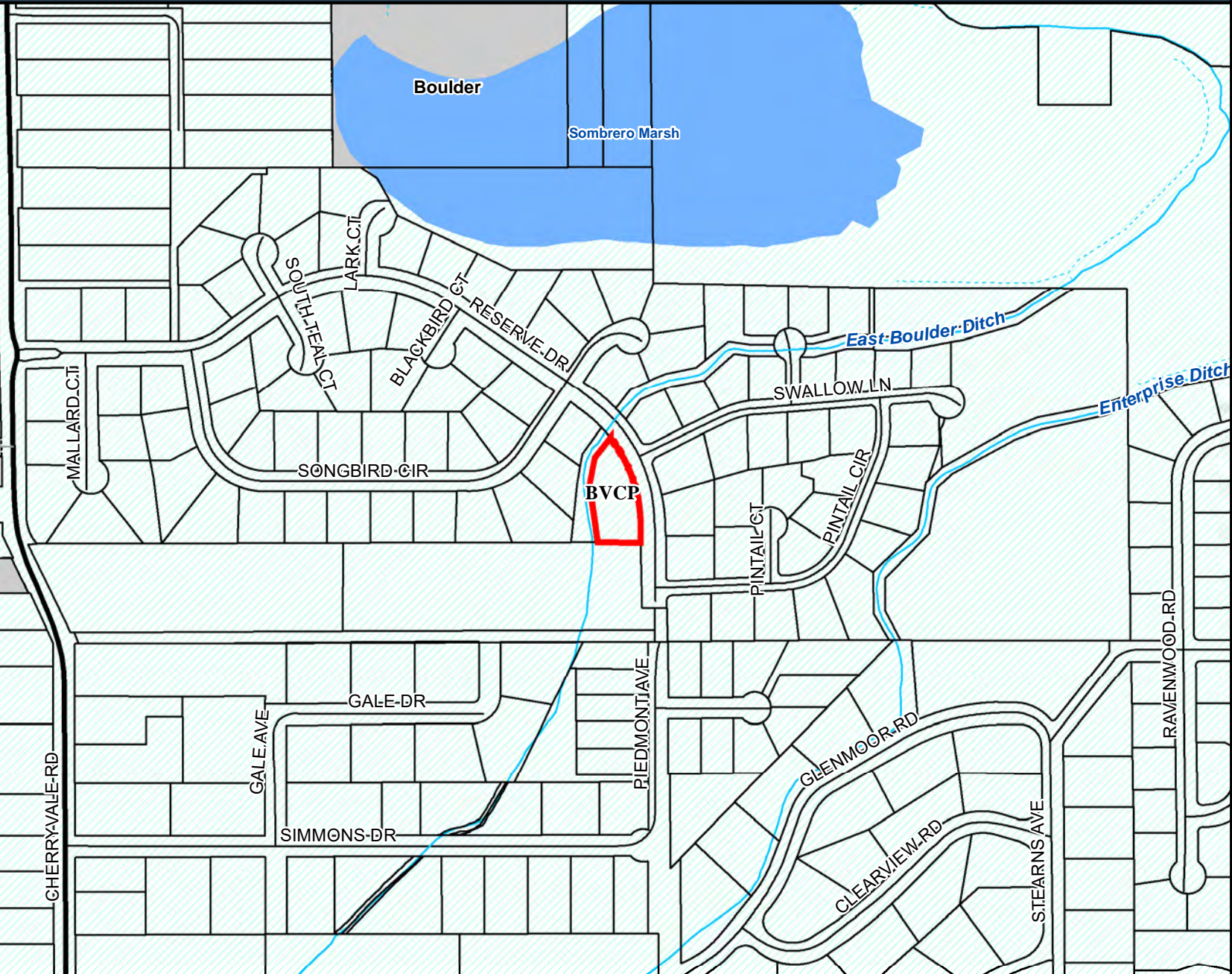
6298 RESERVE

Subject Parcel

Active IGA Boundary

### Active IGA Designation

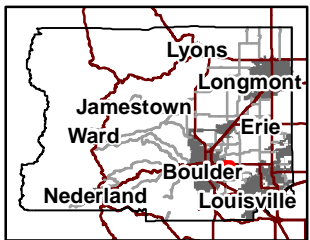
BVCP



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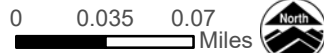
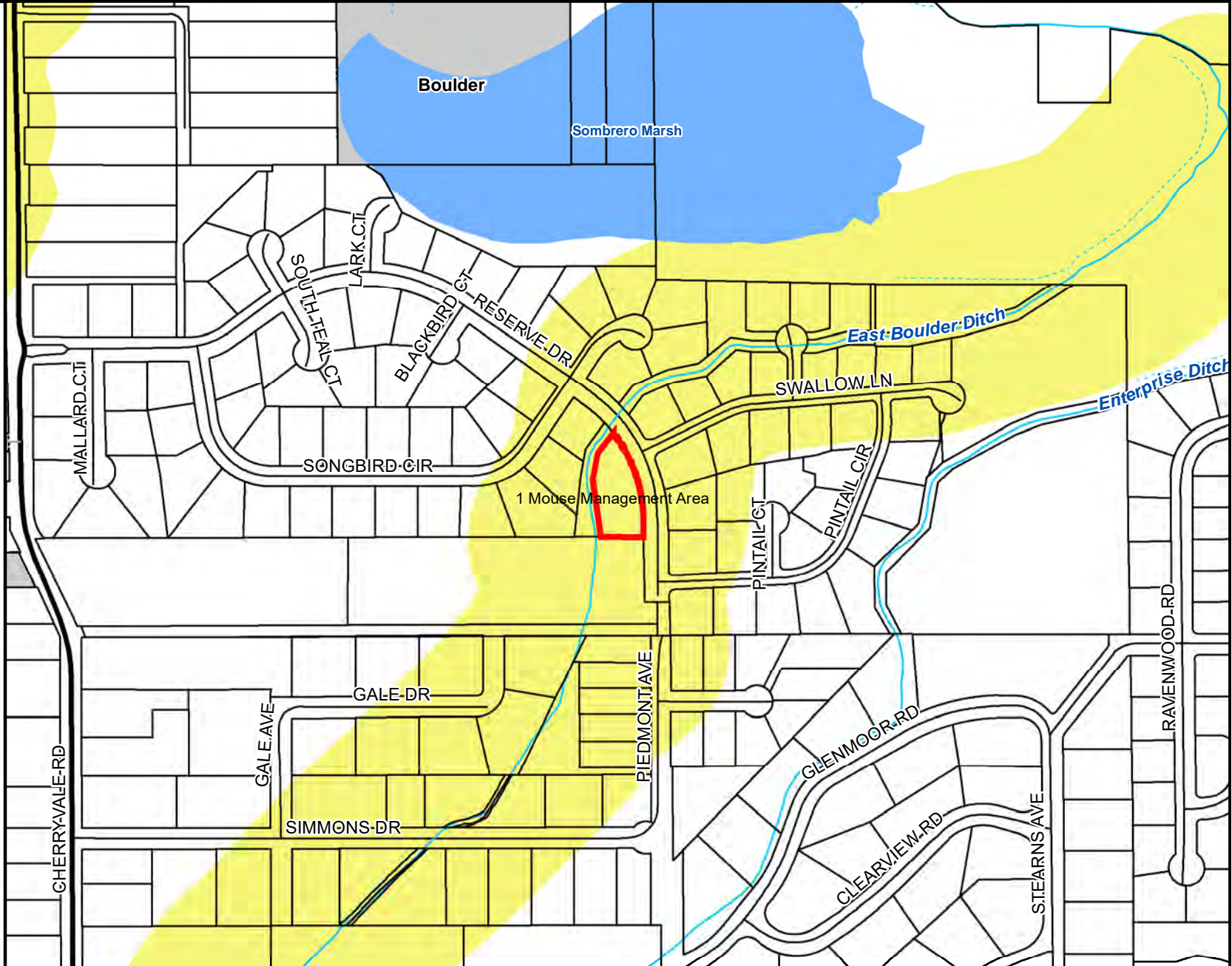
Prebles  
6298 RESERVE

Subject Parcel

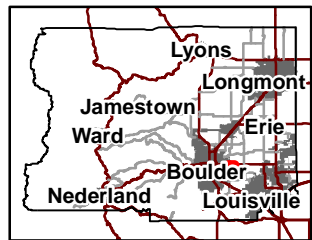
Note: This map's legend shows all Preble's Priority Zones as mapped by Boulder County. The subject property may not contain all zones. Refer to the USFWS Memo dated 9/17/03 to determine when projects require review by USFWS for Preble's.

### Prebles

Zone 1 Mouse Management Area



Area of Detail Date: 4/25/2022



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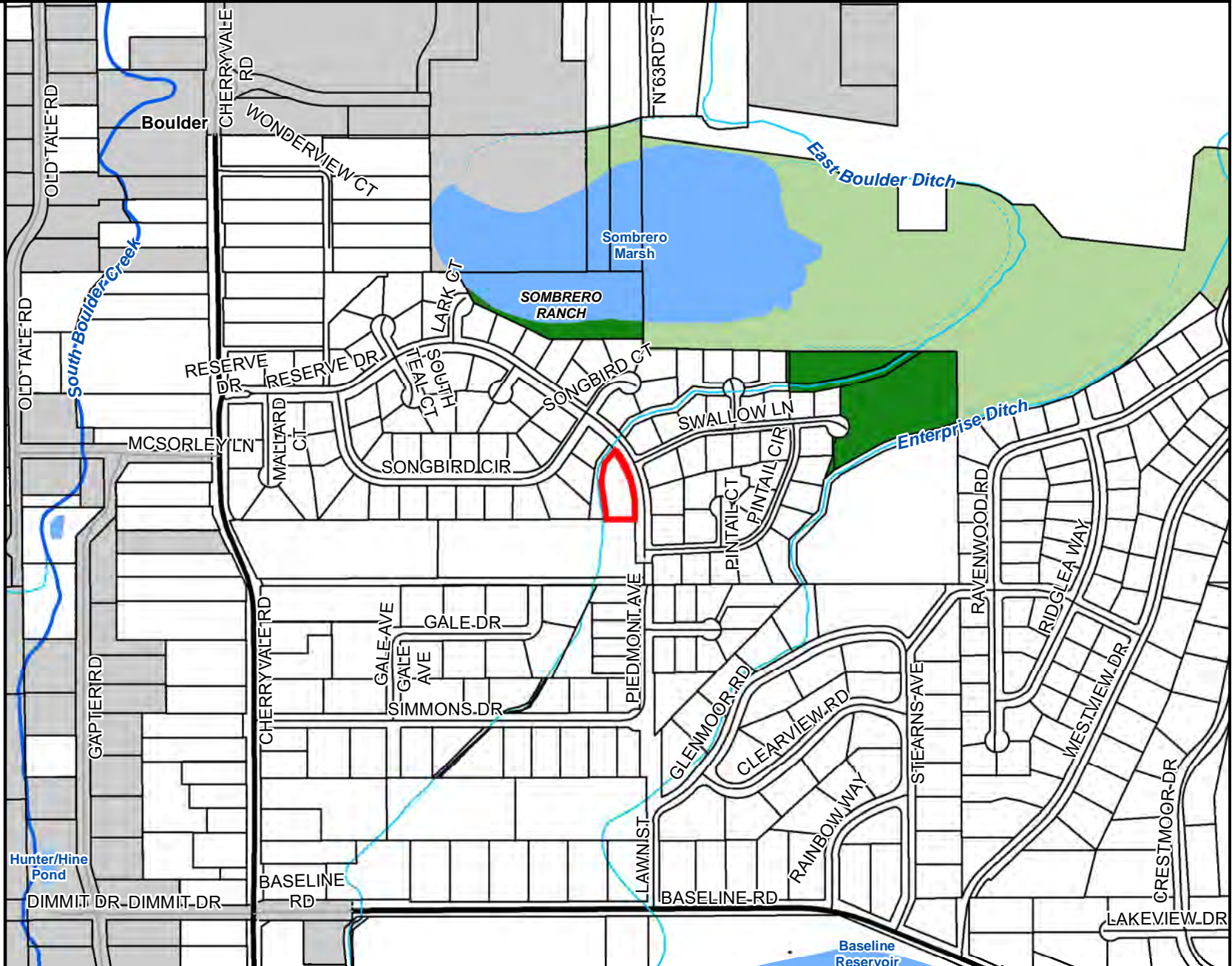
Public Lands & CEs

6298 RESERVE

Subject Parcel

## Boulder County Open Space

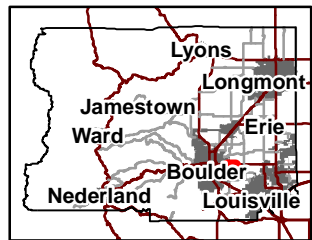
- County Open Space
- OSM Properties



0 0.05 0.1 Miles



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Zoning

6298 RESERVE

Subject Parcel

### Major Road Setbacks

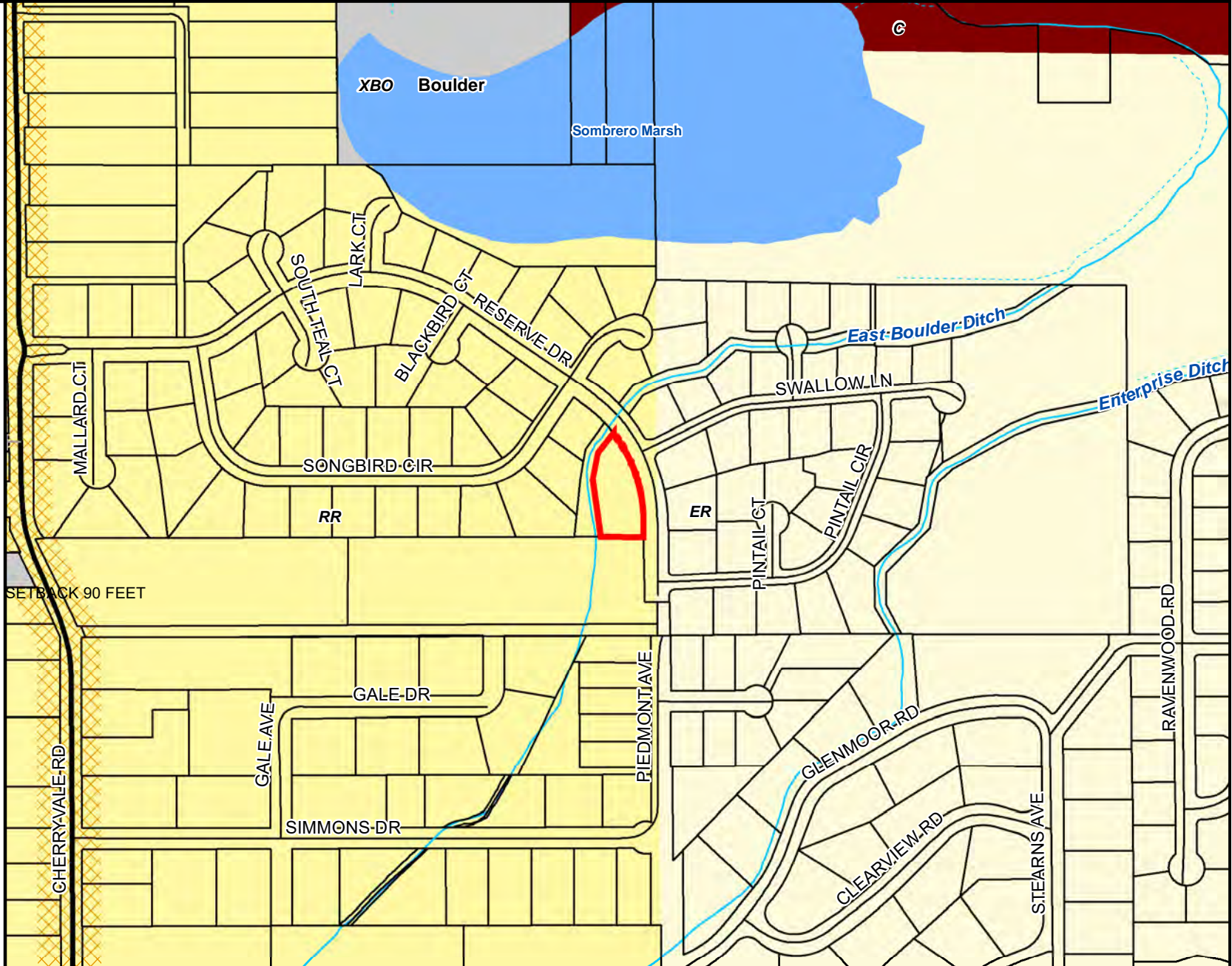
90 feet

### Zoning Districts

Commercial

Estate Residential

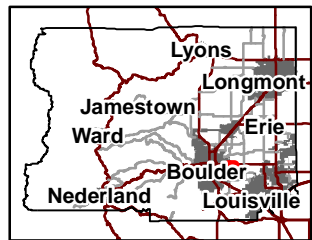
Rural Residential



0 0.035 0.07 Miles



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## **Reserve HOA Pool Facility**

**1.3.23**

### *Board of Adjustment (BOA) Hardship Statement*

**A. There exists exceptional or extraordinary physical circumstances of the subject property such as irregularity, narrowness, shallowness, or slope.**

- The subject property at 6298 Reserve Dr. is an odd shaped elongated wedge getting more narrow from south to north. This gradual constriction pinches the proposed program at the northwest corner threatening to impede the accessible path around the pool.
- The existing facility's occupied area will be reduced along the western edge to fall completely within the property lines, vacating the adjacent property it currently occupies.

Due to the irregular shape of the lot and the bend in the northeast corner a variance is requested to maintain safe clearances around the entire pool for all bathers.

The wider proposed walkway and the 8' tall fence will provide safe navigation of the pool deck as well as providing higher levels of security; a major objective of the Homeowner's Association and neighborhood. It is the intention of the Homeowner's Association to vacate the utility easement while still providing the same facilities for its members.

- The adjacent property to the west is part of unincorporated Boulder County used as a utility easement for the East Boulder Ditch. This variance will allow the project to vacate the easement while allowing no disruption of the ditch, associated drainage, or inlet. An objective of the project is to be sensitive to the needs of all neighbors while providing recreational space for the community.

**B. Because of these physical circumstances, the strict application of this code would create an exceptional or undue hardship to the property owner.**

- In order to execute the desired program of the pool and maintain a quality experience for all users, the orientation of the existing pool is proposed to be



modified to bring the entire facility into code compliance. This rotation, in addition to pushing the pool as far east as possible, gains enough space to fit the desired program within the property line and required setbacks with the minor exception of the western fence line. While the proposed solution will need a minor variance, the existing flatwork and chain link fence will be removed from the East Boulder Ditch easement they currently occupy. This variance will allow the neighborhood to maintain the size of its current facility while also allowing them to be in conformance with current zoning.

**C. The hardship is not self-imposed**

- This hardship is physical in nature and impedes the neighborhood's ability to update their facility to current standards while ensuring full functionality and accessibility throughout. The natural flowline of the ditch constricts the property in a manner that cannot be adjusted.

This variance will allow the community to construct the proposed fence within their property line while allowing them to update the deteriorating amenities. As the neighborhood updates its amenities, it remains important to maintain programmatic functionality and user safety throughout the facility at all times.

**D. The variance, if granted, will not adversely affect the use of the adjacent property as permitted under this Code.**

- Granting this variance will have no adverse effects on the adjacent property and will alleviate the current non-compliant condition. Conversely, granting this variance will improve existing conditions while bringing this property into compliance with Boulder County Codes. The current large chain link fence, installed over the western property line, serves as the western boundary of the existing facility and has for approximately 29 years. Granting this variance will move the fence line approximately 1'- 6" to 1' - 11" inside the western property line, vacating the entire East Boulder Ditch easement. This shift in the location of the current fence will allow each property to be in full compliance with Boulder County Zoning Code.



**E. The variance, if granted, will not change the character of the zoning district in which the property is located, and is in keeping with the intent of this Code and the Boulder County Comprehensive Plan; and,**

- This variance will not change the character of the zoning district and will ultimately conform more closely to the Code and Comprehensive Plan than the existing condition. Allowing the fence to be constructed within the prescribed side setback stands to improve the character of this zoning district for all adjacent property owners. The character of the fence itself will be a sectional decorative aluminum to enhance the neighborhood and the East Boulder Ditch boundary while providing the level of safety required by the Homeowner's Association and Board Members. This project will have the ability to strengthen the neighborhood character while improving the user experience on all adjacent properties.

**F. That the variance, if granted, does not adversely affect the health, safety, and welfare of the citizens of Boulder County.**

- This variance, if granted, will not adversely affect health, safety, or welfare of any Boulder County citizen. This variance will allow the installation of the fence within the boundaries of the property line while improving existing site conditions. This variance will enable the HOA to vacate the currently occupied buffer zone desired by the ditch company for regular or emergency maintenance. We believe that granting this variance will allow the homeowner's association and East Boulder Ditch to achieve the objectives of their communities while increasing safety and welfare throughout the facility and neighborhood.

## Tardif, Jonathan

---

**From:** Blake Sullivan <blake@rodwinarch.com>  
**Sent:** Friday, February 24, 2023 11:40 AM  
**To:** Tardif, Jonathan  
**Subject:** [EXTERNAL] 6298 Reserve Drive - Fence Variance - Reserve HOA Pool Facility

Jonathan,

When we spoke you requested that we submit additional language addressing the size (length) of the pool and why it cannot be shortened.

*The proposed configuration of the pool meets all programmatic goals with the least disruption to the overall site. It is the intention of the HOA to replace their current facility while being sensitive to all disruption on the site.*

*The size of the pool is a high priority for the homeowners association members. One of the goals of the project is to include standard 25 yard lap lanes to allow the residents dedicated space for fitness while still providing a recreational area. The current pool does not allow these activities and does not provide adequate length for lap swimming. The pool could not be moved away from the East Boulder Ditch property line as it is on the front setback as well. The patio area around the pool is the minimum required for safe circulation around the pool.*

*We have contacted the Ditch Company regarding the proposed plans and they have voiced no objection to the proposed location of the fence.*

Please let us know if you have any additional questions or concerns and we will be happy to discuss.

Thank you, have a wonderful weekend!

**Blake Sullivan**

Project Manager / Senior Architect

**RODWIN ARCHITECTURE + SKYCASTLE CONSTRUCTION**  
**DESIGN [BUILD] GREEN**

1245 Pearl Street, Suite 202

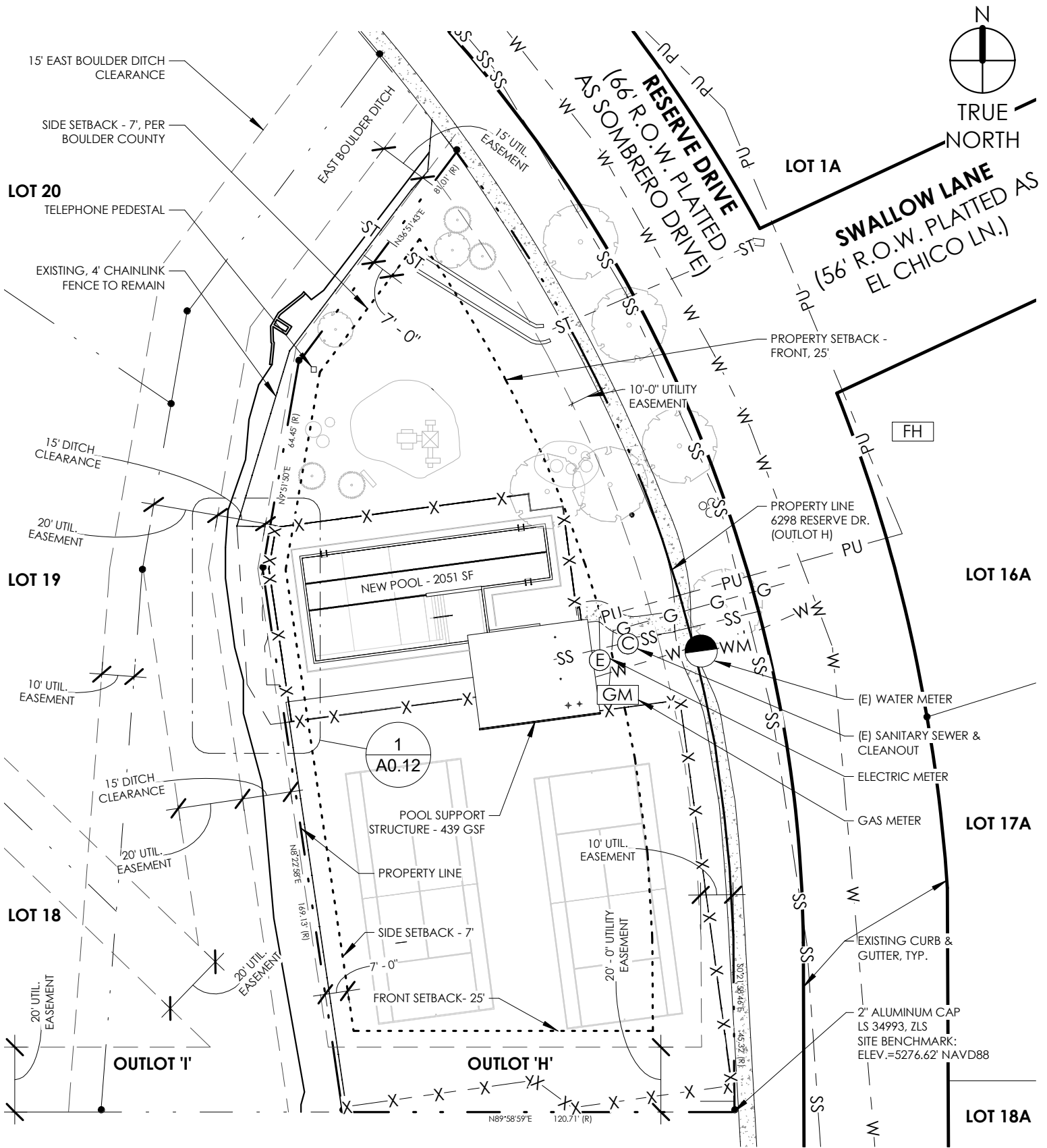
Boulder, CO 80302


p 303.413.8556 x113

c 720.317.7800

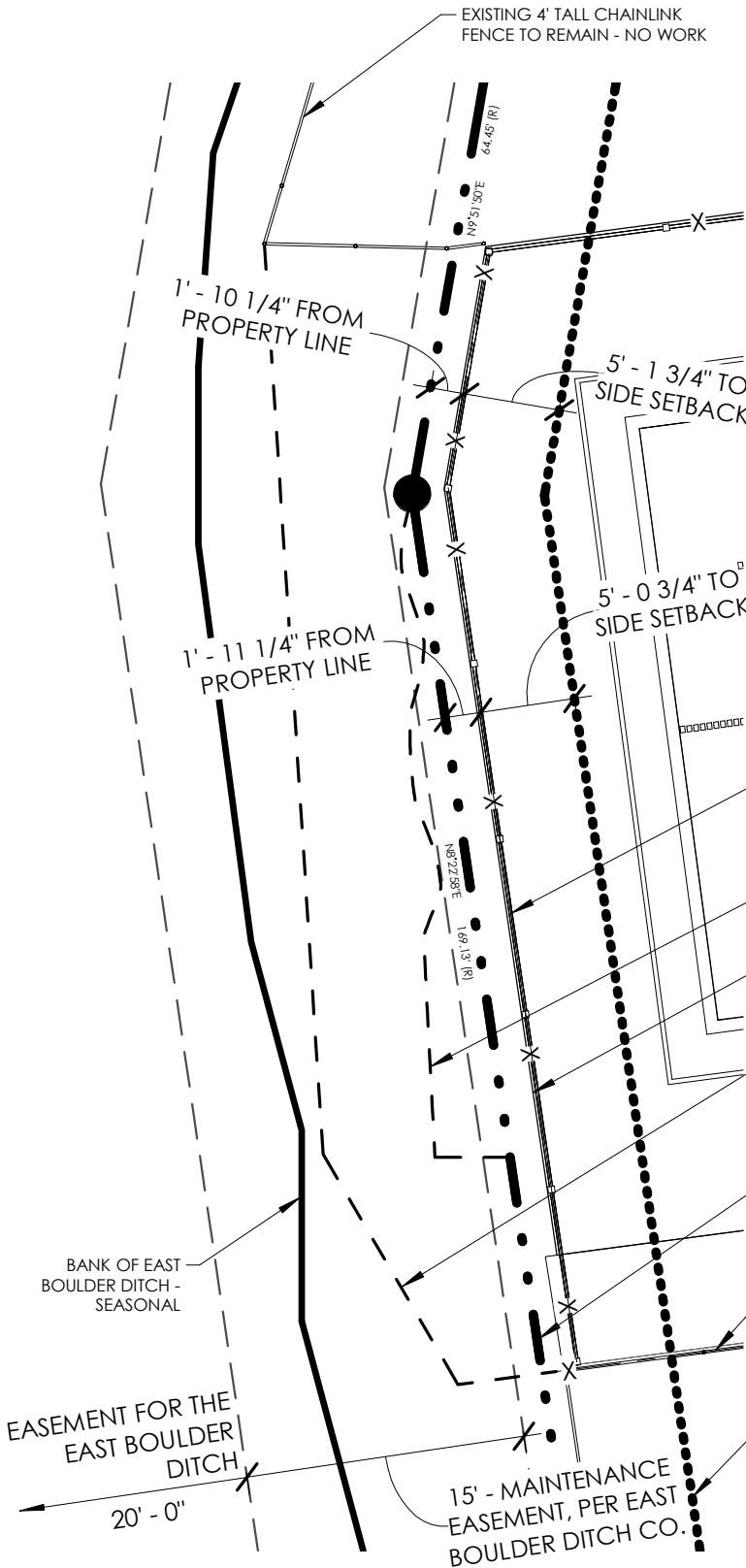
[www.rodwinarch.com](http://www.rodwinarch.com)

[www.skycastleconstruction.com](http://www.skycastleconstruction.com)



 <p><b>RODWIN ARCHITECTURE</b>                  1245 Pearl St., Suite 202                  Boulder, Colorado 80302                  (p) 303.413.8556                  (f) 303.413.8557                  www.rodwinarch.com</p>	<p><b>Reserve HOA Pool Facility</b></p> <p>6298 RESERVE DR., BOULDER,                  CO 80303</p>	<p><b>Architectural Site Plan</b></p>		
		<p>FENCE PERMIT - VARIANCE</p>		<p><b>A0.11</b></p>
		<p>Date:</p>	<p>7.11.2022</p>	
		<p>Prepared by:</p>	<p>BS</p>	
<p>Scale:</p>	<p>1" = 40'-0"</p>			





**SITE PLAN LEGEND:**

- - - - - PROPERTY LINE
- REMAINING TREE
- - - - - EASEMENT LINE
- SETBACK LINE
- - - - - CENTER LINE
- X -X- FENCE LINE

**NOTES:**  
1. RE: CIVIL PLANS FOR PROPOSED GRADING, DRAINAGE, EROSION CONTROL, REVEGETATION, & UTILITIES

PROPOSED 8'-0" DECORATIVE METAL FENCING. STRUCTURAL FOOTINGS AND CONNECTIONS CAN BE FOUND IN THE FENCE PERMIT DOCUMENTS.

EXTENTS OF EXISTING FLATWORK OVER PROPERTY LINE. THIS SHALL BE REMOVED

LINE OF PROPOSED NEW FLATWORK - SHALL EXTEND UNDER FENCE TO ENSURE CONSISTENT GAP AT THE BOTTOM OF THE FENCE

LINE OF EXISTING CHAIN LINK FENCE. EXISTING CHAINLINK FENCE SHALL BE DEMOLISHED, RELOCATED, AND REPLACED WITH PROPOSED 8' FENCE. CURRENT FENCE SITS OVER THE PROPERTY LINE ADJACENT TO THE EAST BOULDER DITCH

WESTERN PROPERTY LINE

EXISTING CHAINLINK FENCE AT TENNIS COURT WILL REMAIN - NO WORK

SIDE SETBACK - 7' - 0"

BANK OF EAST BOULDER DITCH - SEASONAL

EASEMENT FOR THE EAST BOULDER DITCH

20' - 0"

15' - MAINTENANCE EASEMENT, PER EAST BOULDER DITCH CO.

<p><b>RODWIN ARCHITECTURE</b>                  1245 Pearl St., Suite 202                  Boulder, Colorado 80302                  (p) 303.413.8556                  (f) 303.413.8557                  www.rodwinarch.com</p>	<p>Reserve HOA Pool Facility</p> <p>6298 RESERVE DR., BOULDER, CO 80303</p>	Enlarged Plan - Fence Variance		
		FENCE PERMIT - VARIANCE		A0.12
		Date:	7.11.2022	
		Prepared by:	BS	
Scale:	1" = 10'-0"			

**GENERAL CONDITIONS**

- Do not scale these drawings, verify all dimensions and conditions. Any variation should be brought to the attention of the Architect and Owner prior to the commencement of work.
- Dimensions and conditions of the job site shall be verified by all Builders. It is the responsibility of the Builder to examine the existing conditions prior to submitting bid to the Owner since proposals must take into account all such conditions which may affect the work.
- Discrepancies in the drawings and actual field conditions shall be reported to the Architect and Owner. Corrected drawings or instructions shall be issued by the Owner prior to the commencement of the work.
- This project shall comply with all current local municipal codes. If the municipality in question does not have codes, the project shall comply with the following codes as applicable \* :

**BOULDER COUNTY CODE AMENDMENTS**  
 2015 INTERNATIONAL BUILDING CODE (the "IBC"), including specifically Appendix Chapters C, I, J and K;  
 2015 INTERNATIONAL SWIMMING POOL AND SPA CODE (the "ISPS");

\*It is responsibility of anyone supplying labor, materials or both to bring to the attention of the Architect and Owner any discrepancies or conflicts between requirements of these codes and drawings.

- All dimensions are to the face of the foundation or wood frame studs or centerline of rough opening U.O.N.
- The General Contractor (GC) shall coordinate and field verify utility connections, their routing, meter locations, hose bibs, and other associated items.
- The GC to coordinate top of foundation wall/ slab elevations with information indicated in these plans and with final grading.
- The GC shall provide the Owner with a list of the heating and cooling, water heating and lighting systems or solar devices to be installed in the building and instructions on how to use and maintain them efficiently. All warranties of all materials are to be furnished to the Owner upon completion of the project.
- The details shown are intended to further illustrate the visual design concept and minimum weather protection requirements for this project. The GC shall incorporate the requirements of the local building codes, structural considerations, trade association manuals, publications and recommendations and the manufacturer's written instructions for complete construction of details. All possible field conditions that may be encountered are not necessarily described. Field conditions encountered that require clarification shall be brought to the Builder's attention.
- Reinforced Concrete slab:**  
 -See structural set and notes for thickness and reinforcement.  
 -All wood in direct contact with concrete shall be treated and rated for this use.  
 -Sub-slab drainage per Civil Soils Report
- Foundations, Concrete, & Reinforcement:**  
 -See Structural Drawings, general structural notes, Typical Wall Section, and soils report.  
 -Foundation waterproofing and damp proofing per code  
 -EPA-compliant passive radon mitigation system (or active w/ fan) per code  
 -Perimeter drainage per Civil Soils Report
- Typical Wall Types:**  
 -Exterior Building: Structural split face concrete masonry units per structural plans
- Exterior Materials:**  
 -All ext. materials to meet Boulder County Regs. for Ignition Resistant Construction  
 -All exterior materials per architectural elevations and specifications
- General:**  
 -Siting of Pool & Pool Building: Per Site Plan & Surveyor staking  
 -Storage of building materials on site: Subcontractors to cover and protect all building materials stored on site from water and UV/ sun degradation.  
 -New Construction must comply with Construction Waste Recycling. An applicant shall demonstrate that all recyclable wood, metal, and cardboard materials will be donated, reused, or recycled.  
 -Deconstruction waste recycling must comply with all County deconstruction and recycling requirements



VICINITY MAP: NTS

Architectural Sheet Index		
Sheet Number	Sheet Name	Sheet Order
-CVR-	Gen. Notes + Project Info	000
TOPO 1	Topographical Survey	100
C1.01	Cover Sheet	101
C2.01	Existing Conditions Plan	101
C2.02	Civil Site Plan	101
C2.03	Grading, Drainage, and Erosion Control Plan	101
C2.04	Utility Plan	101
C3.01	Civil Details	101
A0.1	Architectural Site Plan	111

Architectural Sheet Index		
Sheet Number	Sheet Name	Sheet Order
A0.6	Product Specification	111
A1.0	Deconstruction Plan	111
A1.1	1st Floor Plan	111
A4.1	Pool Deck Clearance & Drainage	111
A4.2	Site Fencing & Detailing	111
A4.3	Site Fencing & Detailing	111
A9.3	ACCESSIBILITY DETAILS	111
S1.1	Fence Foundation Plan	112
S2.1	Foundation Details	112

Total Sheets: 18

**PROJECT NARRATIVE:**

THIS PROJECT SHALL CONSIST OF A FENCE STRUCTURE, 8' HIGH, TO PROVIDE A BARRIER AND SECURITY TO THE NEIGHBORHOOD HOA POOL FACILITY. THE FENCE AND GATE SHALL CONFORM TO ALL STANDARDS SET FORTH IN THE 2015 ISPS, SECTIONS 305 - BARRIERS AND 305.3 - GATES. THE ASSOCIATED POOL AND POOL ACCESSORY BUILDING WILL BE UNDER SEPARATE PERMITS.

**PROPERTY INFORMATION**

6298 RESERVE DR.  
 BOULDER, CO 80303  
 STR: 34 - 1N - 70  
 SUBDIVISION: SOMBRERO RANCH - BOV  
 LEGAL DESC: OUTLOT H SOMBRERO RANCH VALUE  
 DIST TO HOMEOWNERS HB 1346  
 ESTIMATED PARCEL AREA:  
 SQUARE FEET: 30,719  
 ACRES: 0.71

**PROJECT TEAM CONTACT INFO**

**OWNERS:**

SOMBRERO RANCH HOMEOWNERS &  
 RECREATIONAL ASSOCIATION  
 CHUCK ROBERTS - HOA BOARD REPRESENTATIVE  
 6298 RESERVE DR., BOULDER, CO 80302  
 P: 303.579.9456  
 CHARLES.J.ROBERTS@GMAIL.COM

**ARCHITECT: RODWIN ARCHITECTURE**

SCOTT RODWIN, AIA, LEED AP  
 1245 PEARL STREET, SUITE 202  
 BOULDER, CO 80302  
 P: 303-413-8556  
 SCOTT@RODWINARCH.COM  
 BLAKE SULLIVAN, PROJECT MANAGER  
 BLAKE@RODWINARCH.COM  
 P: 720.317.7800

**STRUCTURAL ENGINEER: GEBAU ENGINEERING**

PAUL GALLAGHER  
 2450 CENTRAL AVE, STE. P-5  
 BOULDER, CO 80301  
 P: 303-554-9591  
 F: 303-554-9592  
 PAUL@GEBAU.COM

**CIVIL & GEOTECHNICAL ENGINEERS: SCOTT, COX & ASSOCIATES**

1530 55TH ST.  
 BOULDER, CO 80303  
 P: 303-444-3051  
 F: 303-444-3387

CIVIL: DON ASH - ASH@SCOTTCOX.COM  
 GEOTECH: RYNE METTLER - METTLER@SCOTTCOX.COM  
 SURVEYOR: JOHN BURI - BURI@SCOTTCOX.COM

**MECHANICAL, ELECTRICAL & PLUMBING ENGINEERS: RAMIREZ, JOHNSON, AND ASSOCIATES**

CHRIS WOOD  
 3295 BLAKE ST., #104  
 DENVER, CO 80205  
 P: 720.598.0774  
 chris@rja-eng.com  
 http://www.rja-eng.com

**ABBREVIATIONS:**

- AFF - ABOVE FINISHED FLOOR
- ABV - ABOVE
- AL - ALUMINUM
- ALT - ALTERNATE
- APPROX - APPROXIMATE
- ARCH - ARCHITECT/ ARCHITECTURAL
- BD - BOARD
- BDC - BUILDING
- BOH - BOTTOM OF HEADER
- B.O. - BOTTOM OF
- BOT - BOTTOM
- B/W - BETWEEN
- CIVIL - CIVIL DRAWINGS, CIVIL ENGINEER
- CLG - CEILING
- CONC - CONCRETE
- CONT - CONTINUOUS
- CPT - CARPET
- CT - CERAMIC TILE
- CTR - CENTER
- DBL - DOUBLE
- DEMO - DEMOLITION/ DEMOLISH
- DIM - DIMENSION
- DN - DOWN
- DS - DOWN SPOUT
- DWG - DRAWING
- EA - EACH
- ELEC - ELECTRICAL
- ELEV(S) - ELEVATION(S)
- (E) - EXISTING
- EQ - EQUAL
- EXT - EXTERIOR
- (EG) - EGRESS
- FD - FLOOR DRAIN
- FDN - FOUNDATION
- FF - FINISH FLOOR
- FIN - FINISH/ FINISHES
- FT - FOOT/ FEET
- FTG - FOOTING
- FURN - FURNITURE/ FURNISHINGS
- FV - FIELD VERIFY
- GSU - GRASS SIDE UP
- GYP BD - GYPSUM BOARD
- INSUL - INSULATION
- INT - INTERIOR
- MAS - MASONRY
- MECH - MECHANICAL
- MEP - MECHANICAL, ELECTRICAL, & PLUMBING
- MIN - MINIMUM
- MAX - MAXIMUM
- MTL - METAL
- (N) - NEW
- NTS - NOT TO SCALE
- OPNG - OPENING
- PIA - A BIG PROBLEM
- PLBG - PLUMBING
- QTY - QUANTITY
- PTD - PAINTED
- SPEC - SPECIFICATIONS
- STD - STAINED
- STRUCT - STRUCTURALS, STRUCTURAL ENGINEER
- (T) - TEMPERED
- T.O. - TOP OF
- TOW - TOP OF WALL
- TYP - TYPICAL
- UNCL - UNLESS OTHERWISE NOTED
- WD - WOOD
- WW - WINDOW WELL
- W/ - WITH
- W/O - WITHOUT



**RODWIN ARCHITECTURE**

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 Boulder, Colorado 80302  
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 www.rodwinarch.com

**Reserve HOA - POOL**  
 6298 RESERVE DR., BOULDER, CO 80303

**NOTICE: DUTY OF COOPERATION**  
 Release of these plans contemplates further cooperation among the owner, his contractor and the architect. Design and construction are complex. Although the architect and his consultants have performed their services with due care and diligence, they cannot guarantee perfection. Communication is imperfect and every contingency cannot be anticipated. Any ambiguity or discrepancy discovered by the use of these plans shall be reported immediately to the architect. Failure to notify the architect compounds misunderstanding and increases construction costs. A failure to cooperate by a simple notice to the architect shall relieve the architect from responsibility for all consequences. Changes made from the plans without consent of the architect are unauthorized, and shall relieve the architect of responsibility for all consequences arising out of such changes.

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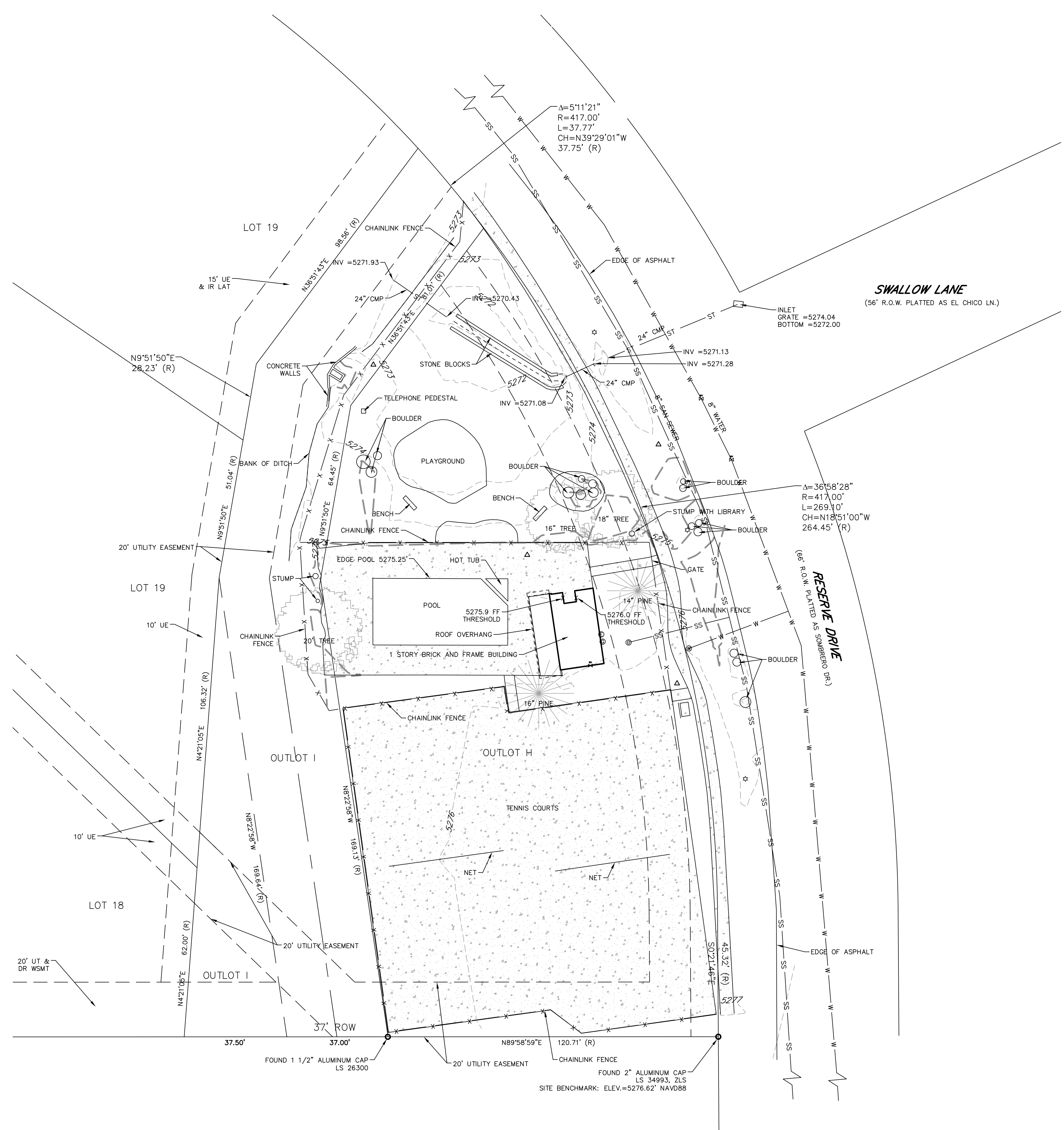
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**CHECKED:** Checker  
**DATE:** 7.11.2022  
**REVISED:**

No.	Description	Date
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FENCE PERMIT - VARIANCE

**-CVR- 2.0**

Gen. Notes + Project Info - FENCE



### LEGEND

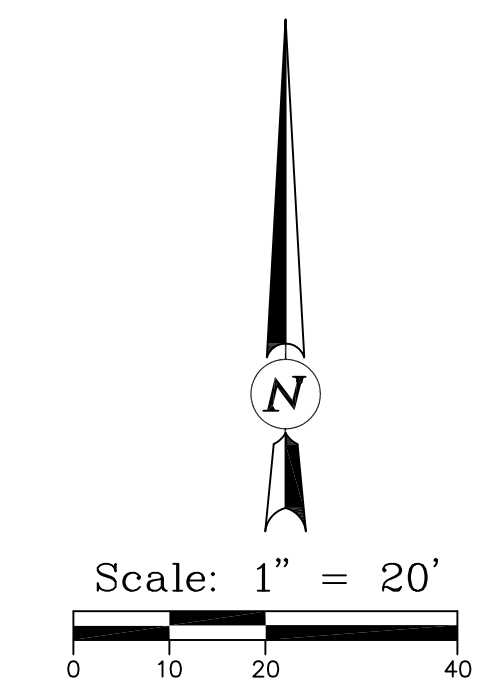
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- EXISTING PINE TREE
- EXISTING CONTOUR
- FOUND MONUMENT AS NOTED
- EXISTING ELECTRIC METER
- EXISTING WATER VALVE
- EXISTING CLEANOUT
- EXISTING GAS METER
- EXISTING WATER METER
- CONTROL POINT
- EXISTING LIGHT POLE
- EXISTING FENCE
- EXISTING SANITARY SEWER W/MANHOLE
- EXISTING WATER W/FIRE HYDRANT
- EXISTING STORM SEWER W/MANHOLE
- RECORD COURSE PER PLAT

### LEGAL DESCRIPTION

OUTLOTS H, SOMBRERO RANCH, COUNTY OF BOULDER, STATE OF COLORADO.

### NOTES

1. BENCH MARK: CITY OF BOULDER Z-2-5; FND 3IN ALUM PIPE 0.7 ABOVE GND-1/4 S34/S35, BETWEEN RESERVE DR & PIEDMONT ELEVATION=5282.33' NAVD88. SITE BENCH MARK AS SHOWN.
2. THIS TOPOGRAPHIC SURVEY IS NOT AN "IMPROVEMENT SURVEY PLAT OR "LAND SURVEY PLAT". NO BOUNDARY DETERMINATIONS HAVE BEEN MADE, OR TITLE SEARCHES PREPARED.
3. THE LOCATION OF THE ABOVE GROUND UTILITIES SHOWN HEREON ARE BASED ON THE FIELD SURVEY BY SCOTT, COX & ASSOCIATES, INC. THE LOCATIONS OF THE UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON SAID SURVEY AND INFORMATION PROVIDED BY OTHERS (WHICH MAY INCLUDE THE UTILITY OWNER OR UTILITY LOCATING SERVICES). SCOTT, COX & ASSOCIATES, INC. IS NOT RESPONSIBLE FOR UTILITY INFORMATION PROVIDED BY OTHERS. SCOTT, COX & ASSOCIATES, INC. RECOMMENDS THAT THE LOCATION OF THE UTILITIES BE FIELD VERIFIED PRIOR TO ANY DIGGING ON, OR ADJACENT TO THE SUBJECT PROPERTY.
4. THE TREES IDENTIFIED ON THIS DRAWING MAY REPRESENT A SINGLE TREE OR THE CENTRAL POINT WITHIN A CLUSTER OF OTHER, SMALLER TREES. WHILE AN EFFORT WAS MADE TO LOCATE ALL TREES WITHIN THE CLIENT'S DIRECTED PARAMETERS, NO GUARANTEE IS PROVIDED THAT ALL TREES WITHIN THESE PARAMETERS HAVE BEEN LOCATED. TREES SHOWN PER DIRECTION OF THE ARCHITECT.
5. THIS DRAWING IS BASED ON A FIELD SURVEY COMPLETED ON 10/20/21.
6. NOTICE: ACCORDING TO COLORADO LAW, YOU MUST COMMENCE ANY LEGAL ACTION BASED ON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE SHOWN HEREON. CRS-13-80-105(3).
7. FLOOD PLAIN DESIGNATION OF THE SURVEYED PROPERTY PER FIRM MAP NUMBER 08013C0414K, MAP REVISED DECEMBER 07, 2017 IS ZONE X, BEING AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.



## TOPOGRAPHIC MAP

### 6298 RESERVE DRIVE

### BOULDER, COLORADO

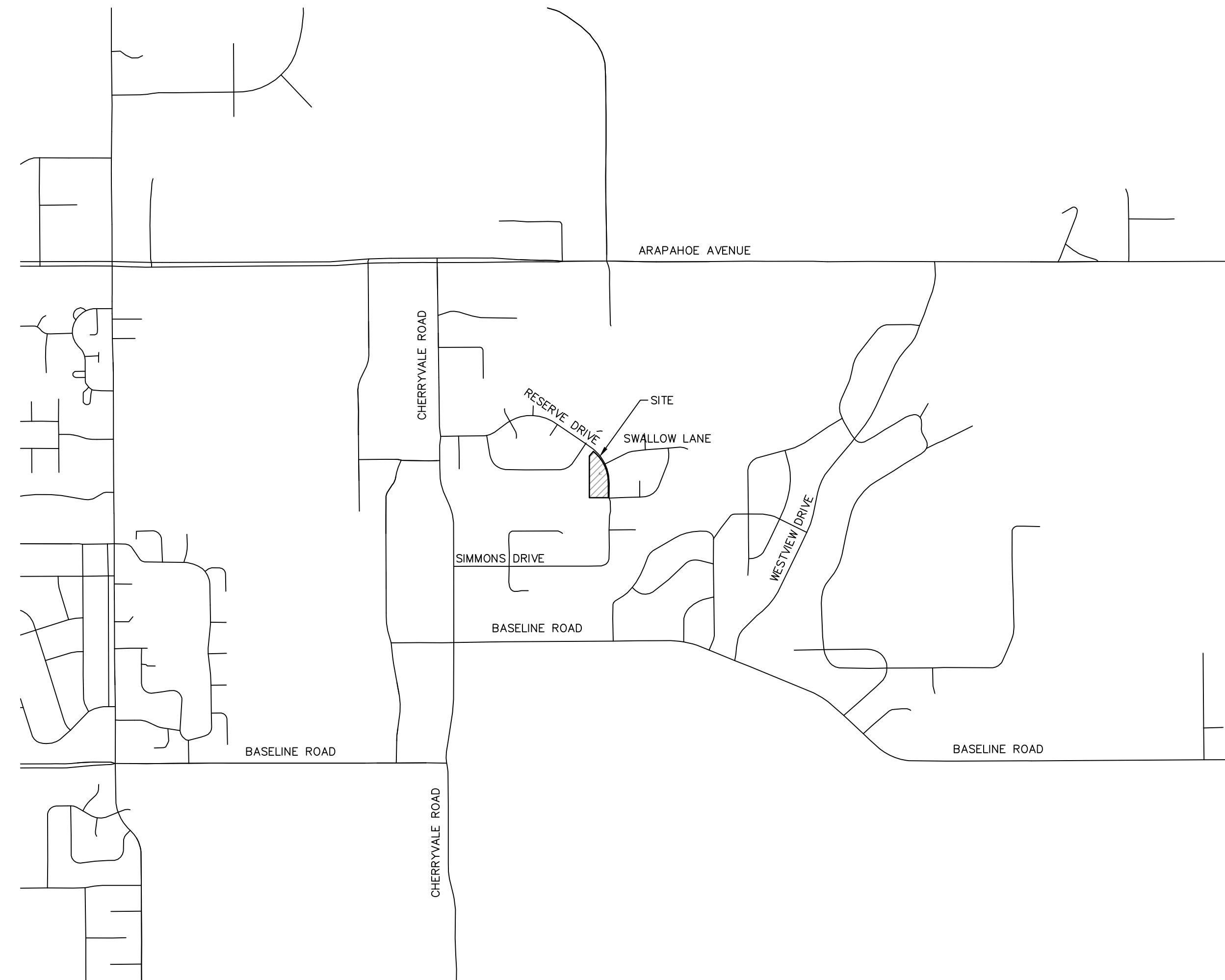
**SCOTT, COX & ASSOCIATES, INC.**  
 consulting engineers • surveyors  
 1530 55th Street • Boulder, Colorado 80303  
 (303) 444 - 3051

Designed by	AJB	Date	11/11/21	Scale	1"=20'	Drawing no.	21306A	Sheet	1
Drawn by	JAS	Revision		Description		Date		Project no.	21306A
Checked by	AJB								

# FINAL ENGINEERING PLANS

FOR

6298 RESERVE DRIVE  
BOULDER, COUNTY, COLORADO



**VICINITY MAP**  
SCALE: 1" = 1000'

## GENERAL NOTES

(APPLIES TO ALL SHEETS)

- BENCH MARK: CITY OF BOULDER 2-2-5; FND 3/4" ALUM PIPE 0.7' ABOVE GND-1/4" S34/S35, BETWEEN RESERVE DR & PIEDMONT ELEVATION=5282.33' NAVD88. SITE BENCH MARK AS SHOWN.
- THIS DRAWING IS BASED ON A SURVEY BY SCOTT, COX AND ASSOCIATES. ALL WORK WAS COMPLETED 10/20/21.
- ALL CUT AND FILL SLOPES SHALL BE MINIMUM OF 1.5:1.
- GRADE AWAY FROM BUILDINGS AT A MINIMUM 10% SLOPE IN THE FIRST TEN FEET AT LANDSCAPE AREAS AND AT A MINIMUM 2% SLOPE IN THE FIRST TEN FEET AT IMPERVIOUS AREAS, EXCEPT AS NOTED.
- FOUNDATION HEIGHT SHALL BE RAISED TO A MINIMUM OF 8" ABOVE EXISTING OR PROPOSED GRADE AT EXTERIOR OF BUILDING.
- FLOOD PLAIN DESIGNATION OF THE SURVEYED PROPERTY PER FIRM MAP NUMBER 0801300414K, MAP REVISED DECEMBER 07, 2017 IS ZONE X, BEING AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
- LAYOUT OF LANDSCAPING AND OTHER ARCHITECTURAL FEATURES MAY VARY FROM THIS PLAN BASED ON FINAL SITE DESIGN AND FROM SITE CONDITIONS.
- ALL CONSTRUCTION SHALL CONFORM TO THE BOULDER COUNTY MULTIMODAL TRANSPORTATION STANDARDS (BCMTS).

## LEGAL DESCRIPTION

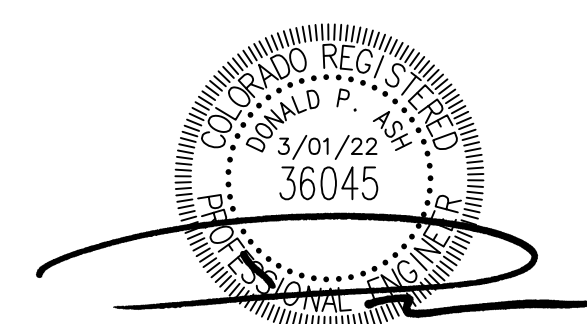
OUTLOTS H, SOMBRERO RANCH, COUNTY OF BOULDER, STATE OF COLORADO.

## SHEET INDEX

COVER SHEET	C1.01
EXISTING CONDITIONS PLAN	C2.01
CIVIL SITE PLAN	C2.02
GRADING DRAINAGE AND EROSION CONTROL PLAN	C2.03
UTILITY PLAN	C2.04
CIVIL DETAILS	C3.01

## LEGEND

	EXISTING DECIDUOUS TREE
	EXISTING PINE TREE
	FOUND MONUMENT AS NOTED
	EXISTING ELECTRIC METER
	EXISTING WATER VALVE
	EXISTING CLEANOUT
	EXISTING GAS METER
	EXISTING WATER METER
	CONTROL POINT
	EXISTING LIGHT POLE
	EXISTING FENCE
	EXISTING SANITARY SEWER W/MANHOLE
	EXISTING WATER W/FIRE HYDRANT
	EXISTING STORM SEWER W/MANHOLE
	RECORD COURSE PER PLAT
	PROPOSED CONTOUR
	EXISTING CONTOUR
	POINT WHERE PROPOSED GRADE MEETS EXISTING GRADE
	PROPOSED SPOT ELEVATION
	EXISTING SPOT ELEVATION
	HISTORIC SHEET FLOW
	PROPOSED FLOW DIRECTION
	FINISHED FLOOR ELEVATION
	CATCH FENCE (CF)
	SILT FENCE (SF)
	STRAW BALE BARRIER (SB)
	EROSION CONTROL MATTING (EM)
	VEHICLE TRACKING CONTROL (VTC)
	INLET PROTECTION (IP)
	CONCRETE WASHOUT AREA (CWA)
	ROCK SOCK (RS)



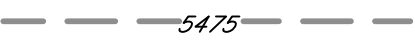








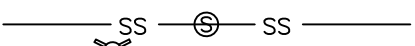
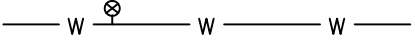
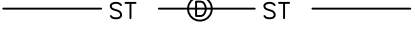
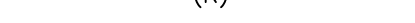



**COVER SHEET**  
HOA POOL FACILITY  
6298 RESERVE DRIVE  
BOULDER, COLORADO

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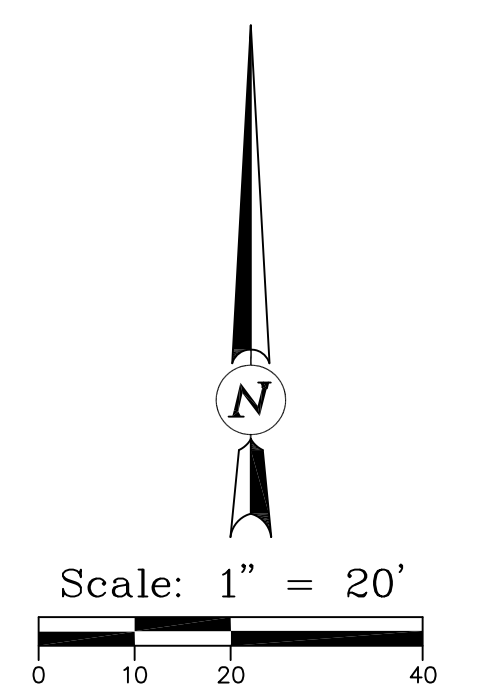
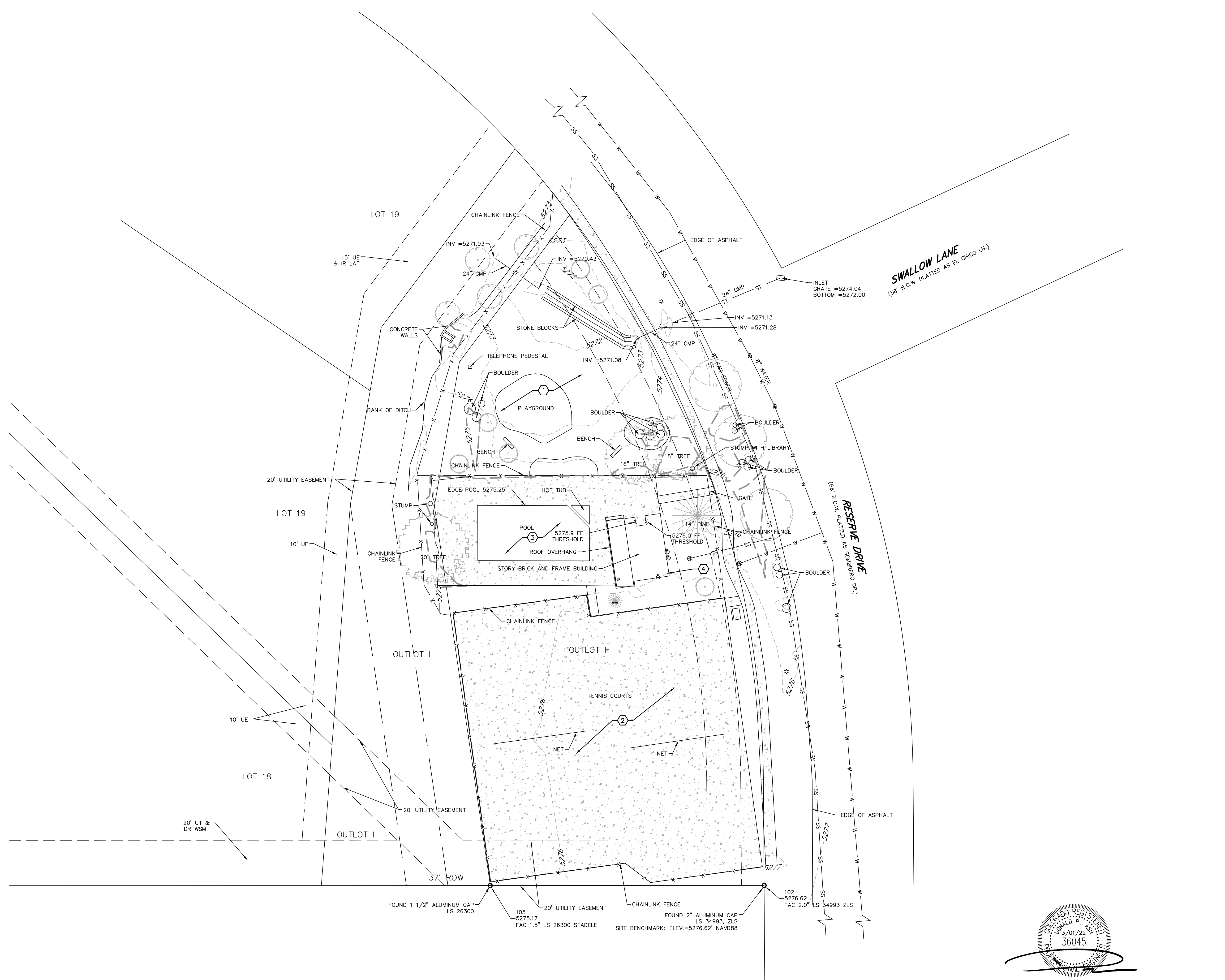
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Drawn by	DRS	Revision		Description		Date		Project no.	21306B
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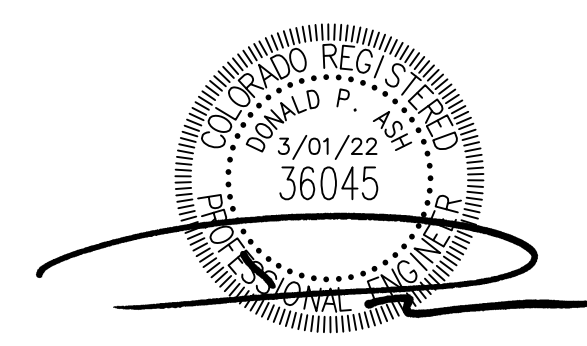
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-  EXISTING PINE TREE
-  EXISTING CONTOUR
-  FOUND MONUMENT AS NOTED
-  EXISTING ELECTRIC METER
-  EXISTING WATER VALVE
-  EXISTING CLEANOUT
-  EXISTING GAS METER
-  EXISTING WATER METER
-  CONTROL POINT
-  EXISTING LIGHT POLE
-  EXISTING FENCE
-  EXISTING SANITARY SEWER W/MANHOLE
-  EXISTING WATER W/FIRE HYDRANT
-  EXISTING STORM SEWER W/MANHOLE
-  RECORD COURSE PER PLAT

**KEYED NOTES**

1. EXISTING PLAYGROUND TO REMAIN.
2. EXISTING TENNIS COURTS TO REMAIN.
3. EXISTING POOL TO BE REMOVED AND REPLACED.
4. EXISTING STRUCTURE TO BE REMOVED.



**EXISTING CONDITIONS PLAN  
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6298 RESERVE DRIVE  
BOULDER, COLORADO**



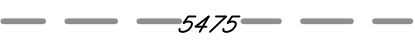








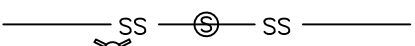
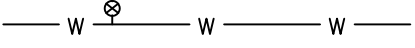
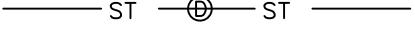
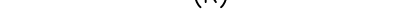



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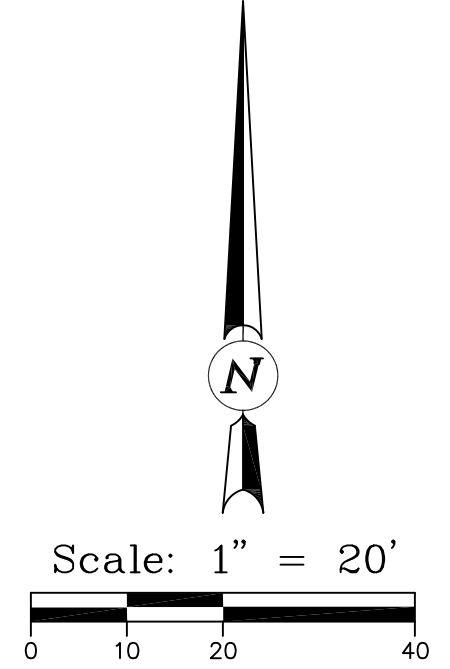
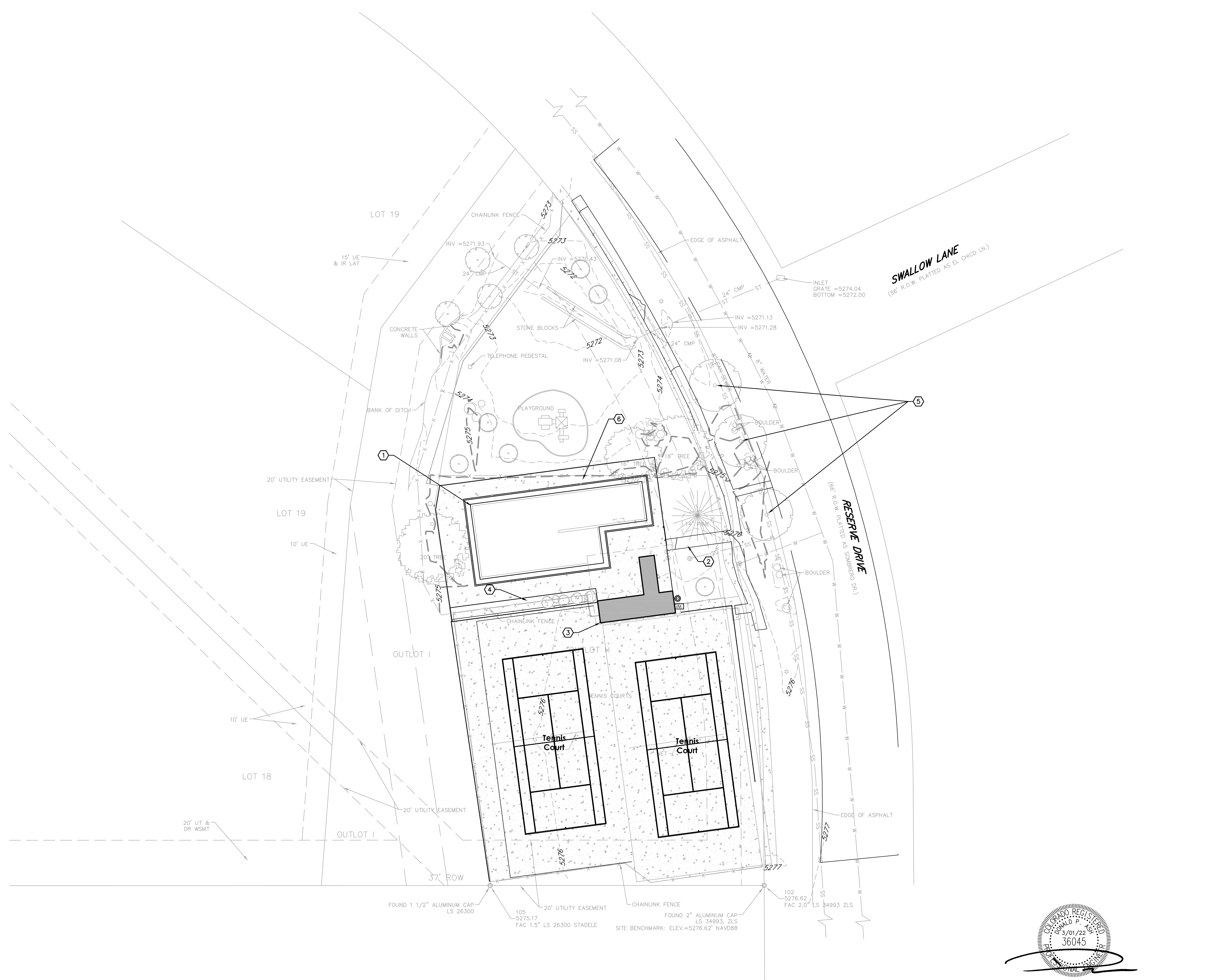
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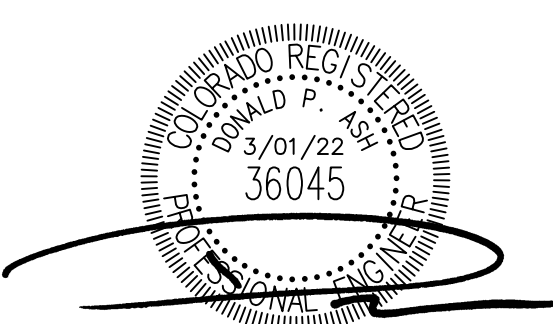
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-  EXISTING PINE TREE
-  EXISTING CONTOUR
-  FOUND MONUMENT AS NOTED
-  EXISTING ELECTRIC METER
-  EXISTING WATER VALVE
-  EXISTING CLEANOUT
-  EXISTING GAS METER
-  EXISTING WATER METER
-  CONTROL POINT
-  EXISTING LIGHT POLE
-  EXISTING FENCE
-  EXISTING SANITARY SEWER W/MANHOLE
-  EXISTING WATER W/FIRE HYDRANT
-  EXISTING STORM SEWER W/MANHOLE
-  RECORD COURSE PER PLAT

**KEYED NOTES**

1. PROPOSED POOL.
2. PROPOSED SIDEWALK.
3. PROPOSED STRUCTURE.
4. PROPOSED LANDSCAPING.
5. EXISTING TREES TO REMAIN.
6. REMOVE AND REPLACE CONCRETE POOL PAD.



**CIVIL SITE PLAN  
HOA POOL FACILITY  
6298 RESERVE DRIVE  
BOULDER, COLORADO**



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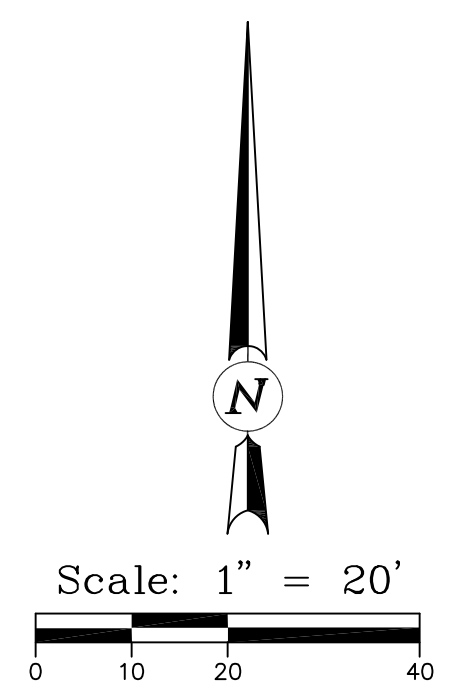
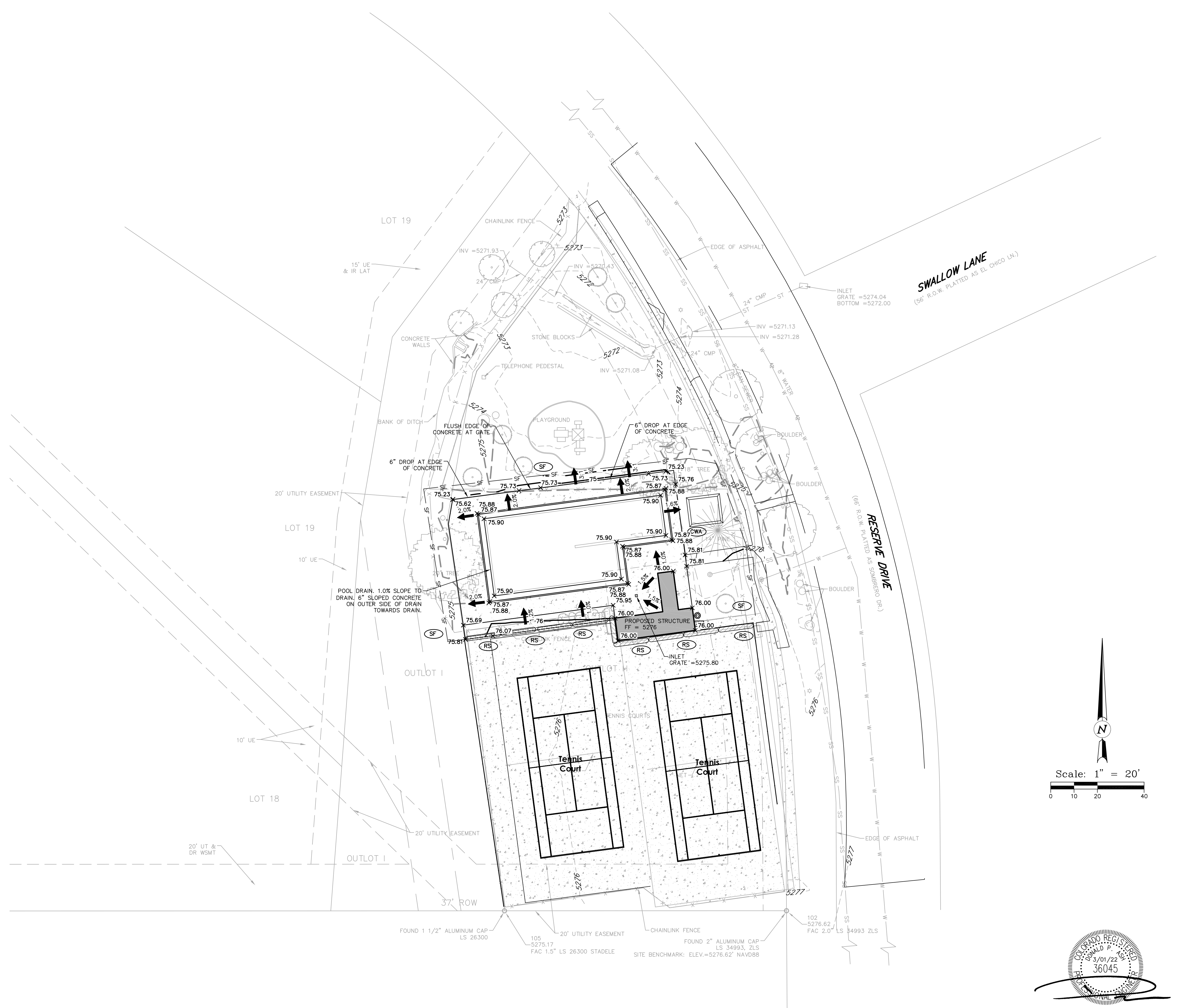
- PROPOSED CONTOUR  
ADD 5500 TO ALL CONTOURS
- EXISTING CONTOUR
- POINT WHERE PROPOSED GRADE MEETS EXISTING GRADE
- PROPOSED SPOT ELEVATION  
ADD 5500 TO ALL SPOT ELEVATIONS
- EXISTING SPOT ELEVATION
- HISTORIC SHEET FLOW
- PROPOSED FLOW DIRECTION
- FINISHED FLOOR ELEVATION
- CATCH FENCE (CF)
- SILT FENCE (SF)
- STRAW BALE BARRIER (SB)
- EROSION CONTROL MATTING (EM)
- VEHICLE TRACKING CONTROL (VTC)
- INLET PROTECTION (IP)
- INLET PROTECTION (IP)
- CONCRETE WASHOUT AREA (CWA)
- ROCK SOCK (RS)

**GRADING NOTES**

1. GRADE AWAY FROM BUILDINGS AT A MINIMUM 10% SLOPE IN THE FIRST 10 FEET AT LANDSCAPE AREAS AND AT A MINIMUM 2% SLOPE IN THE FIRST 10 FEET AT IMPERVIOUS AREAS, EXCEPT AS NOTED.
2. TOP OF FOUNDATION ELEVATION SHALL BE SET AT LEAST 8" ABOVE THE PROPOSED GRADING AT THE EXTERIOR OF THE FOUNDATION AT LANDSCAPE AREAS.
3. ALL CITY UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF BOULDER STANDARD SPECIFICATIONS.
4. THE LOCATION OF THE ABOVE GROUND UTILITIES SHOWN HEREON ARE BASED ON THE FIELD SURVEY BY SCOTT, COX & ASSOCIATES, INC. THE LOCATIONS OF THE UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON SAID SURVEY AND INFORMATION PROVIDED BY OTHERS (WHICH MAY INCLUDE THE UTILITY OWNER OR UTILITY LOCATING SERVICES). SCOTT, COX & ASSOCIATES, INC. IS NOT RESPONSIBLE FOR UTILITY INFORMATION PROVIDED BY OTHERS. SCOTT, COX & ASSOCIATES, INC. RECOMMENDS THAT THE LOCATION OF THE UTILITIES BE FIELD VERIFIED PRIOR TO ANY DIGGING ON, OR ADJACENT TO THE SUBJECT PROPERTY.
5. BENCH MARK: CITY OF BOULDER Z-2-5; FND 3IN ALUM PIPE 0.7' ABOVE GND-1/4 S34/S35, BETWEEN RESERVE DR & PIEDMONT ELEVATION=5282.33' NAVD88. SITE BENCH MARK AS SHOWN.

**EROSION CONTROL NOTES**

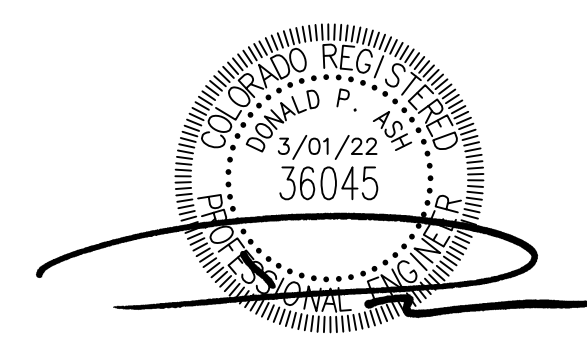
1. TO THE EXTENT PRACTICABLE, EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO GRADING ACTIVITIES. AT ALL TIMES DURING PROJECT CONSTRUCTION, ALL TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AND REPAIRED AS NEEDED TO PREVENT ACCELERATED EROSION ON THE SITE AND ANY ADJACENT PROPERTIES.
2. ALL TOPSOIL, WHERE PHYSICALLY PRACTICABLE, SHALL BE SALVAGED AND NO TOPSOIL SHALL BE REMOVED FROM THE SITE. TOPSOIL AND OVERBURDEN SHALL BE SEGREGATED AND STOCKPILED SEPARATELY. TOPSOIL AND OVERBURDEN SHALL BE REDISTRIBUTED WITHIN THE GRADED AREA AFTER ROUGH GRADING TO PROVIDE A SUITABLE BASE FOR AREAS WHICH WILL BE SEEDED AND PLANTED. RUNOFF FROM STOCKPILED AREA SHALL BE CONTROLLED TO PREVENT EROSION AND RESULTANT SEDIMENTATION OF RECEIVING WATER.
3. ALL DISTURBED AREAS SHALL RECEIVE PERMANENT VEGETATIVE COVER AS DESCRIBED ABOVE. ALL CUT OR FILL SLOPES WITH 3 TO 1 OR GREATER SLOPE SHALL BE COVERED WITH EROSION CONTROL MATTING OR HYDROMULCHED WITH A WOOD FIBER AND TACKIFIER AT 1 TON/ACRE.
4. ALL EROSION CONTROL MEASURES SHALL BE INSPECTED BY THE OWNER, OR OWNER APPROVED AGENT, AFTER ALL STORM EVENTS. ANY EROSION CONTROL MEASURES WHICH ARE DAMAGED PRIOR TO RE-ESTABLISHMENT OF VEGETATIVE COVER SHALL BE REPLACED IMMEDIATELY.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL TEMPORARY EROSION CONTROL DEVICES AFTER THE ESTABLISHMENT OF FULL VEGETATION, INCLUDING BUT NOT LIMITED TO SILT FENCE AND POSTS, HAY BALES, AND REGRADING TEMPORARY SEDIMENT BASINS.



**GRADING, DRAINAGE AND EROSION CONTROL PLAN  
HOA POOL FACILITY  
6298 RESERVE DRIVE  
BOULDER, COLORADO**



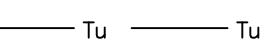
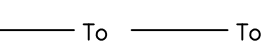
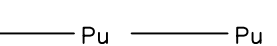
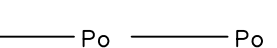
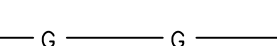
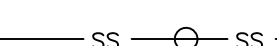




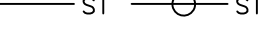

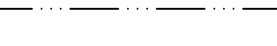
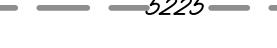







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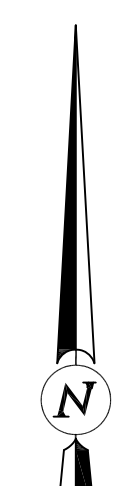
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**LEGEND**

-  EXISTING DECIDUOUS TREE
-  EXISTING PINE TREE
-  Tu Tu EXISTING UNDERGROUND TELEPHONE
-  To To EXISTING OVERHEAD TELEPHONE
-  Pu Pu EXISTING UNDERGROUND POWER LINE
-  Po Po EXISTING OVERHEAD POWER LINE
-  G G EXISTING GAS LINE
-  SS SS EXISTING SANITARY SEWER W/MANHOLE
-  SS SS EXISTING SANITARY SEWER W/MANHOLE
-  W W EXISTING WATER W/FIRE HYDRANT
-  W W EXISTING WATER W/FIRE HYDRANT
-  ST ST EXISTING STORM SEWER W/MANHOLE
-  ST ST EXISTING STORM SEWER W/MANHOLE
-  --- EXISTING SWALE
-  -5225- EXISTING CONTOUR
-  x 25.25 EXISTING SPOT ELEVATION
-  ⊗ EXISTING WATER VALVE
-  ○ WM EXISTING WATER METER
-  ○ GM EXISTING GAS METER
-  α EXISTING POWER POLE
-  ⊗ PROPOSED WATER VALVE
-  ● WM PROPOSED WATER METER
-  # PROPOSED POWER POLE

**KEYED NOTES**

1. RELOCATED ELECTRIC METER.
2. RELOCATED GAS METER.
3. EXISTING WATER TO REMAIN.
4. EXISTING SANITARY SEWER TO REMAIN.

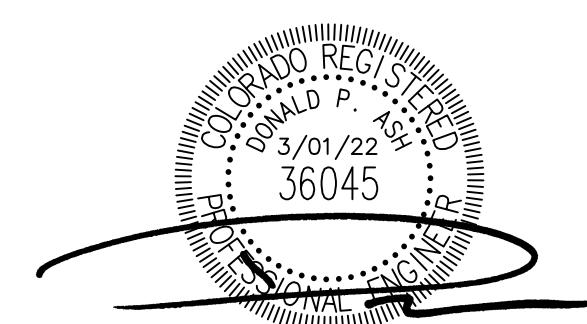


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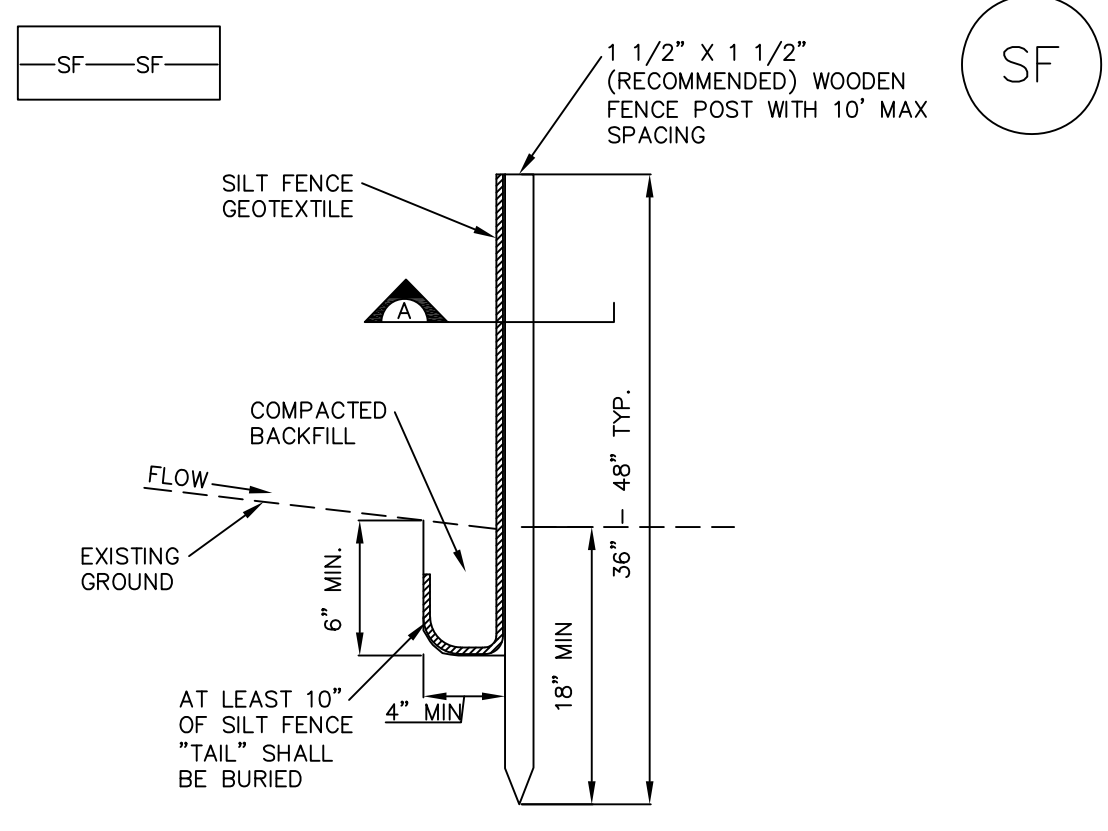
**UTILITY PLAN  
HOA POOL FACILITY  
6298 RESERVE DRIVE  
BOULDER, COLORADO**

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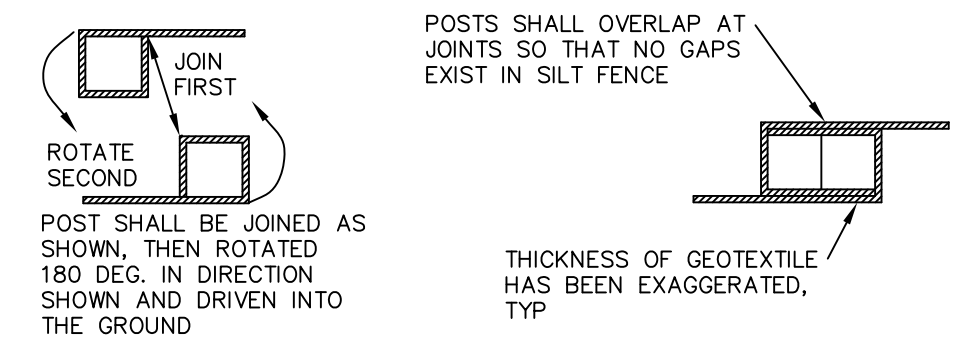
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SILT FENCE

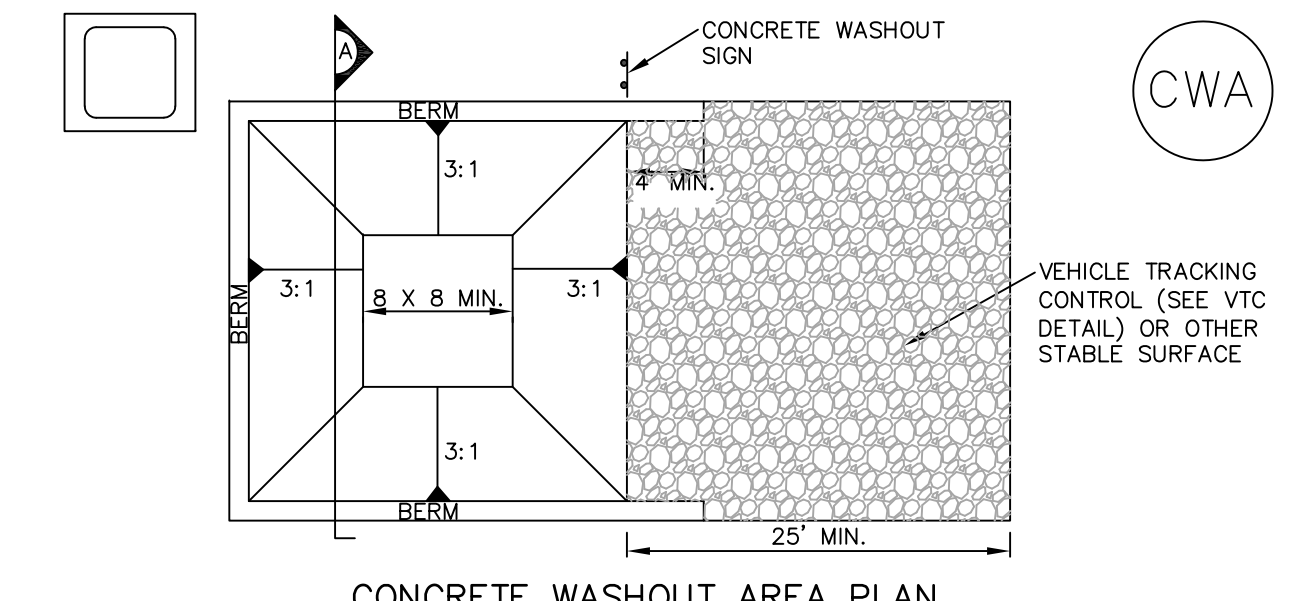


SECTION A

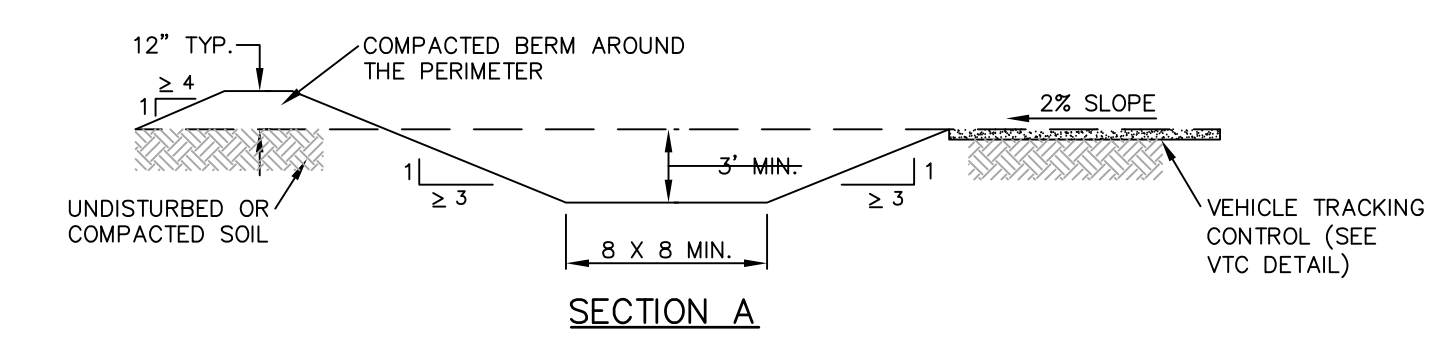
SF-1. SILT FENCE

- SILT FENCE INSTALLATION NOTES**
- SILT FENCE MUST BE PLACED AWAY FROM THE TOE OF THE SLOPE TO ALLOW FOR WATER PONDING. SILT FENCE AT THE TOE OF A SLOPE SHOULD BE INSTALLED IN A FLAT LOCATION AT LEAST SEVERAL FEET (2-5 FT) FROM THE TOE OF THE SLOPE TO ALLOW ROOM FOR PONDING AND DEPOSITION.
  - A UNIFORM 6" X 4" ANCHOR TRENCH SHALL BE EXCAVATED USING TRENCHER OR SILT FENCE INSTALLATION DEVICE. NO ROAD GRADERS, BACKHOES, OR SIMILAR EQUIPMENT SHALL BE USED.
  - COMPACT ANCHOR TRENCH BY HAND WITH A "JUMPING JACK OR BY WHEEL ROLLING. COMPACTION SHALL BE SUCH THAT SILT FENCE RESISTS BEING PULLED OUT OF ANCHOR TRENCH BY HAND.
  - SILT FENCE SHALL BE PULLED TIGHT AS IT IS ANCHORED TO THE STAKES. THERE SHOULD BE NO NOTICEABLE SAG BETWEEN STAKES AFTER IT HAS BEEN ANCHORED TO THE STAKES.
  - SILT FENCE FABRIC SHALL BE ANCHORED TO THE STAKES USING 1" HEAVY DUTY STAPLES OR NAILS WITH 1" HEADS. STAPLES AND NAILS SHOULD BE PLACED 3" ALONG THE FABRIC DOWN THE STAKE.
  - AT THE END OF A RUN OF SILT FENCE ALONG A CONTOUR, THE SILT FENCE SHOULD BE TURNED PERPENDICULAR TO THE CONTOUR TO CREATE A "J-HOOK." THE "J-HOOK" EXTENDING PERPENDICULAR TO THE CONTOUR SHOULD BE OF SUFFICIENT LENGTH TO KEEP RUNOFF FROM FLOWING AROUND THE END OF THE SILT FENCE (TYPICALLY 10' - 20').
  - SILT FENCE SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.

- SILT FENCE MAINTENANCE NOTES**
- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
  - FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
  - WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
  - SEDIMENT ACCUMULATED UPSTREAM OF THE SILT FENCE SHALL BE REMOVED AS NEEDED TO MAINTAIN THE FUNCTIONALITY OF THE BMP. TYPICALLY WHEN DEPTH OF ACCUMULATED SEDIMENTS IS APPROXIMATELY 6".
  - REPAIR OR REPLACE SILT FENCE WHEN THERE ARE SIGNS OF WEAR, SUCH AS SAGGING, TEARING, OR COLLAPSE.
  - SILT FENCE IS TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND APPROVED BY THE LOCAL JURISDICTION, OR IS REPLACED BY AN EQUIVALENT PERIMETER SEDIMENT CONTROL BMP.
  - WHEN SILT FENCE IS REMOVED, ALL DISTURBED AREAS SHALL BE COVERED WITH TOPSOIL, SEEDED AND MULCHED OR OTHERWISE STABILIZED AS APPROVED BY LOCAL JURISDICTION.



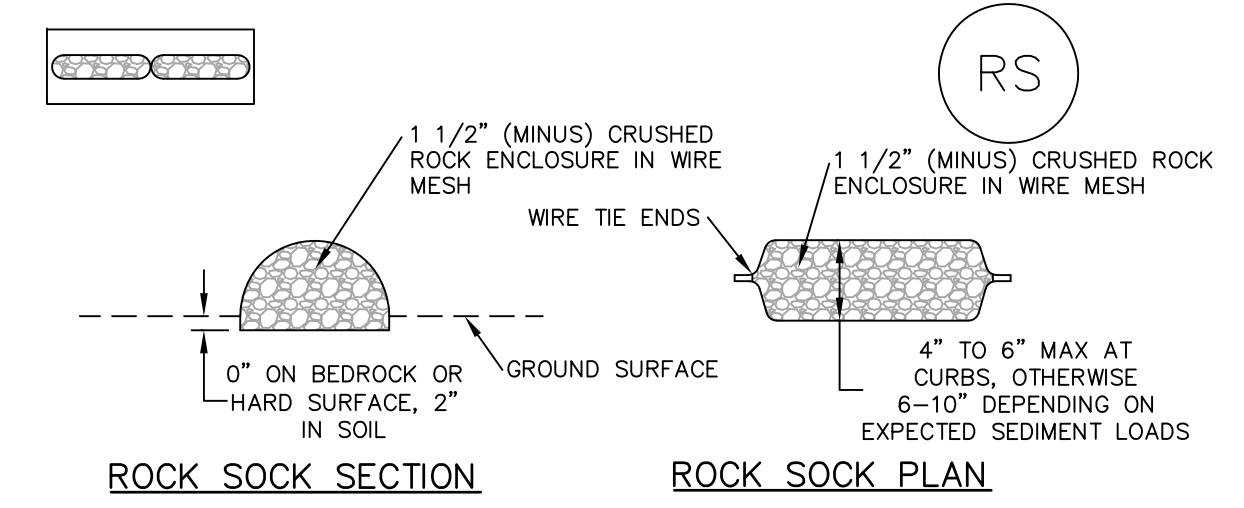
CONCRETE WASHOUT AREA PLAN



SECTION A

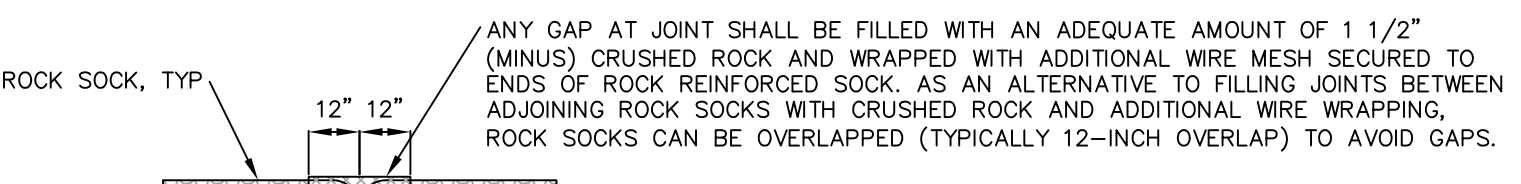
CWA-1. CONCRETE WASHOUT AREA

- CWA INSTALLATION NOTES**
- SEE PLAN VIEW FOR: -CWA INSTALLATION LOCATION.
  - DO NOT LOCATE AN UNLINED CWA WITHIN 400' OF ANY NATURAL DRAINAGE PATHWAY OR WATERBODY. DO NOT LOCATE WITHIN 1,000' OF ANY WELLS OR DRINKING WATER SOURCES. IF SITE CONSTRAINTS MAKE THIS INFEASIBLE, OR IF HIGHLY PERMEABLE SOILS EXIST ON SITE, THE CWA MUST BE INSTALLED WITH AN IMPERMEABLE LINER (16 MIL MIN. THICKNESS) OR SURFACE STORAGE ALTERNATIVES USING PREFABRICATED CONCRETE WASHOUT DEVICES OR A LINED ABOVE GROUND STORAGE AREA SHOULD BE USED.
  - THE CWA SHALL BE INSTALLED PRIOR TO CONCRETE PLACEMENT ON SITE.
  - CWA SHALL INCLUDE A FLAT SUBSURFACE PIT THAT IS AT LEAST 8' BY 8' SLOPES LEADING OUT OF THE SUBSURFACE PIT SHALL BE 3:1 OR FLATTER. THE PIT SHALL BE AT LEAST 3' DEEP.
  - BERM SURROUNDING SIDES AND BACK OF THE CWA SHALL HAVE MINIMUM HEIGHT OF 1'.
  - VEHICLE TRACKING PAD SHALL BE SLOPED 2% TOWARDS THE CWA.
  - SIGNS SHALL BE PLACED AT THE CONSTRUCTION ENTRANCE, AT THE CWA, AND ELSEWHERE AS NECESSARY TO CLEARLY INDICATE THE LOCATION OF THE CWA TO OPERATORS OF CONCRETE TRUCKS AND PUMP RIGS.
  - USE EXCAVATED MATERIAL FOR PERIMETER BERM CONSTRUCTION.
- CWA MAINTENANCE NOTES**
- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
  - FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
  - WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
  - THE CWA SHALL BE REPAIRED, CLEANED, OR ENLARGED AS NECESSARY TO MAINTAIN CAPACITY FOR CONCRETE WASTE. CONCRETE MATERIALS, ACCUMULATED IN PIT, SHALL BE REMOVED ONCE THE MATERIALS HAVE REACHED A DEPTH OF 2'.
  - CONCRETE WASHOUT WATER, WASTED PIECES OF CONCRETE AND ALL OTHER DEBRIS IN THE SUBSURFACE PIT SHALL BE TRANSPORTED FROM THE JOB SITE IN A WATER-TIGHT CONTAINER AND DISPOSED OF PROPERLY.
  - THE CWA SHALL REMAIN IN PLACE UNTIL ALL CONCRETE FOR THE PROJECT IS PLACED.
  - WHEN THE CWA IS REMOVED, COVER THE DISTURBED AREA WITH TOP SOIL, SEED AND MULCH OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE LOCAL JURISDICTION.



ROCK SOCK SECTION

ROCK SOCK PLAN



ROCK SOCK JOINTING

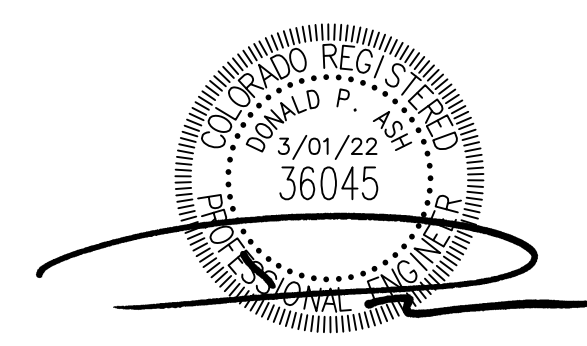
GRADATION TABLE	
SIEVE SIZE	MASS PERCENT PASSING SQUARE MESH SIEVES
	NO. 4
2"	100
1 1/2"	90 - 100
1"	20 - 55
3/4"	0 - 15
5/8"	0 - 5
MATCHES SPECIFICATIONS FOR NO. 4 COARSE AGGREGATE FOR CONCRETE PER AASHTO M43. ALL ROCK SHALL BE FRACTURED FACE, ALL SIDES.	

- ROCK SOCK INSTALLATION NOTES**
- SEE PLAN VIEW FOR: - LOCATION(S) OF ROCK SOCKS.
  - CRUSHED ROCK SHALL BE 1 1/2" (MINUS) IN SIZE WITH A FRACTURED FACE (ALL SIDES) AND SHALL COMPLY WITH GRADATION SHOWN ON THIS SHEET (1 1/2" MINUS).
  - WIRE MESH SHALL BE FABRICATED OF 10 GAUGE POULTRY MESH, OR EQUIVALENT, WITH A MAXIMUM OPENING OF 1/2". RECOMMENDED MINIMUM ROLL WIDTH OF 48".
  - WIRE MESH SHALL BE SECURED USING "HOG RINGS" OR WIRE TIES AT 6" CENTERS ALONG ALL JOINTS AND AT 2" CENTERS ON ENDS OF SOCKS.
  - SOME MUNICIPALITIES MAY ALLOW THE USE OF FILTER FABRIC AS AN ALTERNATIVE TO WIRE MESH FOR THE ROCK ENCLOSURE.

RS-1. ROCK SOCK PERIMETER CONTROL

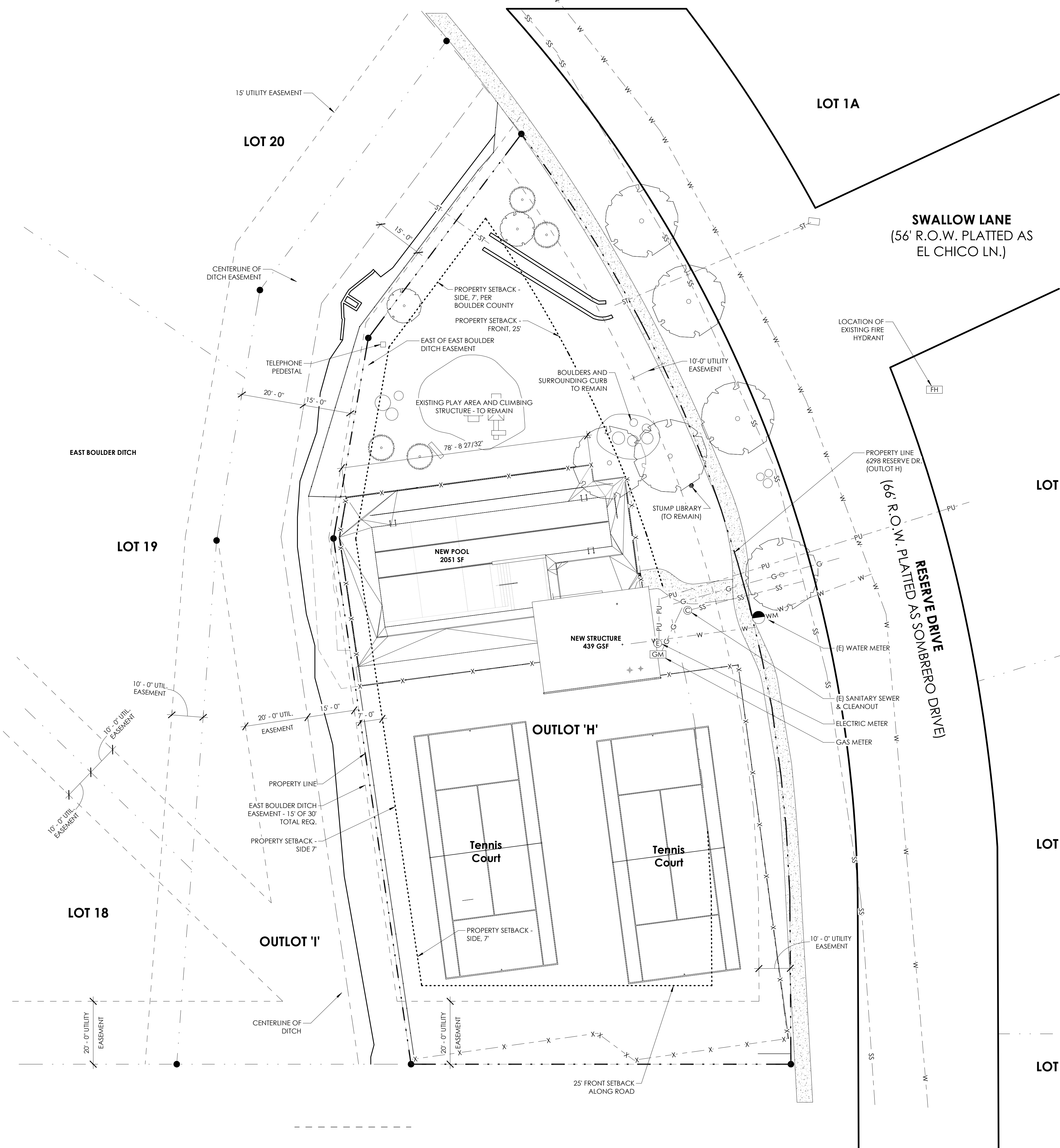
- ROCK SOCK MAINTENANCE NOTES**
- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
  - FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
  - WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
  - ROCK SOCKS SHALL BE REPLACED IF THEY BECOME HEAVILY SOILED, OR DAMAGED BEYOND REPAIR.
  - SEDIMENT ACCUMULATED UPSTREAM OF ROCK SOCKS SHALL BE REMOVED AS NEEDED TO MAINTAIN FUNCTIONALITY OF THE BMP. TYPICALLY WHEN DEPTH OF ACCUMULATED SEDIMENTS IS APPROXIMATELY 1/2 OF THE HEIGHT OF THE ROCK SOCK.
  - ROCK SOCKS ARE TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND APPROVED BY THE LOCAL JURISDICTION.
  - WHEN ROCK SOCKS ARE REMOVED, ALL DISTURBED AREAS SHALL BE COVERED WITH TOPSOIL, SEEDED AND MULCHED OR OTHERWISE STABILIZED AS APPROVED BY LOCAL JURISDICTION.

**CIVIL DETAILS  
HOA POOL FACILITY  
6298 RESERVE DRIVE  
BOULDER, COLORADO**



**SCOTT, COX & ASSOCIATES, INC.**  
consulting engineers • surveyors  
1530 55th Street • Boulder, Colorado 80303  
(303) 444 - 3051

Designed by	DRS	Date	01/27/22	Scale	1"=20'	Drawing no.	21306B-1	Sheet	C3.01
Drawn by	DRS	Revision		Description		Date		Project no.	21306B
Checked by	DMS								



**SITE PLAN LEGEND:**

- - - -	PROPERTY LINE	-DI - DI-	DRIP IRRIGATION
(○)	REMAINING TREE	-SS - SS-	SANITARY SEWER SERVICE
---	CONTOUR LINE	-ST - ST-	STORM CULVERT
- - - -	EASEMENT LINE	-C/I - C/I-	UNDERGROUND INTERNET/ CABLE
- - - -	SETBACK LINE	[GM]	GAS METER
- - - -	CENTER LINE	(M)	WATER MANHOLE
(E)	ELECTRICAL METER	[FH]	EXISTING FIRE HYDRANT LOCATION
(C)	CLEAN OUT	[MB]	MAILBOX
(X)	POWER POLE	-CF - CF-	CONSTRUCTION FENCE LINE
(WM)	WATER METER	-X - X-	FENCE LINE
-Po - Po-	OVERHEAD POWER LINE	[IMPERMEABLE]	IMPERMEABLE SURFACE
-PU - PU-	UNDERGROUND POWER LINE	[PERMEABLE]	PERMEABLE SURFACE
-W - W-	UNDERGROUND WATER LINE		
-G - G-	UNDERGROUND GAS LINE		

**NOTES:**  
 1. RE: CIVIL PLANS FOR PROPOSED GRADING, DRAINAGE, EROSION CONTROL & REVEGETATION, & UTILITIES  
 2. RE: WILDFIRE MITIGATION PLAN FOR TREE REMOVAL  
 3. RE: SEPTIC DESIGN FOR LEACH FIELD & SEPTIC DESIGN



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# Reserve HOA - POOL

6298 RESERVE DR., BOULDER, CO 80303

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No.	Description	Date



**1** Site Plan  
 1/16" = 1'-0"

FENCE PERMIT - VARIANCE

# A0.1

Architectural Site Plan



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**VALUE SERIES**

**V40xW Weatherized Rim Exit Device**

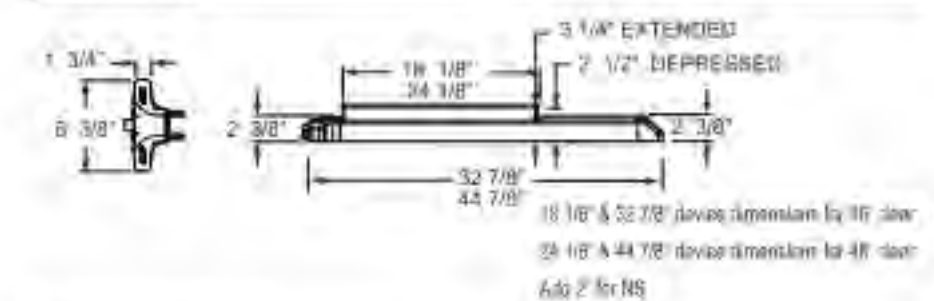
The V40xW Series rim exit device is secure and durable panic and fire exit hardware at an economical price. It is designed for use on all types of single and double doors and gates with millions that are or may be exposed to the weather. The patented mounting plate and strike locator system ensures the easiest and most accurate installation of panic hardware available. In addition to listing as UL panic and fire exit hardware device, this device conforms to UL1034-34 Temperature Section 34, UL1034-54 Dust Section 54, MIL-STD 810F, Method 506.4 (driving rain test), MIL-STD 810F, Method 509.4 (salt fog test) and UBC standard 7-2 (positive pressure).



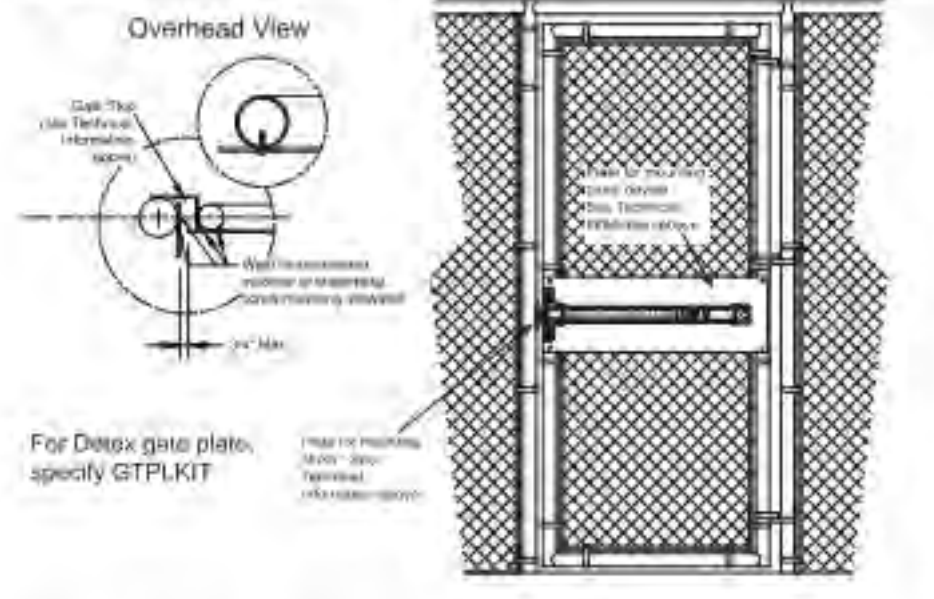
- Benefits**
- Priced to be the best value for durable and attractive loss prevention panic hardware
  - Minimal door prep saves time and money
  - Patented mounting plate and strike locator replaces paper templates
  - Outside trims are easily changed or rekeyed without removing device from door
  - Angled end cap deflects damage away from device
  - Fits almost any door in any décor
  - Fast and easy installation saves time and money
- Features**
- Covers a 161 door prep
  - 1/8 turn hex key dogging
  - Withstands over 1400 pounds of static pull force for greater security
  - Stainless steel, 3/4" deadlocking Pullman-type latch bolt
  - Ribbed aluminum rail extrusion
  - Modular design accepts a variety of outside trims and functions
  - Non-hinged
  - High impact ABS and anodized surfaces
  - Standard and narrow stile pull trims available
  - Field sizeable
- Mechanical Options**
- CD - Cylinder Dogging
  - F - 3-Hour Fire Rated
  - FC3W - Weatherized 3 Flex Conduit Kit, mounts to device end cap
  - HD - Hex Dogging (Std.)
  - H - Hurricane Rated
  - FC10W - Weatherized 10 Flex Conduit Kit, mounts to device end cap
  - LD - Less Dogging
  - NS - Narrow stile door option
  - Available with 528 Base Rail Extrusion (Std.)
  - Available with 711 Base Rail Extrusion
  - 36 - Fits 36" Door Width (Std.)
  - 48 - Fits 48" Door Width
  - 99 - Surface Strike (Std.)
  - 98 - Semi Mortise Strike
- Electrical Options**
- Weatherized Exit Alarm (EB W)
  - Weatherized Request to Exit (EX W)
  - Weatherized Request to Exit High Voltage (EXV W)
- Refer to Electrified Options section for more information



**Dimensions**



**Single Gate Riser**



**Listings and Approvals**

- UL LISTED UL Listed Panic Hardware
- UL LISTED UL 1034-34 Temperature Section 34 (Temperature Range -31°F (-35°C) to 150°F (+66°C))
- UL LISTED UL 1034-54 Dust Section 54
- Messa ADA requirements
- ANSI/BHMA certified A156.3
- ULC B7 Standard 7-2 and UL10B/UL10C for positive pressure
- State of Florida Approval
- Texas Department of Insurance
- MIL-STD 810F (G), Method 509.4 (Salt Fog Test)
- MIL-STD 810F (G), Method 506.4 (Driving Rain) Procedure 1

For detailed windstorm listings, visit [www.detex.com/PROVEN](http://www.detex.com/PROVEN)

**Accessories**

- SN1 - Six Nut Fasteners
- GB2 - Glass Bead Kit
- NSK - Narrow Kit - for 2" narrow stile glass door applications that must be added in the field
- GTPLKIT - Adjustable Gate Plate
- Outside Trim (see Value Series Trim Options)
- Optional Six Nuts or Security Torx Screws available

**Technical Information**

- Door Types - Wood, Hollow Metal, Fiberglass or Aluminum
- Door Thickness - Fits standard 1-3/4" - 2-1/4"
- Door Stile - Fits 2-1/2" stile doors with 99 surface strike (Std.)
- Door Stile - Fits 2" narrow stile doors - specify NS
- Machine and Self-Drilling Screws (Std.)
- **Recommendation Plate Size**  
 Gate - 1/8" thick plate, galvanized, or painted steel or 1/4" thick aluminum plate, minimum Height - 10"  
 Strike - 1/8" thick plated, galvanized, painted steel plate, angle iron, or 1/4" thick aluminum plate, minimum Height - 5"  
 Stop - 1/8" thick plated, galvanized, or painted angle iron or 1/4" thick aluminum angle plate, minimum Height - 2"

**Detex Limited Warranty**

10 Year Mechanical/3 Year Electrical Limited Manufacturer's Warranty

**DETEx**  
 The Safety, Security and Security Assurance

Detex Corporation  
 302 Detex Drive  
 New Braunfels, Texas 78130-2045 USA  
 PH: (830) 226-2300  
 (800) 729-3636  
 FAX: (800) 653-3839  
<http://www.detex.com>  
 USA Sales:  
[marketing@detex.com](mailto:marketing@detex.com)  
 International Sales:  
[espon@detex.com](mailto:espon@detex.com)

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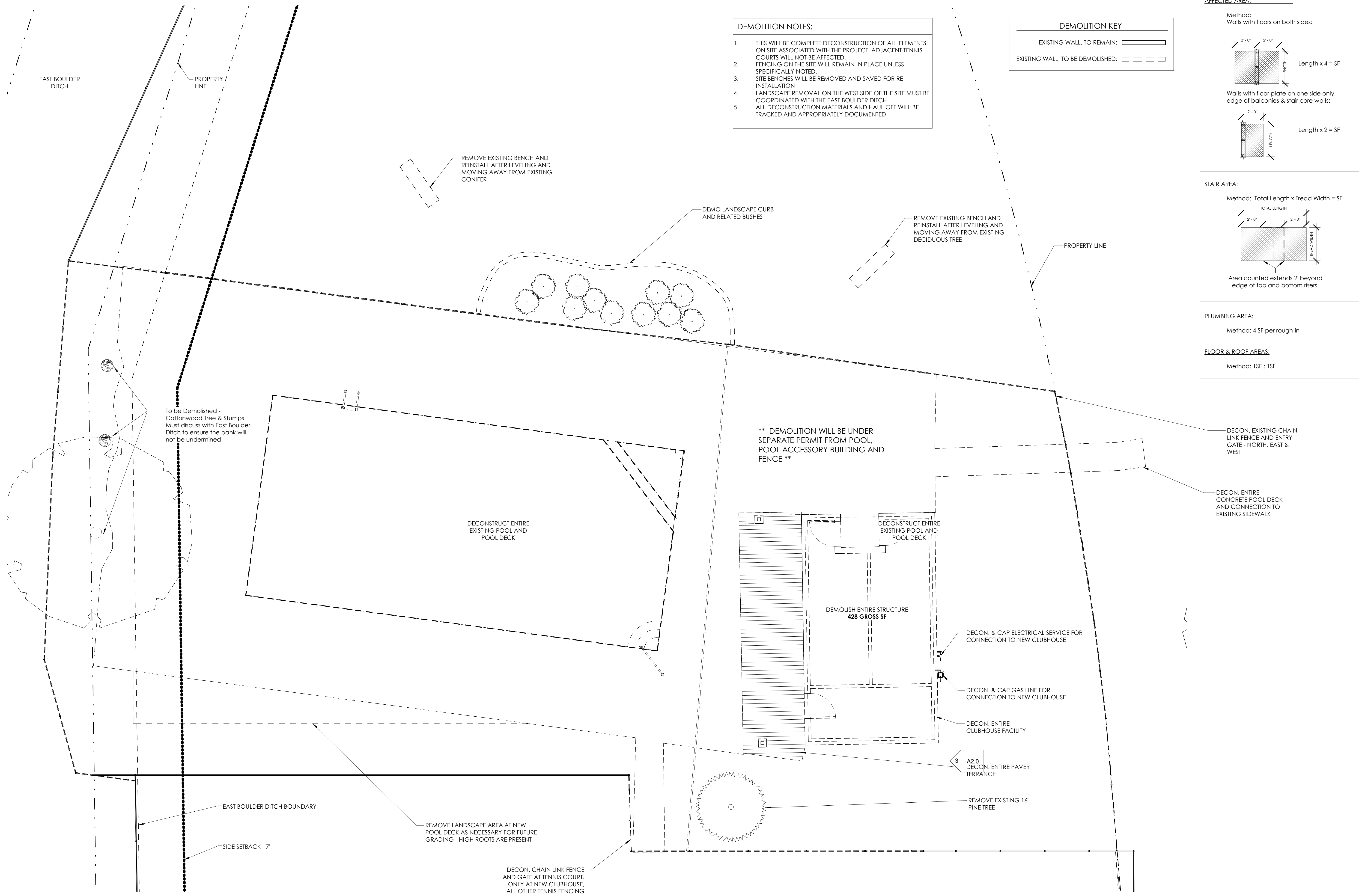
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**DATE:** 7.11.2022

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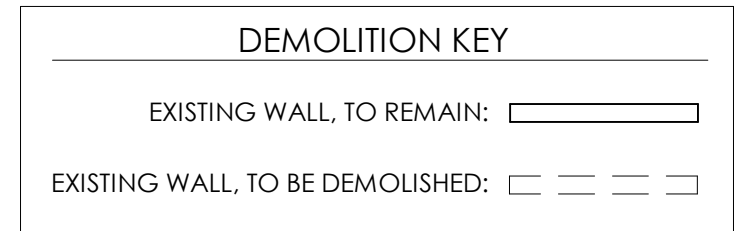
FENCE PERMIT - VARIANCE

**A0.6**  
 Product Specification



**DEMOLITION NOTES:**

1. THIS WILL BE COMPLETE DECONSTRUCTION OF ALL ELEMENTS ON SITE ASSOCIATED WITH THE PROJECT. ADJACENT TENNIS COURTS WILL NOT BE AFFECTED.
2. FENCING ON THE SITE WILL REMAIN IN PLACE UNLESS SPECIFICALLY NOTED.
3. SITE BENCHES WILL BE REMOVED AND SAVED FOR RE-INSTALLATION.
4. LANDSCAPE REMOVAL ON THE WEST SIDE OF THE SITE MUST BE COORDINATED WITH THE EAST BOULDER DITCH.
5. ALL DECONSTRUCTION MATERIALS AND HAUL OFF WILL BE TRACKED AND APPROPRIATELY DOCUMENTED.



**SELECTIVE DEMOLITION AREA CALCULATION**  
Methods used to calculate demo and new construction areas.

**TOTAL BUILDING DEMO: 428 SF**

---

**AFFECTED AREA:**

Method:  
Walls with floors on both sides:

Length x 4 = SF

Walls with floor plate on one side only, edge of balconies & stair core walls:

Length x 2 = SF

---

**STAIR AREA:**

Method: Total Length x Tread Width = SF

Area counted extends 2' beyond edge of top and bottom risers.

---

**PLUMBING AREA:**

Method: 4 SF per rough-in

---

**FLOOR & ROOF AREAS:**

Method: 1SF : 1SF



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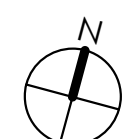
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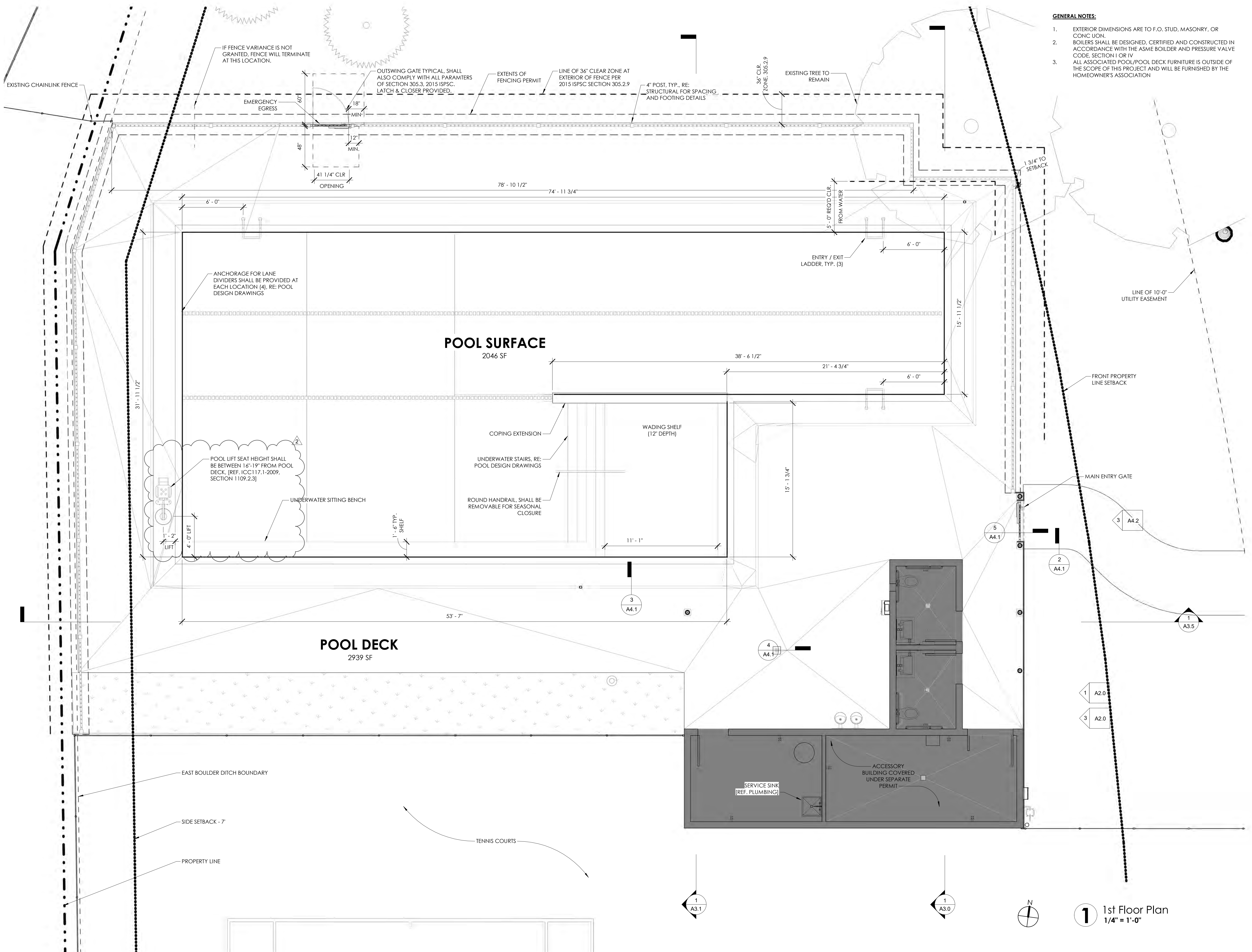
FENCE PERMIT - VARIANCE

**A1.0**

Deconstruction Plan

**1** 1st Floor - Demolition Plan  
3/16" = 1'-0"





- GENERAL NOTES:**
1. EXTERIOR DIMENSIONS ARE TO F.O. STUD, MASONRY, OR CONCLUSION.
  2. BOILERS SHALL BE DESIGNED, CERTIFIED AND CONSTRUCTED IN ACCORDANCE WITH THE ASME BOILER AND PRESSURE VALVE CODE, SECTION I OR IV.
  3. ALL ASSOCIATED POOL/POOL DECK FURNITURE IS OUTSIDE OF THE SCOPE OF THIS PROJECT AND WILL BE FURNISHED BY THE HOMEOWNER'S ASSOCIATION.



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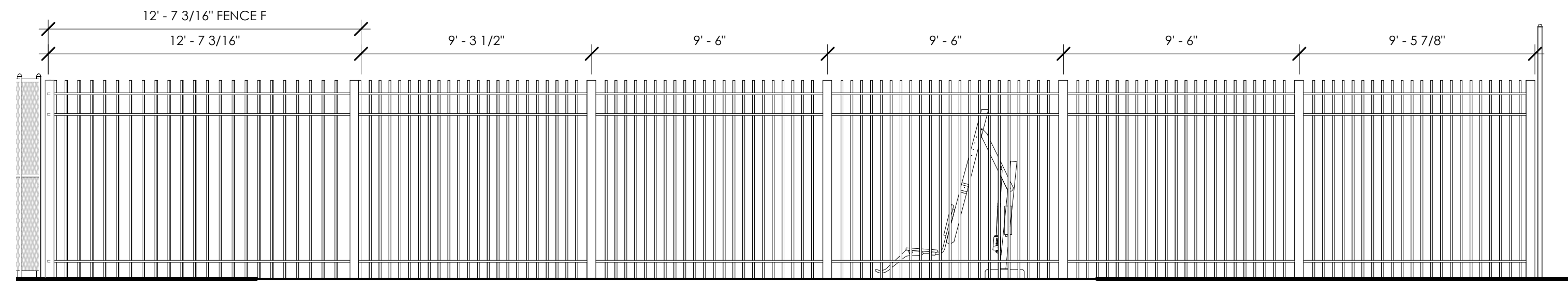
FENCE PERMIT - VARIANCE

**A1.1**

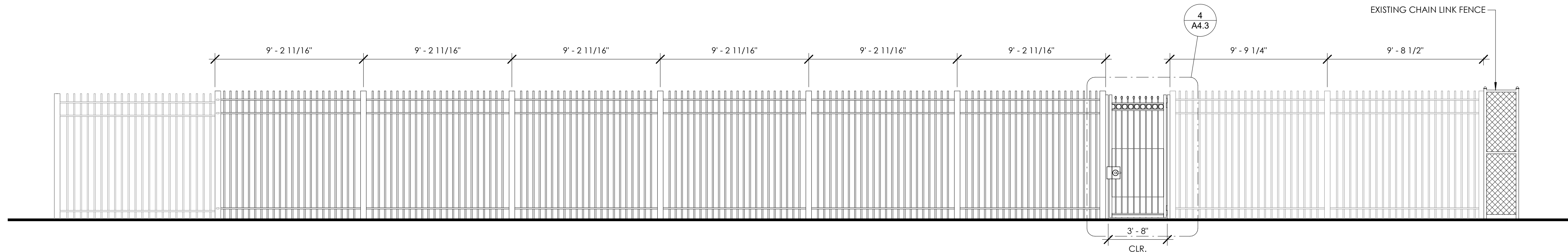
1st Floor Plan

**1** 1st Floor Plan  
 1/4" = 1'-0"

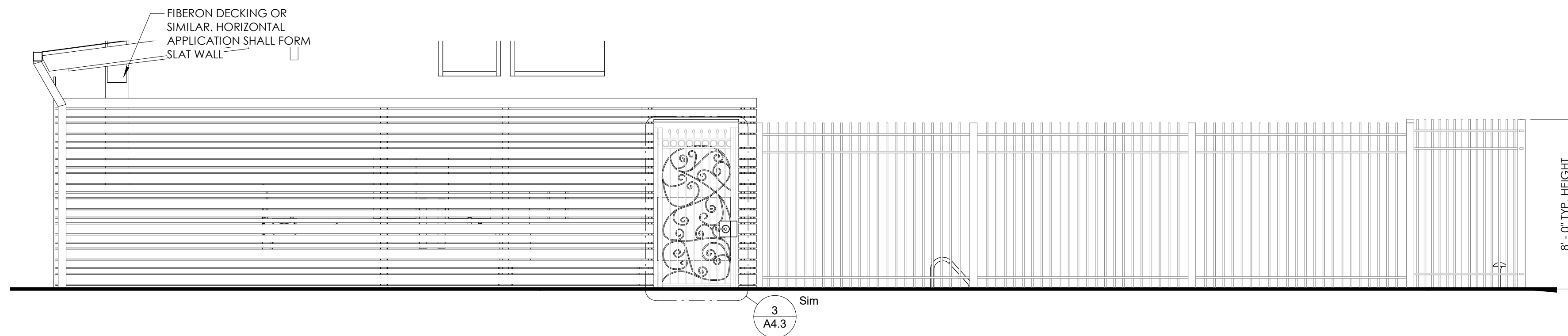




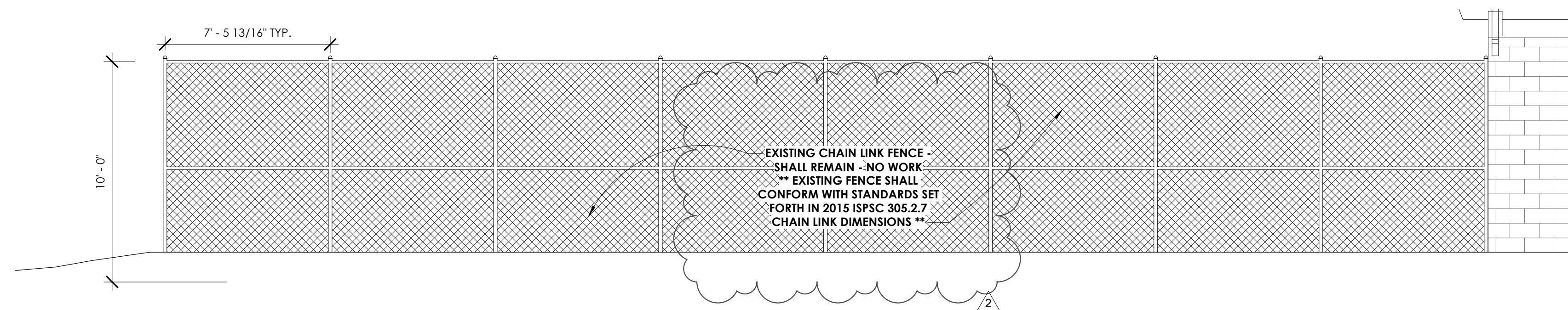
**1** Railing\_West  
1/4" = 1'-0"



**2** Railing\_North  
1/4" = 1'-0"

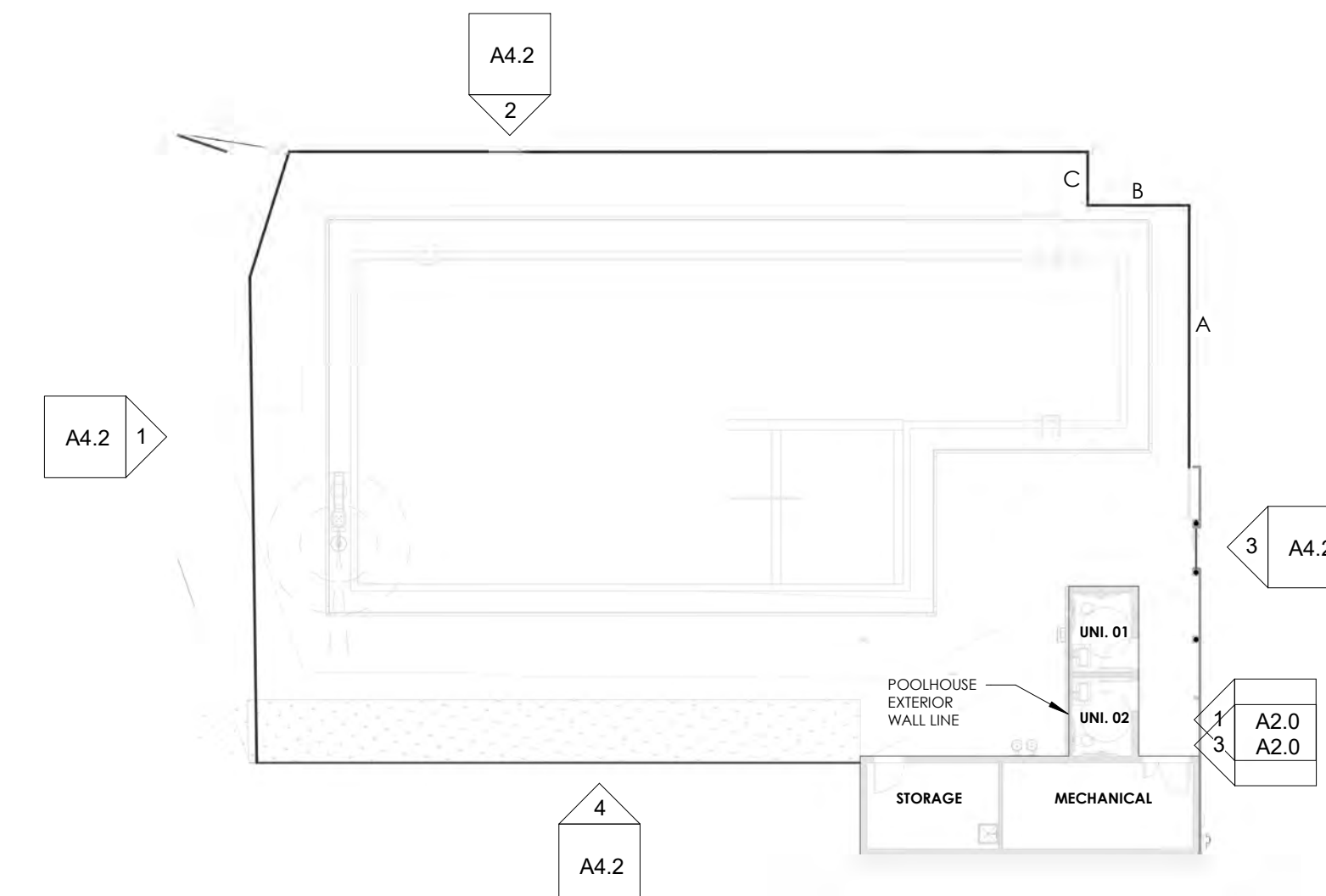


**3** Railing\_East  
1/4" = 1'-0"



**4** Railing\_South  
1/4" = 1'-0"

\*\* FENCING WILL BE UNDER SEPARATE PERMIT FROM POOL AND POOL ACCESSORY BUILDING \*\*



**5** Pool Deck Plan - Fencing & Detailing  
1/16" = 1'-0"



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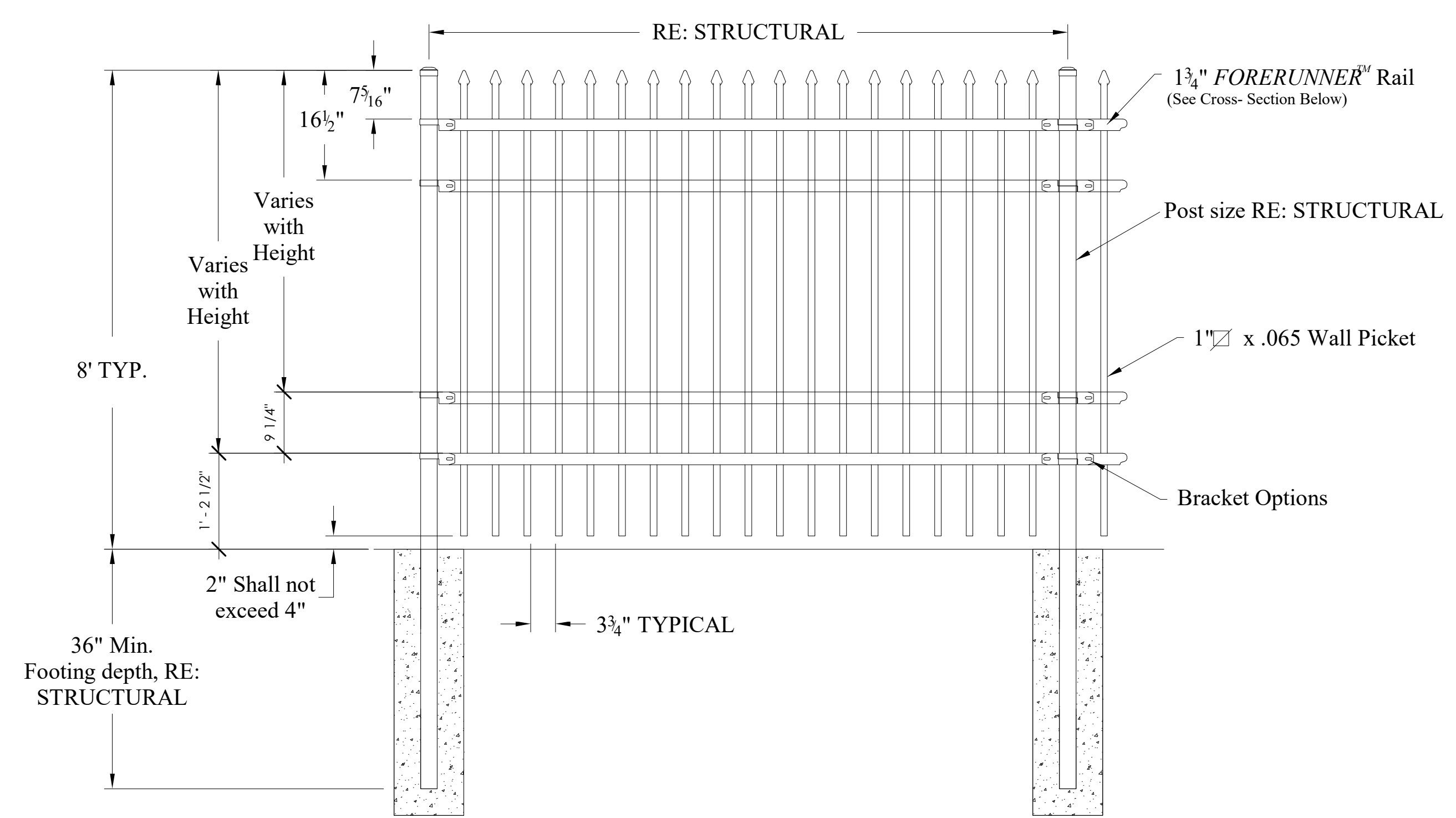
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**DATE:** 7.11.2022

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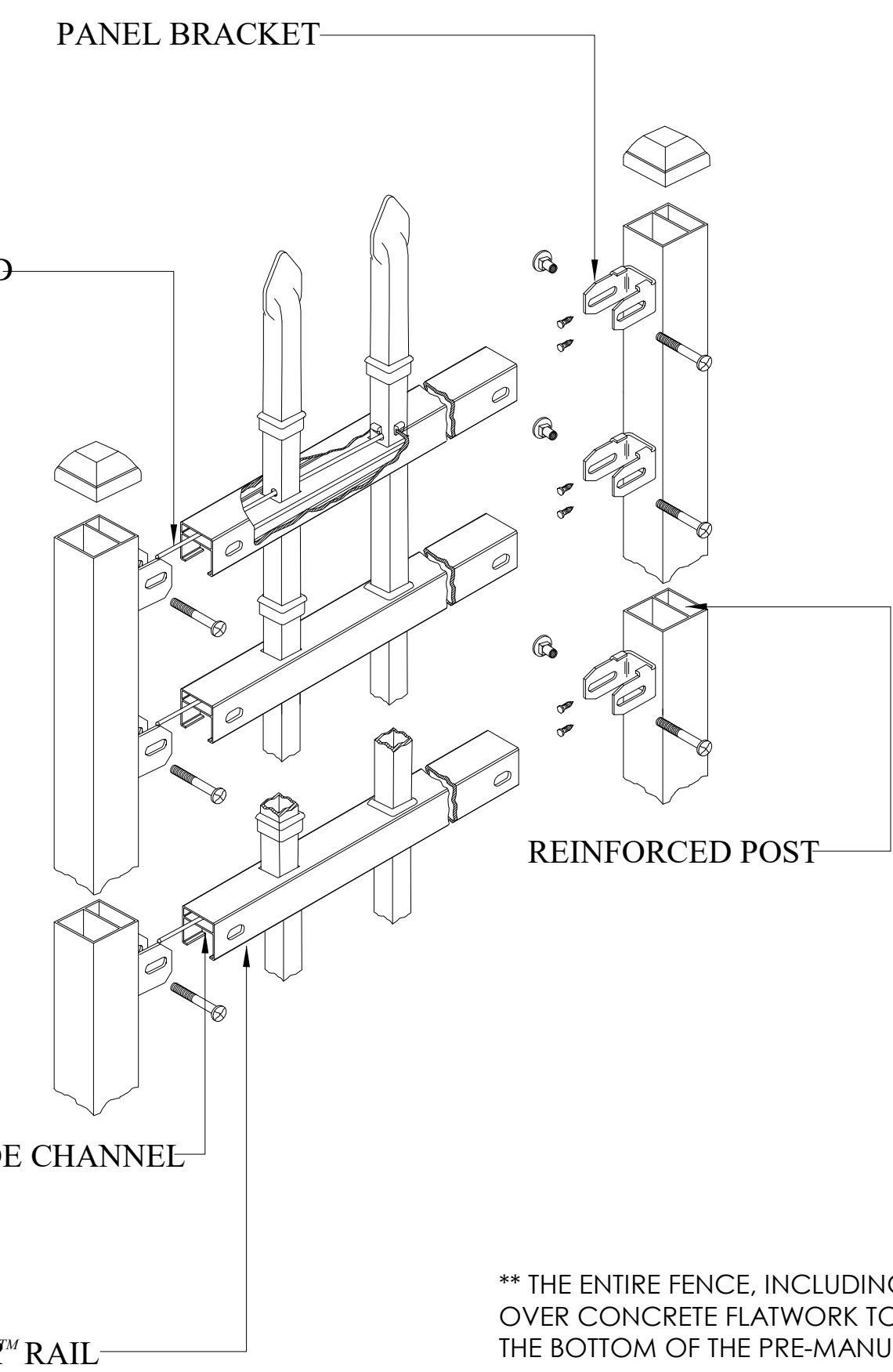
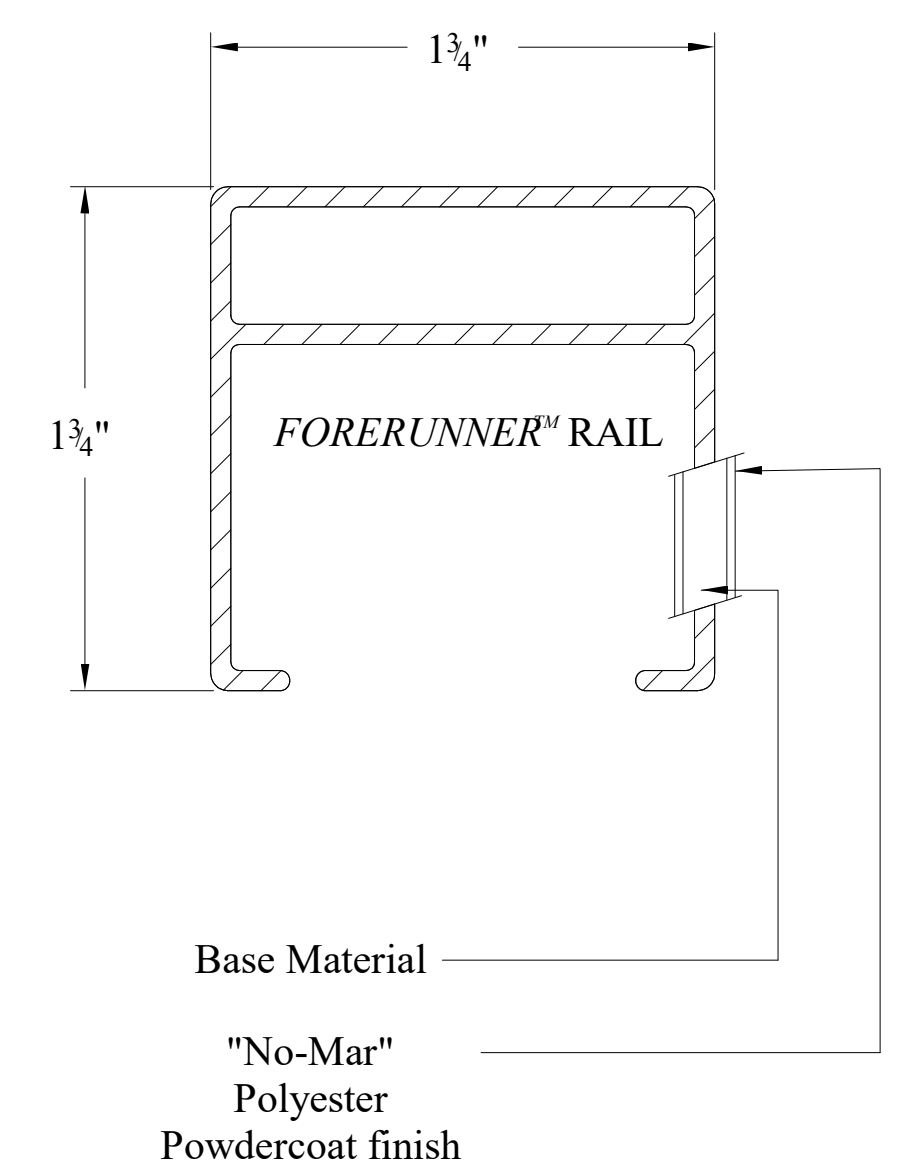
FENCE PERMIT - VARIANCE

**A4.2**

Site Fencing & Detailing

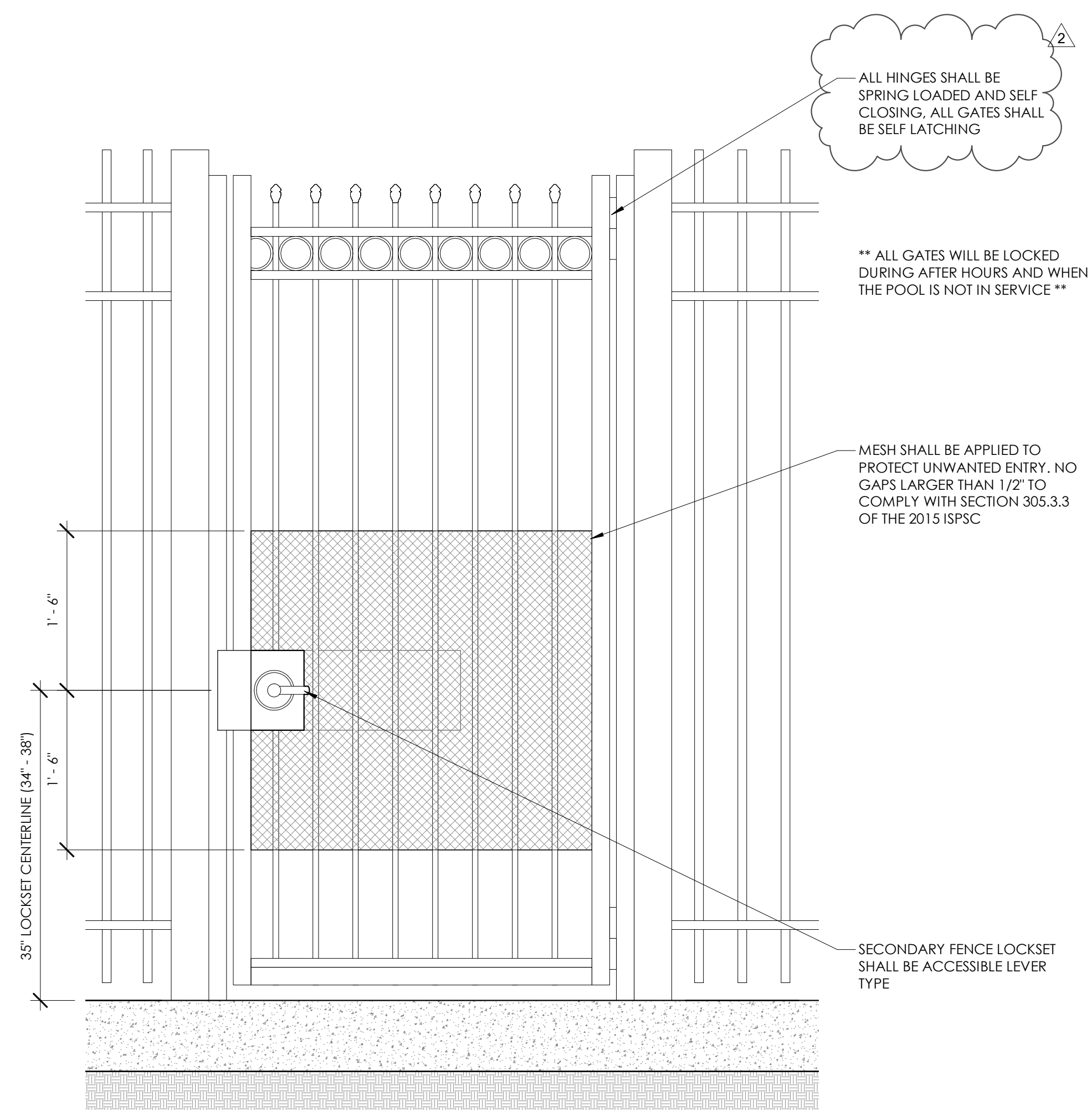


**1** FENCE DETAIL  
3/4" = 1'-0"

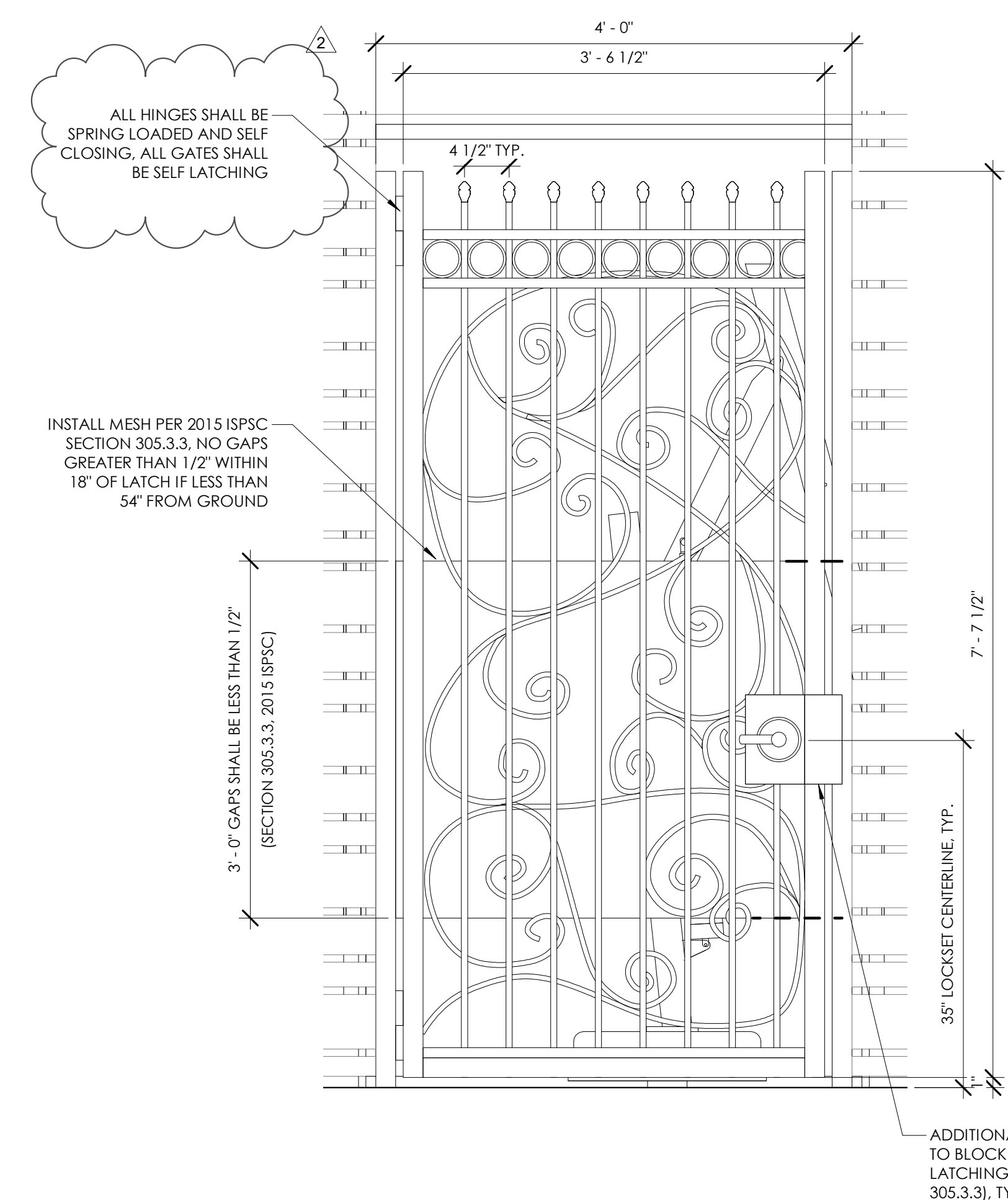


\*\* FENCING WILL BE UNDER SEPARATE PERMIT FROM POOL AND POOL ACCESSORY BUILDING \*\*

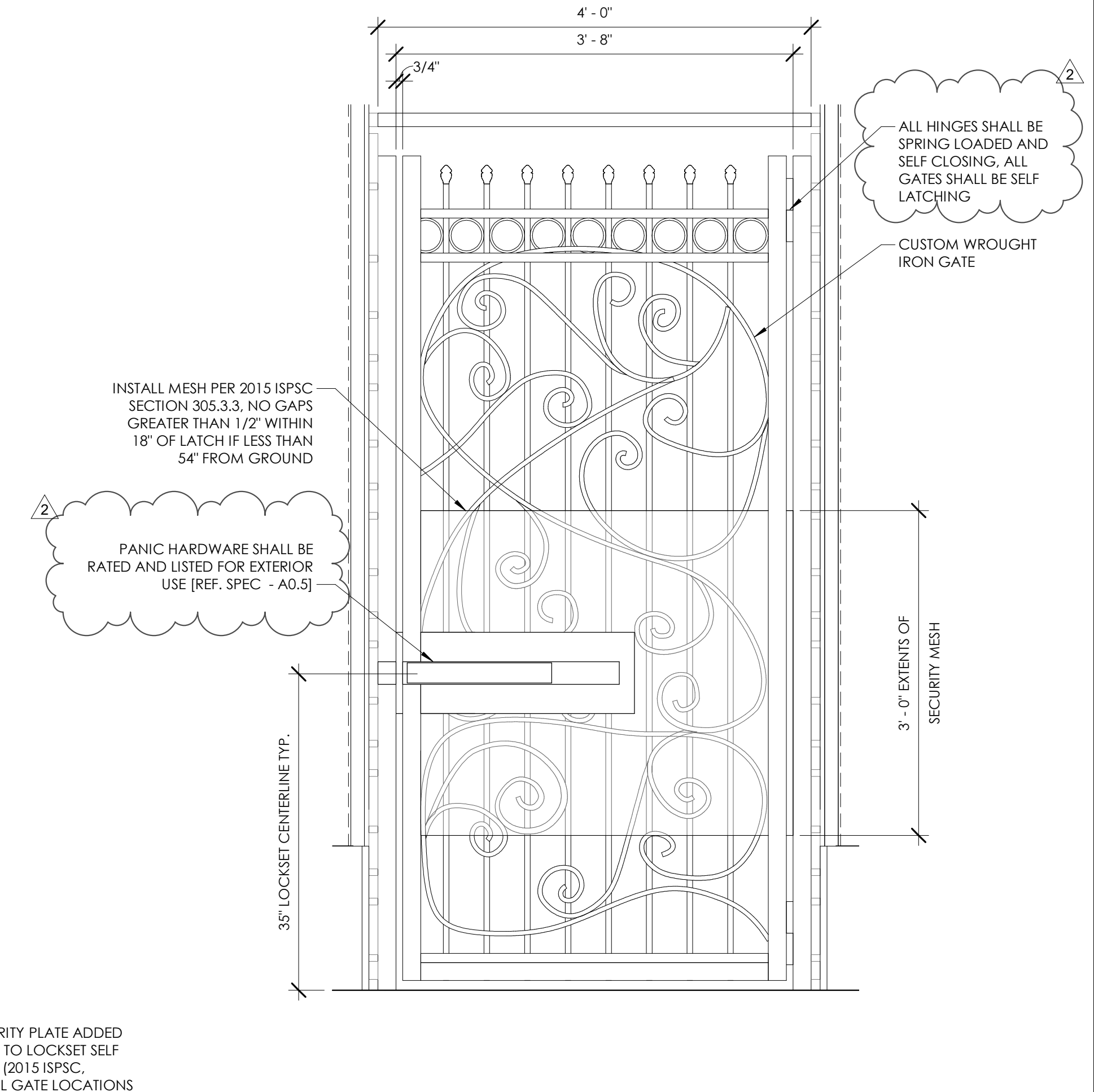
\*\* THE ENTIRE FENCE, INCLUDING GATES, SHALL BE INSTALLED OVER CONCRETE FLATWORK TO ENSURE A CONSISTENT GAP TO THE BOTTOM OF THE PRE-MANUFACTURED FENCE SECTIONS. \*\*



**4** Fencing Detail - Emergency Exit  
1" = 1'-0"



**3** Detail - Decorative Gate - Exterior  
1" = 1'-0"



**2** Detail - Decorative Gate - Interior  
1" = 1'-0"



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Release of these plans contemplates further cooperation among the owner, his contractor and the architect. Design and construction are complex. Although the architect and his consultants have performed their services with due care and diligence, they cannot guarantee perfection. Communication is imperfect and every contingency cannot be anticipated. Any ambiguity or discrepancy discovered by the use of these plans shall be reported immediately to the architect. Failure to notify the architect compounds misunderstanding and increases construction costs. A failure to cooperate by a simple notice to the architect shall relieve the architect from responsibility for all consequences. Changes made from the plans without consent of the architect are unauthorized, and shall relieve the architect of responsibility for all consequences arising out of such changes.

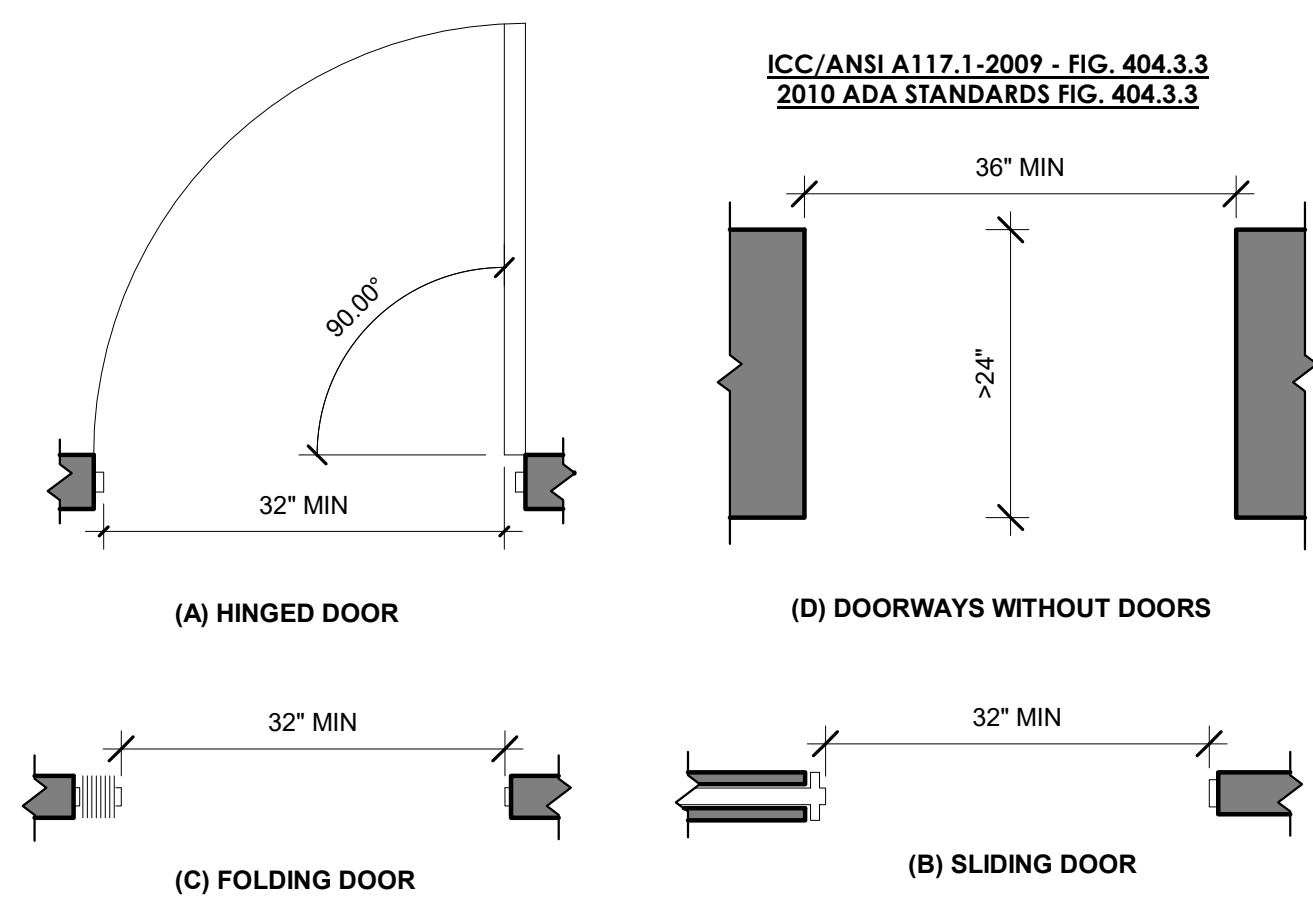
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<b>DRAWN:</b>	Author	
<b>CHECKED:</b>	Checker	
<b>DATE:</b>	7.11.2022	
<b>REVISED:</b>		
<b>No.</b>	<b>Description</b>	<b>Date</b>
2	Permit Review Comments No. 1	9.29.2022

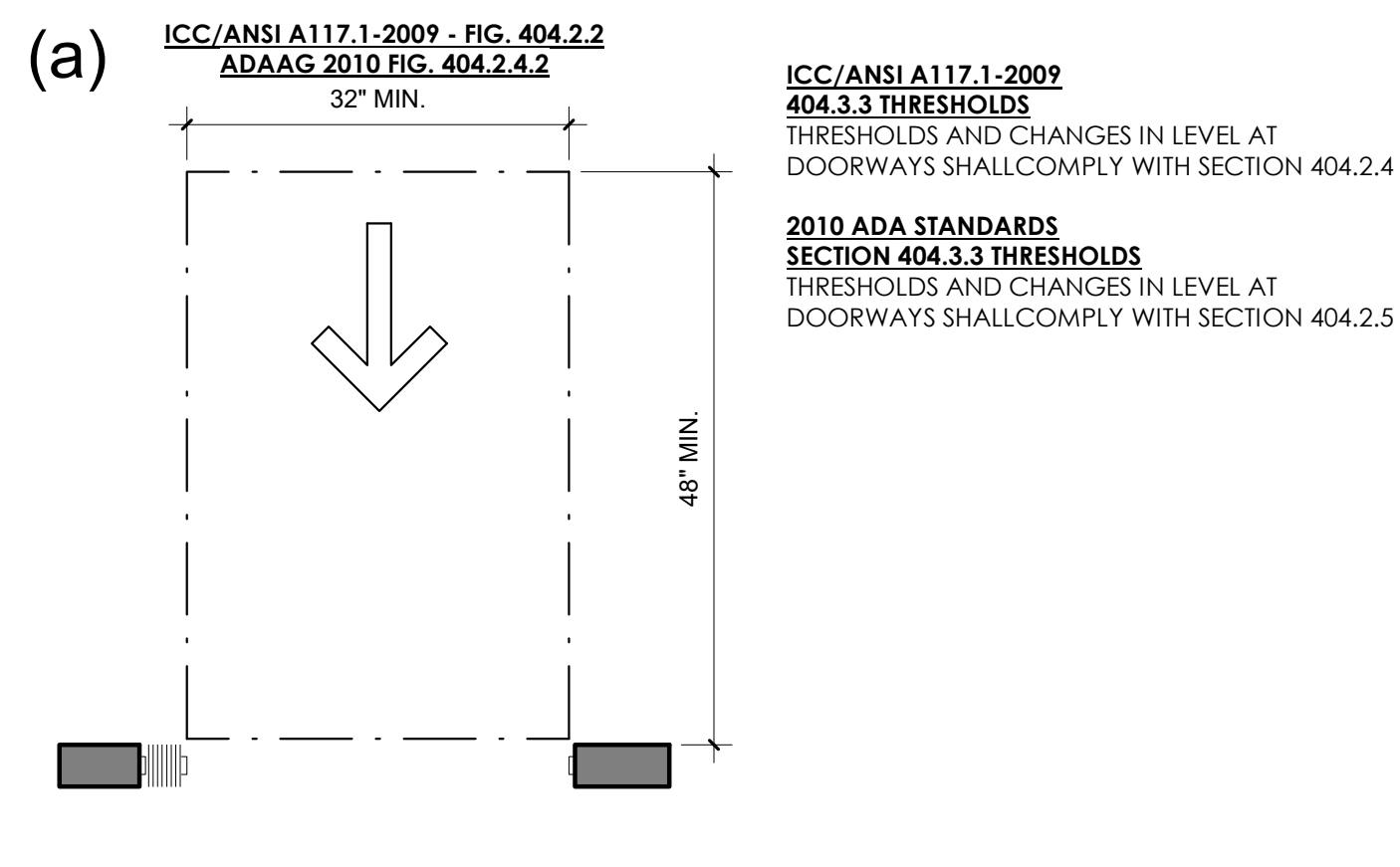
FENCE PERMIT - VARIANCE

**A4.3**  
Site Fencing & Detailing

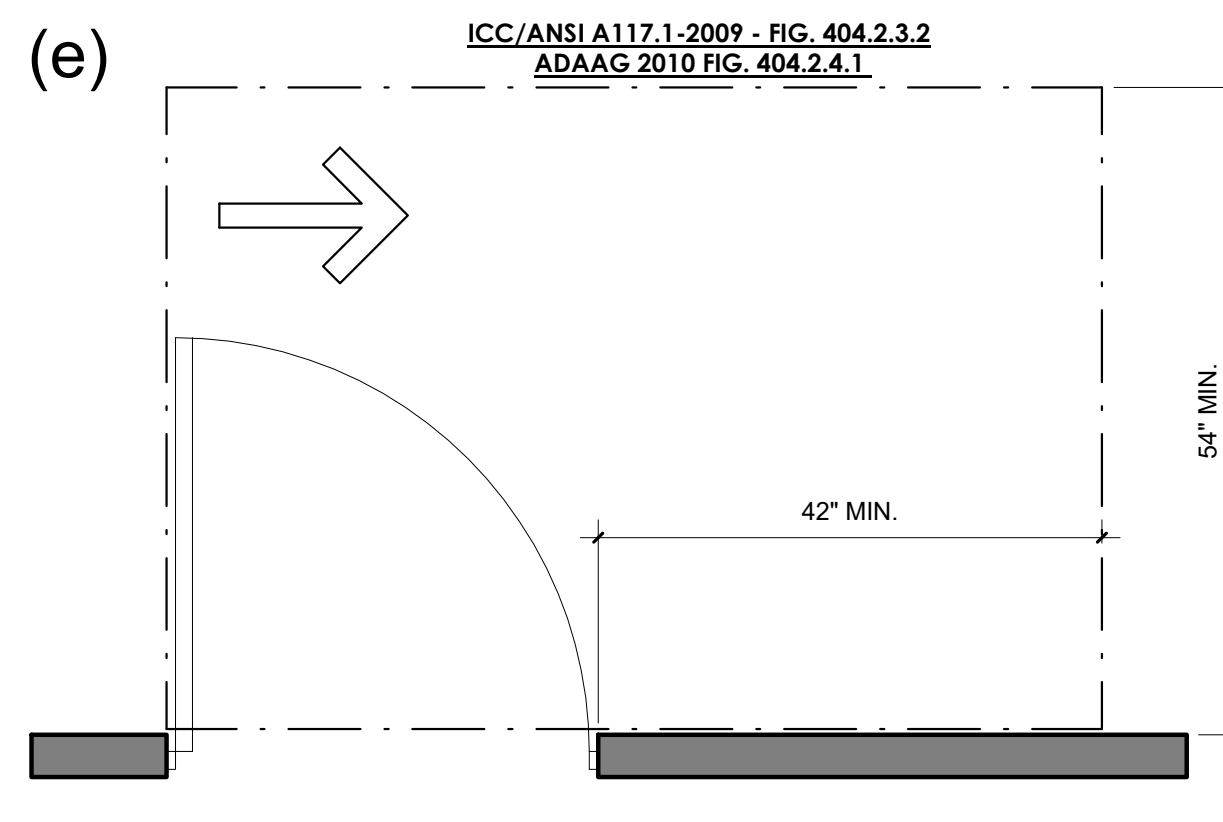




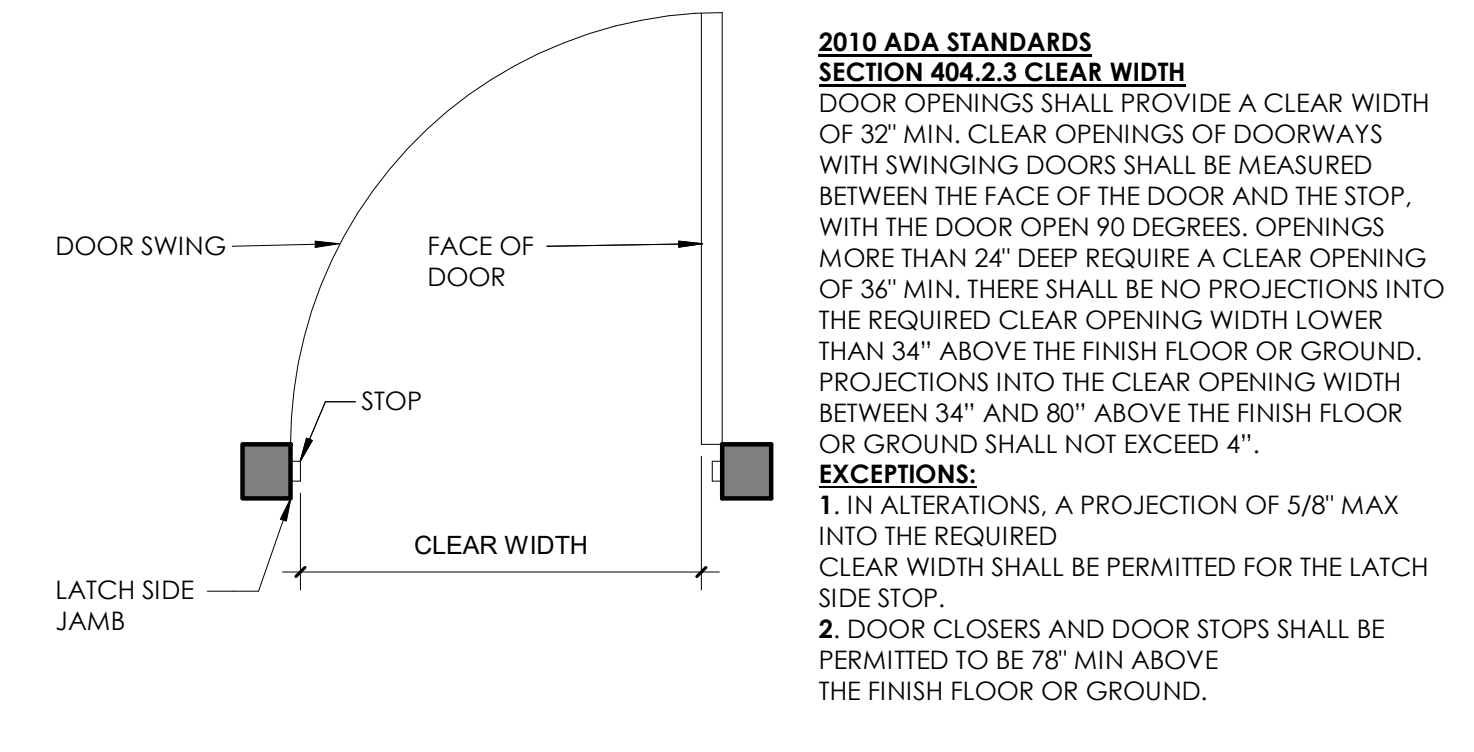
16 DOORWAY CLEARANCES



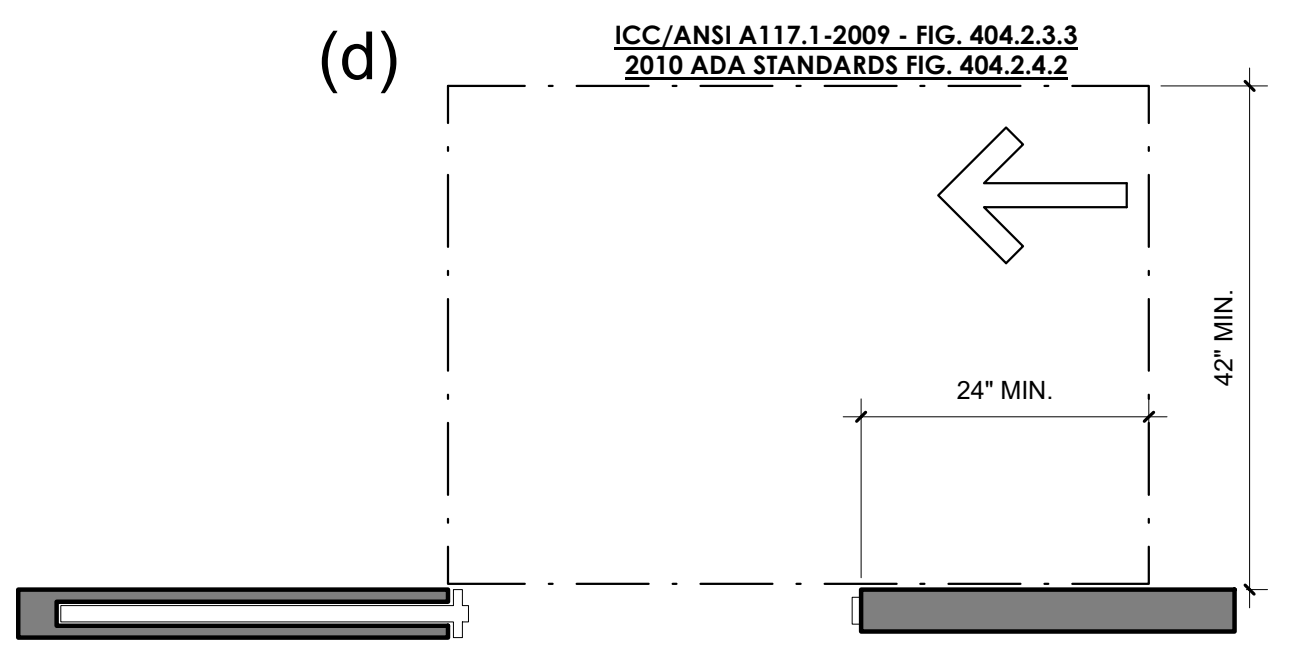
12 FRONT APPROACH AT SLIDING AND FOLDING DOORS



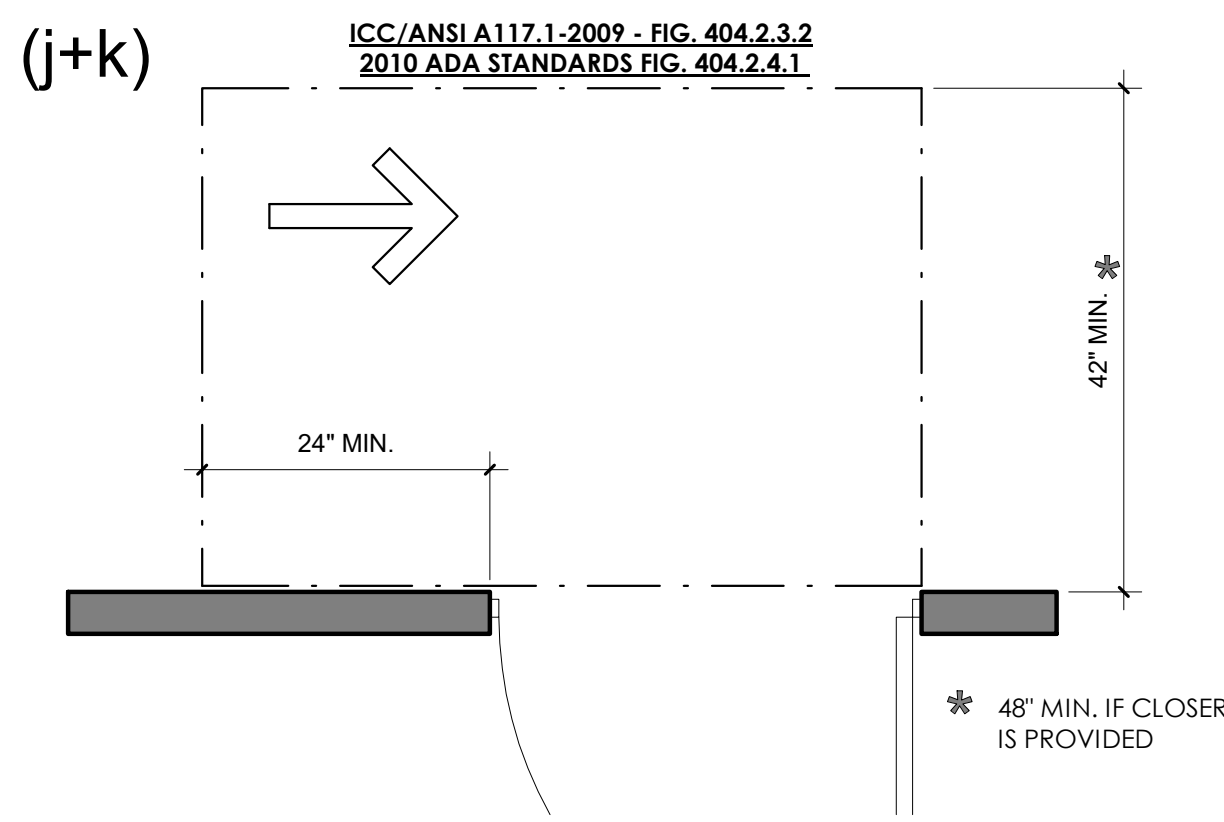
8 HINGE APPROACH, PULL SIDE ALT



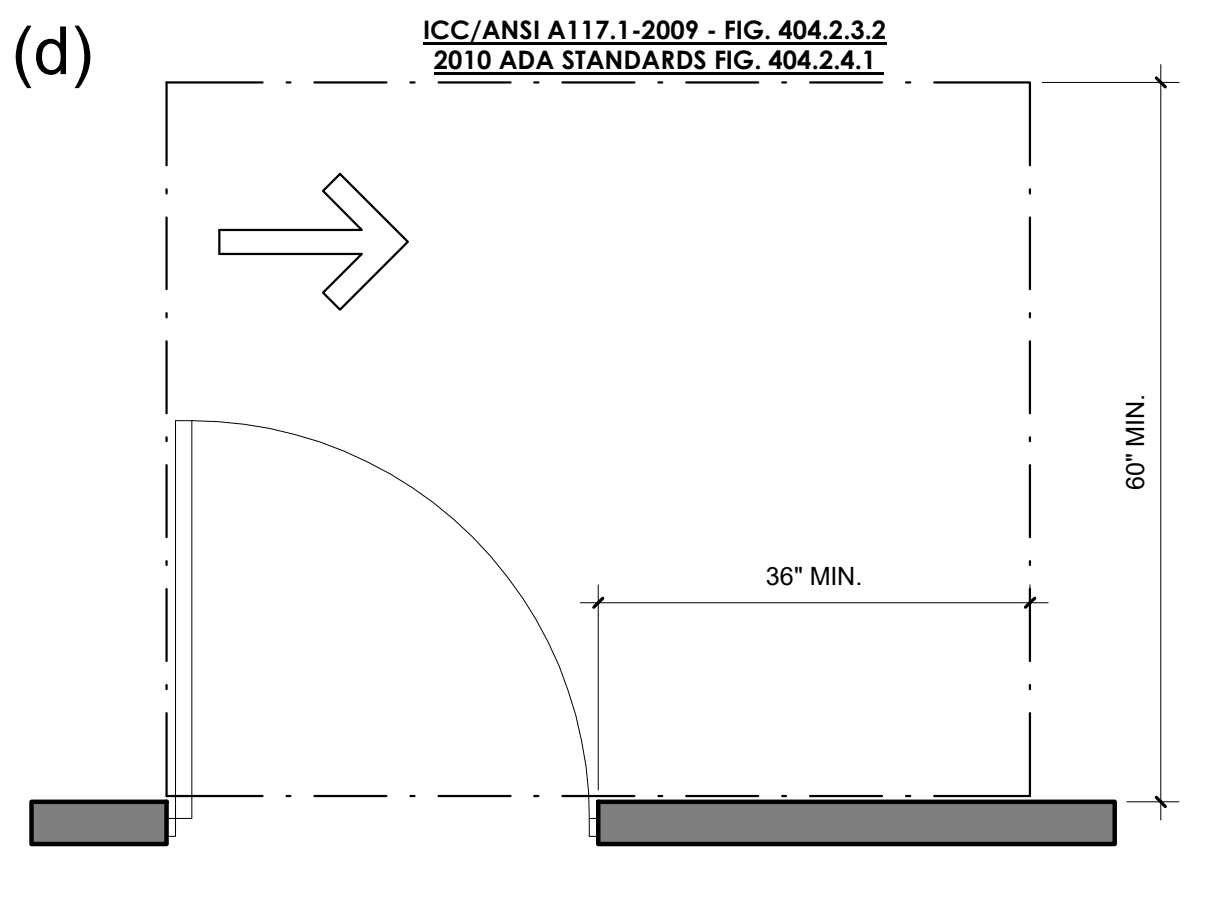
4 MEASURING CLEAR WIDTH AT DOORS AND DOORWAYS



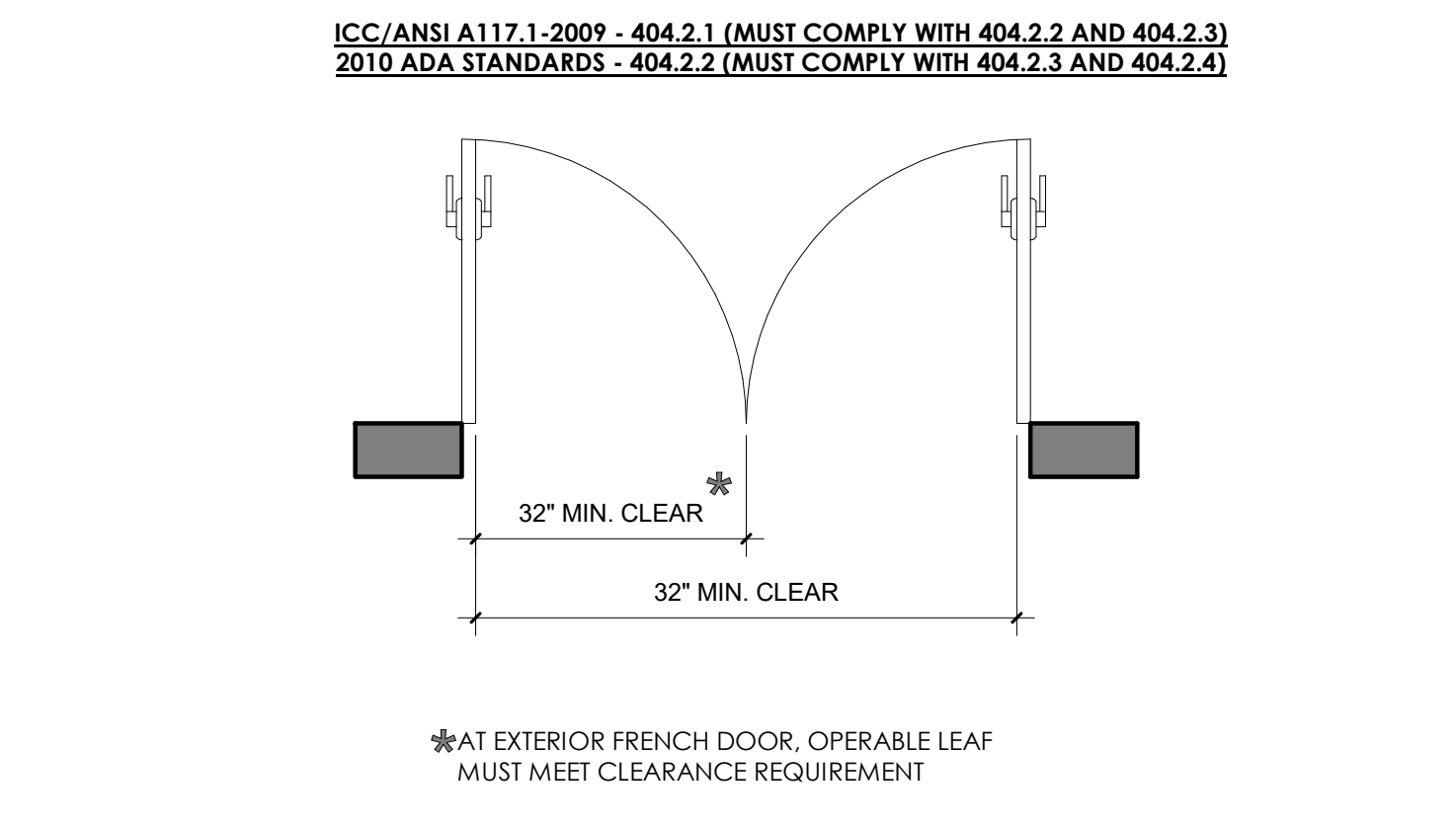
15 POCKET DOOR, STOP OR LATCH SIDE APPROACH



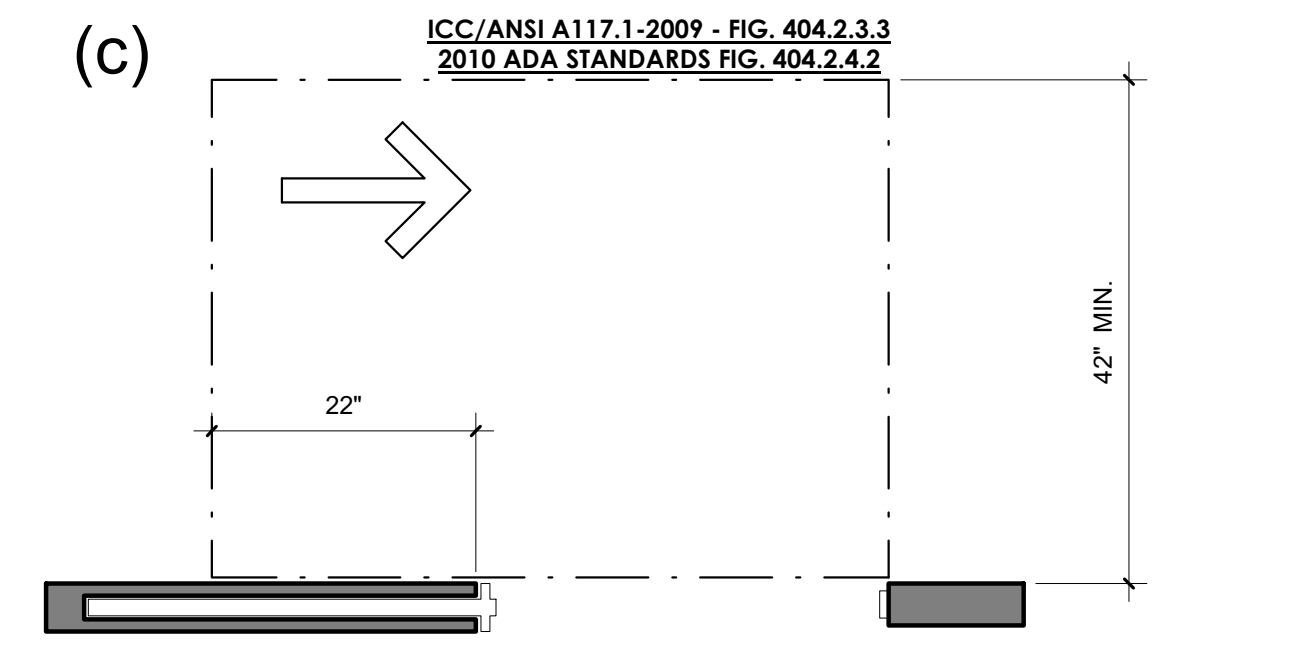
11 LATCH APPROACH, PUSH SIDE



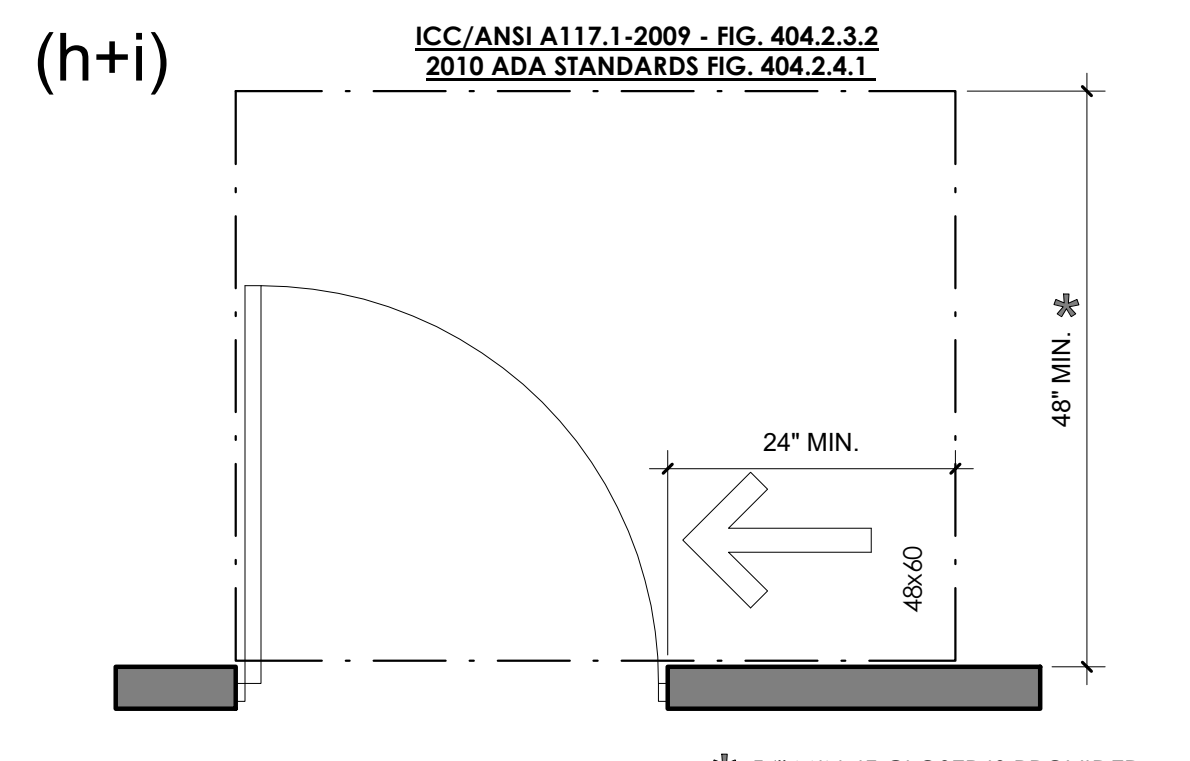
7 HINGE APPROACH, PULL SIDE



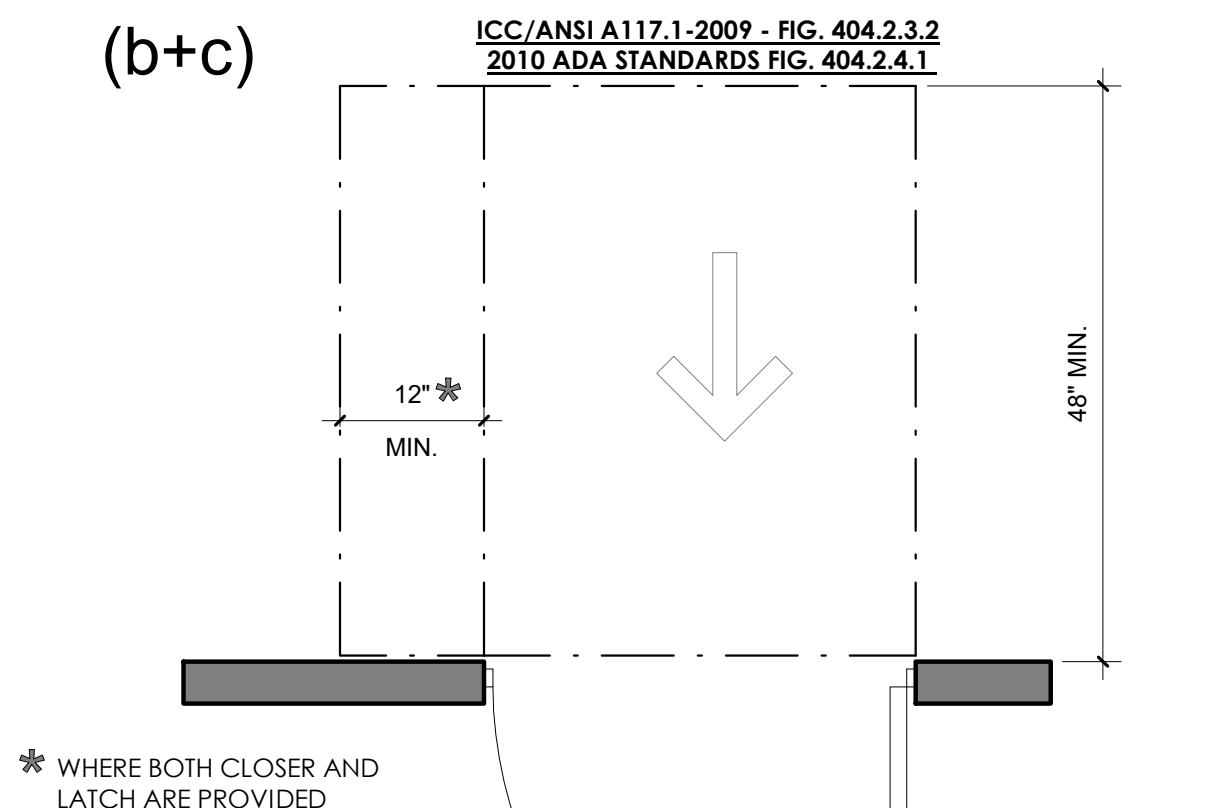
3 DOUBLE DOOR CLEARANCES



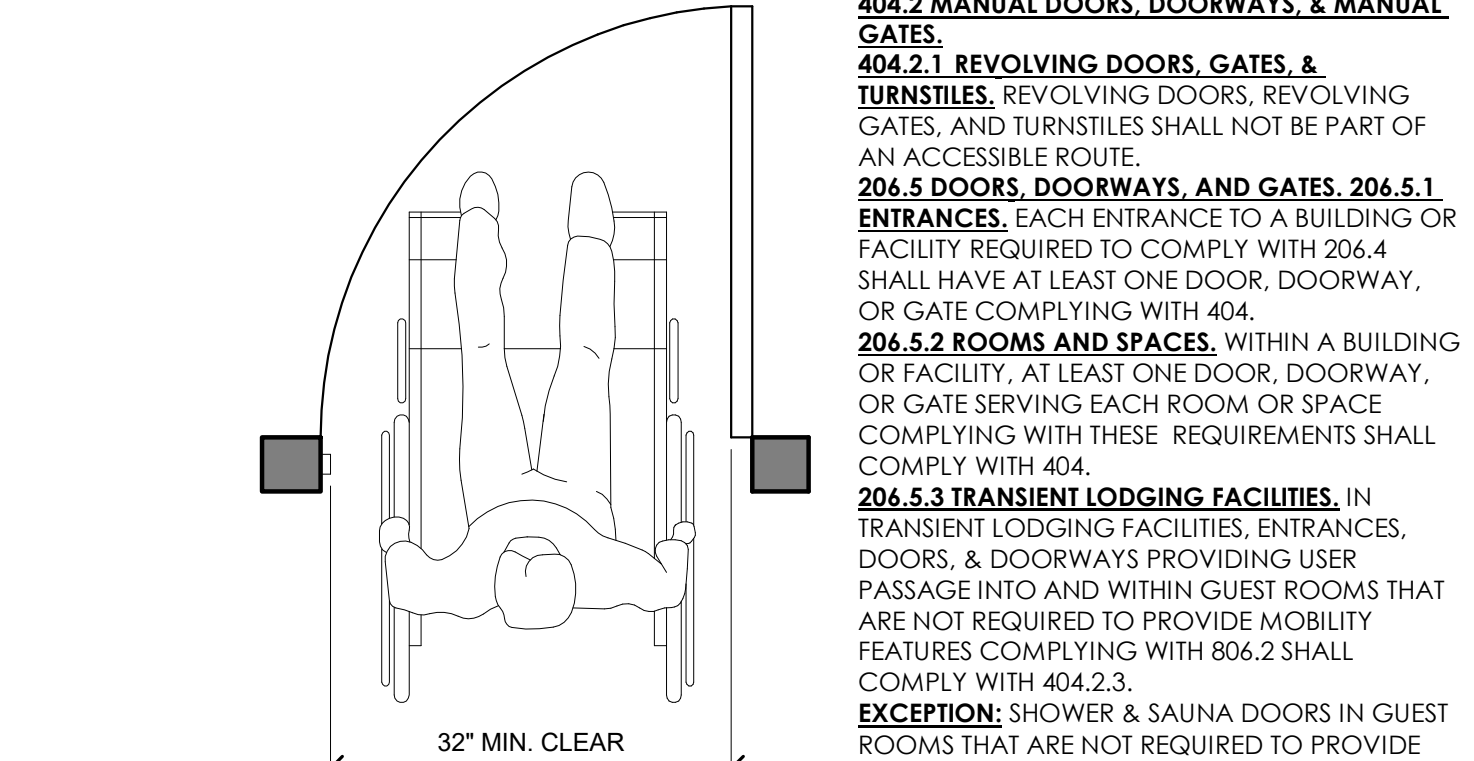
14 POCKET, HINGE APPROACH



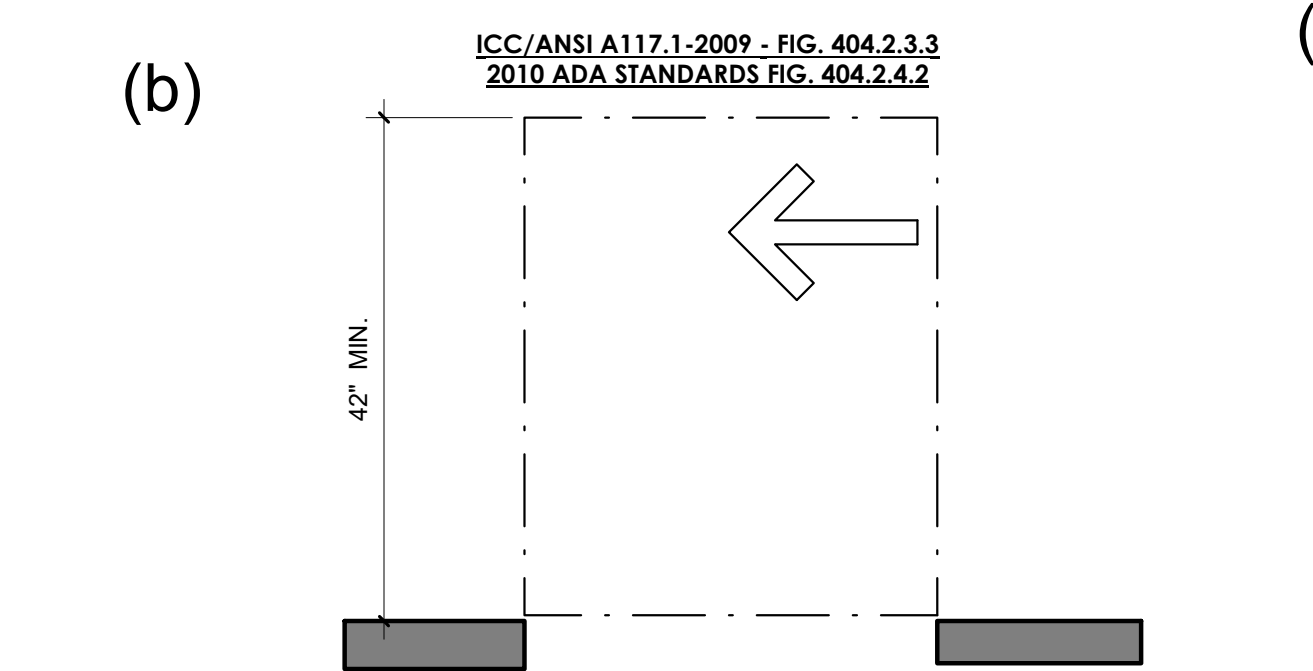
10 LATCH APPROACH, PULL SIDE



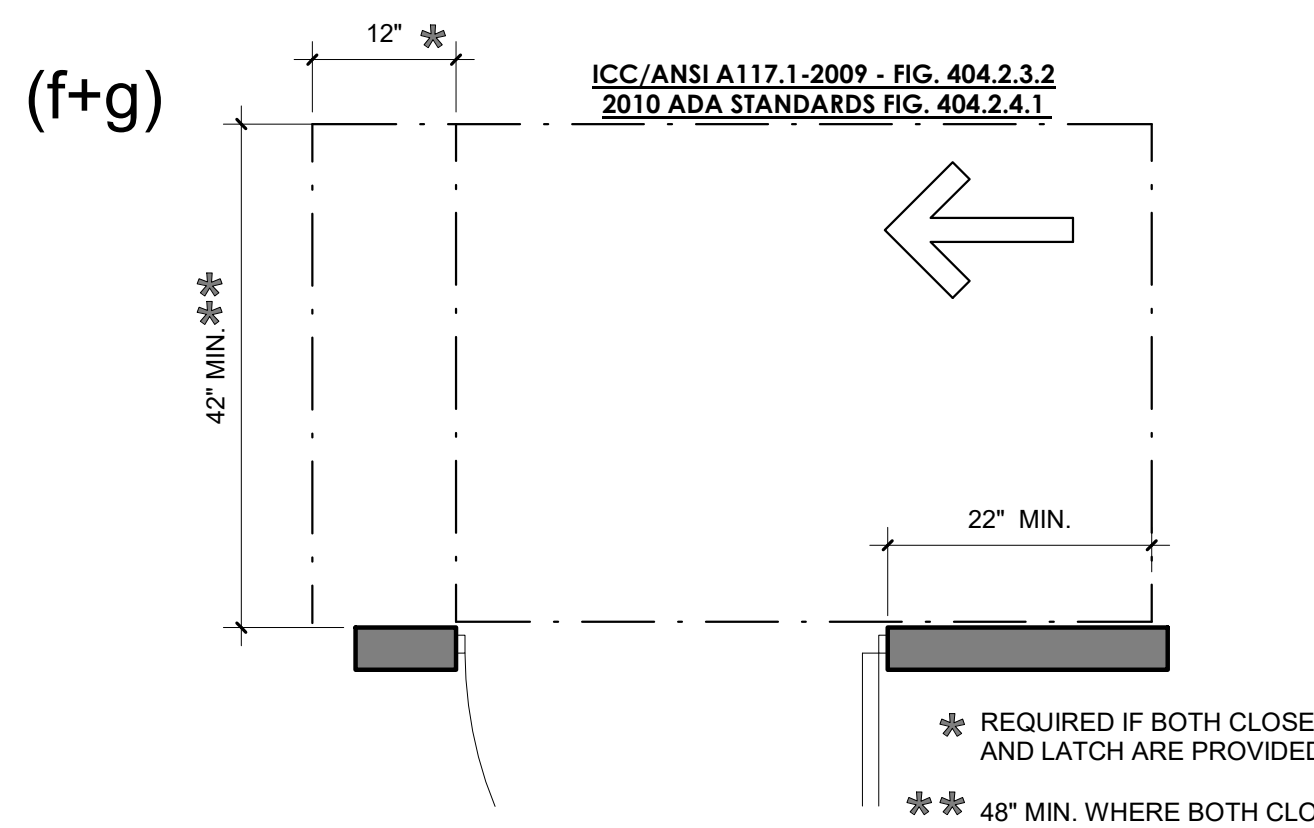
6 FRONT APPROACH, PUSH SIDE



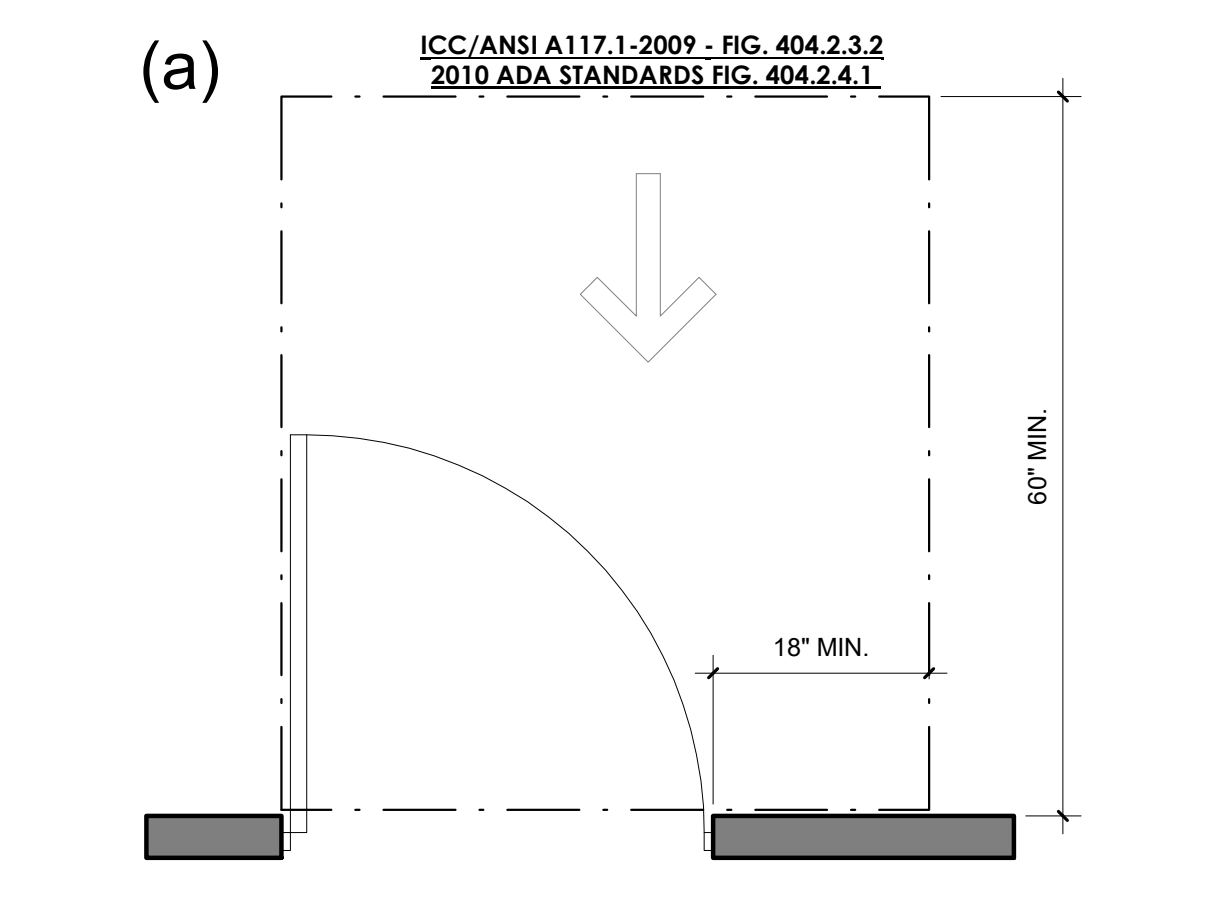
2 ACCESSIBLE USER PASSAGE DOORS



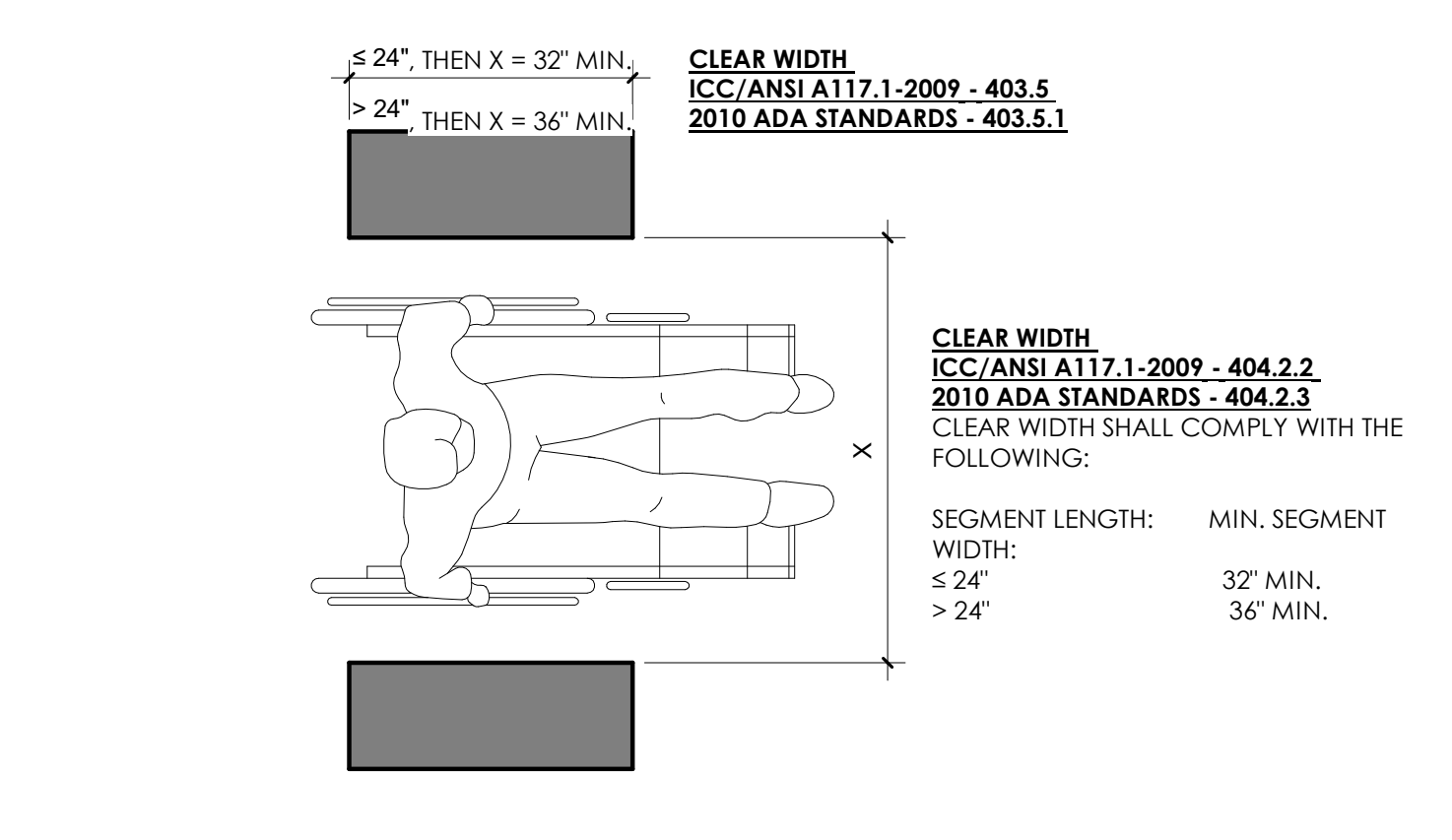
13 DOORWAYS WITHOUT DOORS - SIDE APPROACH



9 HINGE APPROACH, PUSH SIDE



5 FRONT APPROACH, PULL SIDE



1 MEASURING CLEAR WIDTH AT ROUTE ACCESSIBLE



**RODWIN ARCHITECTURE**  
1245 Pearl St., Suite 202  
Boulder, Colorado 80302  
(p) 303.413.8556  
(f) 303.413.8557  
www.rodwinarch.com

**Reserve HOA - POOL**  
6298 RESERVE DR., BOULDER, CO 80303

**NOTICE: DUTY OF COOPERATION**  
Release of these plans contemplates further cooperation among the owner, the contractor and the architect. Design and construction are complex. Although the architect and his consultants have performed their services with due care and diligence, they cannot guarantee perfection. Communication is imperfect and every contingency cannot be anticipated. Any ambiguity or discrepancy discovered by the use of these plans shall be reported immediately to the architect. Failure to notify the architect compounds misunderstanding and increases construction costs. A failure to cooperate by a simple notice to the architect shall relieve the architect from responsibility for all consequences. Changes made from the plans without consent of the architect are unauthorized, and shall relieve the architect of all responsibility for all consequences arising out of such changes.

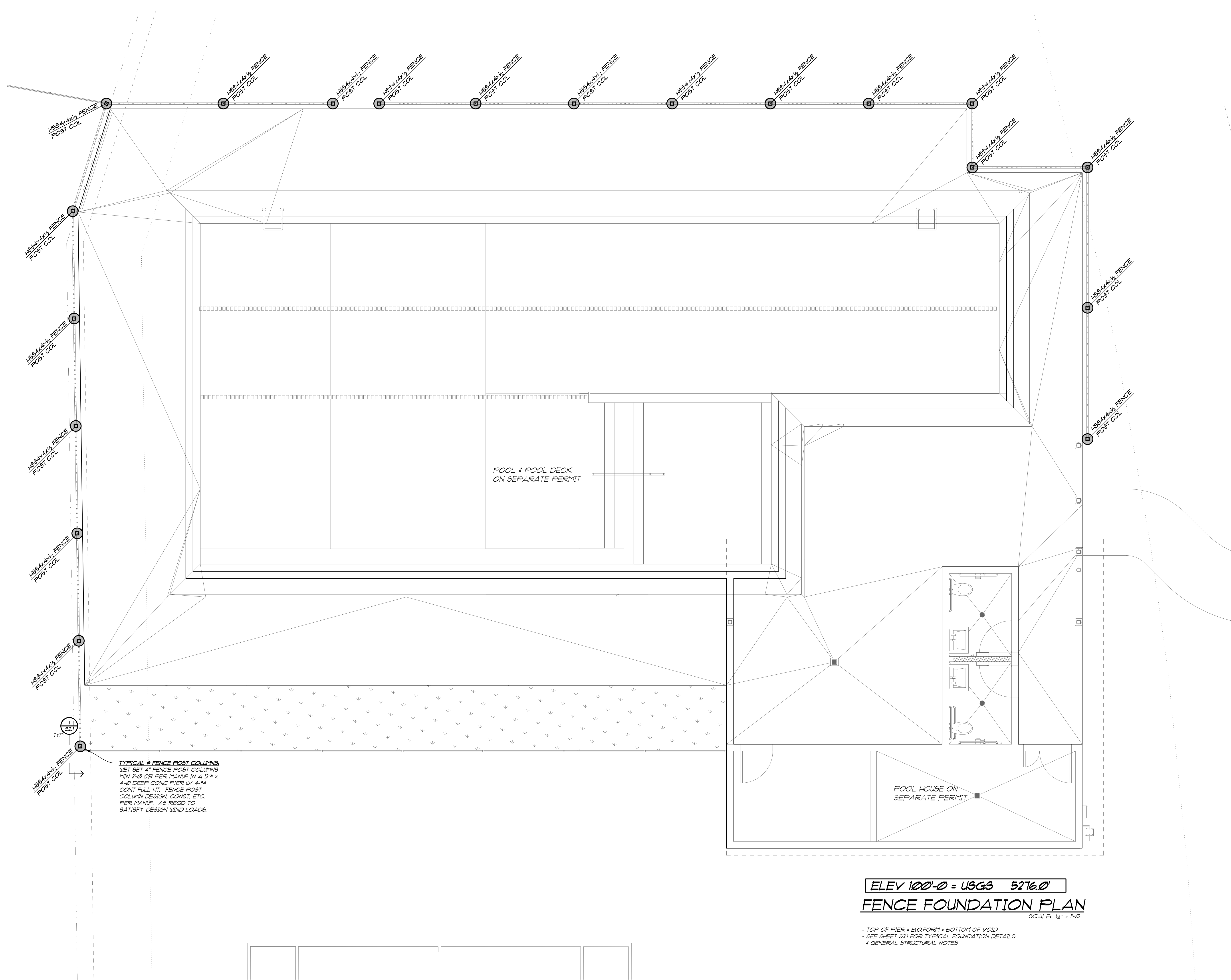
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**DRAWN:** JK, BS, MS, RK, FRG  
**CHECKED:** SR  
**DATE:** 7.11.2022  
**REVISED:**

No.	Description	Date

FENCE PERMIT - VARIANCE

**A9.3**  
ACCESSIBILITY DETAILS



ELEV 100'-0" = USGS 5276.0'

**FENCE FOUNDATION PLAN**

SCALE: 1/4" = 1'-0"

- TOP OF FIER = B.O.FORM + BOTTOM OF VOID
- SEE SHEET S2.1 FOR TYPICAL FOUNDATION DETAILS
- + GENERAL STRUCTURAL NOTES

**GEBAU** INC.

CONSULTING STRUCTURAL ENGINEERS

1181 BRADWAY, STE. 801  
BOULDER, CO 80502  
(303)444-8545, FAX (303)444-3140  
mail@gebau.com

**6298 RESERVE DRIVE**  
RESERVE HOA - POOL FACILITY  
BOULDER, COLORADO

DATE: 4/7/22

JOB #: 21193

DRAWN BY: PJG

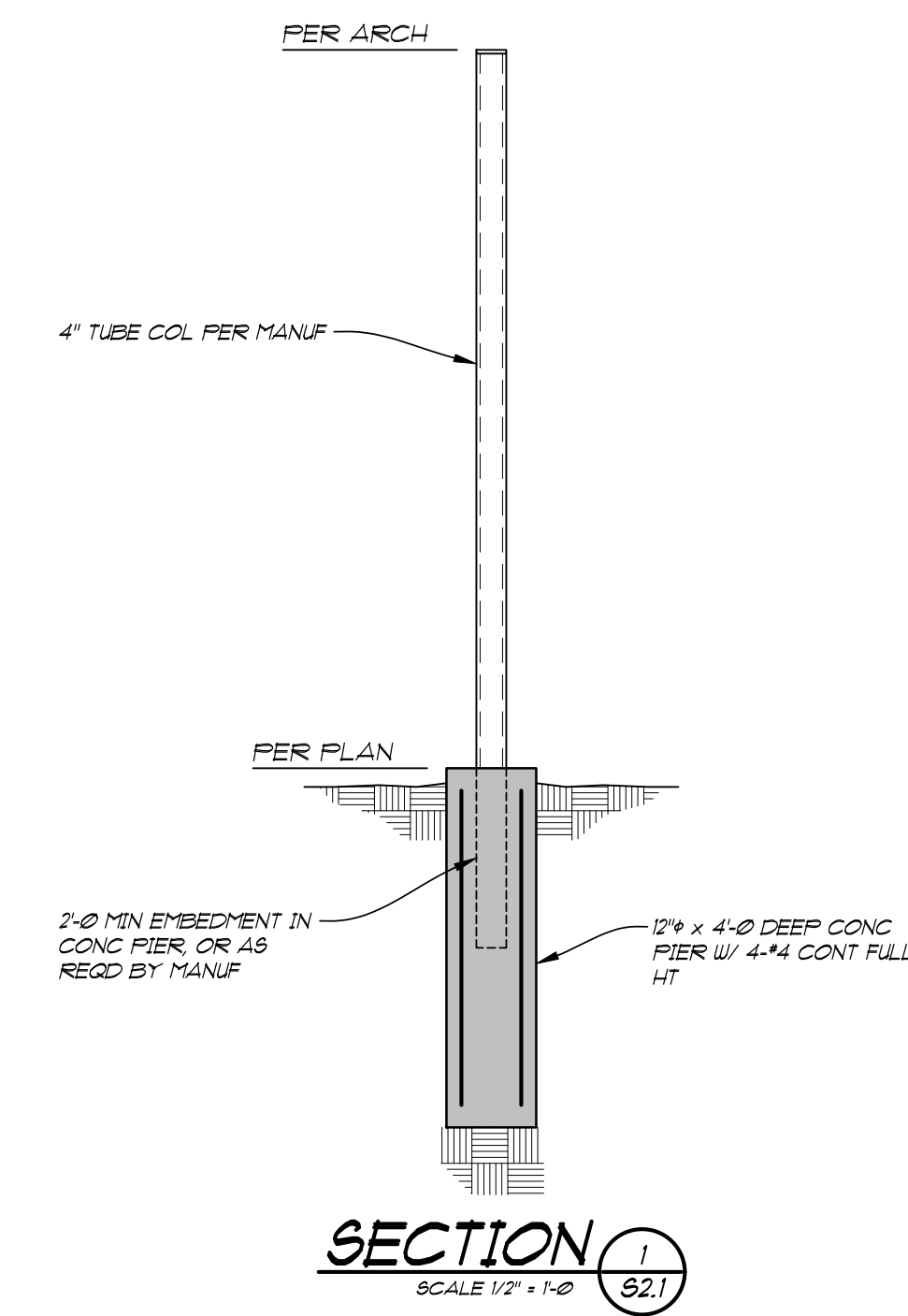
CHECKED BY: PJG

REVISED:

▲ 8/14/22

**S1.1**

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**GENERAL STRUCTURAL NOTES**

JOB #1193  
PROJECT: 6298 RESERVE DRIVE  
RESERVE HOA POOL FACILITY

**DESIGN LOADS**

SNCL  
WIND (V, W)  
SEISMIC

48 PSF (GROUND)  
15 MPH EXP C  
CATEGORY B

**INSPECTIONS**

THE FOLLOWING ITEMS REQUIRE SPECIAL INSPECTION FROM GEBAU, INC. OR BY AN INSPECTION AGENCY APPROVED BY GEBAU, INC. WITH A 24 HOUR ADVANCED NOTICE:

FOOTINGS, FOUNDATION WALL, FORMS, REINFORCING, ANCHOR BOLTS, MOMENT FRAME EMBED PLATES, AND WELDED DOUELS PRIOR TO CONCRETE POUR.

STRUCTURAL STEEL FRAMING ELEMENTS, BOLTING, FIELD WELDS, AND STEEL ROOF DECK CONNECTIONS.

CMU VERTICAL REINFORCING, BOND BEAM STEEL, AND EMBED LOCATIONS PRIOR TO GROUTING AT ALL LIFTS.

ALL BONDING MUST BE INSPECTED AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION PRIOR TO PLACEMENT OF ANY CONCRETE.

SOILS-RELATED SPECIAL INSPECTIONS ARE TO BE PERFORMED BY THE GEOTECHNICAL ENGINEER OF RECORD.

**SPECIAL INSPECTIONS: SOILS (IBC SECTION 1806.6)**

TYPE	CONTINUOUS (C) OR PERIODIC (P)
1. VERIFY MATERIALS BELOW SHALLOW FOUNDATIONS ARE ADEQUATE TO ACHIEVE THE DESIGN BEARING CAPACITY.	P
2. VERIFY EXCAVATIONS ARE EXTENDED TO PROPER DEPTH AND HAVE REACHED PROPER MATERIAL.	P
3. PERFORM CLASSIFICATION AND TESTING OF COMPACTED FILL MATERIAL.	P
4. VERIFY USE OF PROPER MATERIALS, DENSITIES AND LIFT THICKNESSES DURING PLACEMENT AND COMPACTION OF COMPACTED FILL.	C
5. PRIOR TO PLACEMENT OF COMPACTED FILL, INSPECT SUBGRADE AND VERIFY THAT SITE HAS BEEN PREPARED PROPERLY.	P

**SPECIAL INSPECTIONS: WIND-RESISTING COMPONENTS (IBC SECTION 1806.13)**

TYPE	CONTINUOUS (C) OR PERIODIC (P)
1. ROOF COVERING, ROOF DECK AND ROOF FRAMING CONNECTIONS.	P

**FOUNDATIONS**

FOUNDATION DESIGNED IN ACCORDANCE WITH RECOMMENDATIONS CONTAINED IN SOILS INVESTIGATION REPORT PREPARED BY SCOTT, COX & ASSOCIATES. SOILS REPORT NO. 7006 DATED AUGUST 27, 2021.

EXCEPT WHERE OTHERWISE SPECIFICALLY NOTED HEREIN, ALL RECOMMENDATIONS AND PRECAUTIONS CONTAINED IN THAT REPORT SHALL BE ADHERED TO BY THE CONTRACTOR.

STRUCTURE SHALL BE FOUNDED UPON DRILLED PIERS (CAISSONS) PENETRATING NOT LESS THAN 14 FEET INTO COMPETENT CLAYSTONE OR SANDSTONE BEDROCK.

BOTTOM OF DRILLED PIERS NOT LESS THAN 16 FEET BELOW EXCAVATION.

WHERE GREATER PENETRATION IS REQUIRED, SUCH PENETRATION IS NOTED ON PLANS.

MAXIMUM DESIGN END BEARING PRESSURE: 20,000 PSF

MAXIMUM DESIGN SIDE SHEAR: 2000 PSF

ALL DRILLED PIERS (CAISSONS) SHALL BE REINFORCED WITH 4-#5 FULL LENGTH.

PROVIDE 6 INCH VOID BETWEEN PIERS (OR PADS) UNDER ALL WALLS AND GRADE BEAMS.

EXTEND CAISSONS REINFORCING MINIMUM 2'-6" INTO GRADE BEAM OR WALL.

FLOAT ALL PARTITIONS AND TRIM MATERIAL A MINIMUM OF 3" FROM SLAB ON GRADE.

DESIGN LATERAL SOIL PRESSURE (EQUIVALENT FLUID PRESSURE): 55 PSF/FT.

PROVIDE PERIMETER DRAIN PER SOILS ENGINEER.

SLOPE PERIMETER GRADING AWAY FROM BUILDING PER SOILS ENGINEER.

**CONCRETE AND REINFORCEMENT**

CONCRETE SHALL CONFORM TO APPLICABLE PROVISIONS OF LATEST REVISION OF ACI 308 MINIMUM 28 DAY COMPRESSIVE STRENGTH AS FOLLOWS:

ALL CONCRETE: 4500 PSI

DEFORMED REINFORCEMENT: ASTM A63 GRADE 60

WELDED WIRE FABRIC: ASTM 105

REINFORCEMENT FABRICATED AND PLACED PER ACI MANUAL OF STANDARD PRACTICE (ACI-308).

SPLICES, DOUCEL PROJECTION OR EMBEDMENT SHALL BE 32 BAR DIAMETERS, BUT NOT LESS THAN 24" FOR #5 BARS OR SMALLER.

TYPICAL FOUNDATION REINFORCEMENT 2-#5 TOP AND 2-#5 BOTTOM OR MORE AS NOTED. SEE PLANS FOR OTHER REQUIREMENTS.

CONCRETE MUST BE PLACED CONTINUOUSLY WITHOUT HORIZONTAL COLD JOINT. IF COLD JOINT IS DESIRED, APPROPRIATE VERTICAL REINFORCEMENT MUST BE PROVIDED.

COLD WEATHER PLACEMENT SHALL CONFORM TO PRACTICE SET FORTH IN ACI MANUAL OF CONCRETE PRACTICE.

EPOXY: SIMPSON AT-XIP HIGH STRENGTH ACRYLIC ADHESIVE OR CEMENTITIOUS ANCHOR CEMENT - 6000 PSI 3 DAY. PREPARE HOLES PER ADHESIVE MANUF. RECOMMENDATIONS

**STRUCTURAL STEEL**

HOLLOW STRUCTURAL SECTIONS (HSS): ASTM A500 GRADE B F, + 46 KSI

BOLTS: ASTM A307 FOR STEEL TO WOOD, ASTM A325 FOR STEEL TO STEEL

WELD MATERIAL: E70XX

ALL WELDERS SHALL HAVE EVIDENCE OF HAVING PASSED THE AWS STANDARD QUALIFICATION TEST.

ALL EXPANSION ANCHORS TO BE Kwik Bolt 3, AS MANUFACTURED BY HILLI, OR STRONGBOLT 2 AS MANUFACTURED BY SIMPSON OR EQUIVALENT TO BE REVIEWED AND APPROVED BY GEBAU PRIOR TO INSTALLATION.

MASTIC COAT ALL STEEL BELOW GRADE.

ALL STRUCTURAL STEEL BEAMS SHALL BEAR MINIMUM OF 3/4" IN BEAM POCKETS WITH STEEL SHIMS & NON-SHINK GROUT AS REQUIRED OR AS NOTED. ALL BEAMS TO BE Laterally Braced at Bearing.

ALL STRUCTURAL STEEL FABRICATED AND ERECTED PER AISC STEEL CONSTRUCTION MANUAL.

**GENERAL**

THESE PLANS HAVE BEEN ENGINEERED FOR CONSTRUCTION AT ONE SPECIFIC BUILDING SITE. BUILDER ASSUMES ALL RESPONSIBILITY FOR USE OF THESE PLANS AT ANY OTHER BUILDING SITE.

**GEBAU** INC.  
CONSULTING STRUCTURAL ENGINEERS  
1101 BRADWAY, STE. 601  
BOULDER, CO 80502  
(303)444-8545, FAX (303)444-3140  
mail@gebau.com

6298 RESERVE DRIVE  
RESERVE HOA - POOL FACILITY  
BOULDER, COLORADO

DATE: 4/7/22

JOB #: 21193

DRAWN BY: PJG

CHECKED BY: PJG

REVISED:

9/14/22

S2.1

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## Community Planning & Permitting

Courthouse Annex • 2045 13th Street • Boulder, Colorado 80302  
Mailing Address: P.O. Box 471 • Boulder, Colorado 80306  
303-441-3930 • [www.BoulderCounty.gov](http://www.BoulderCounty.gov)

April 19, 2023

TO: Jonathan Tardif, Planner II; Community Planning & Permitting, Development Review

FROM: Ian Brighton, Planner II; Community Planning & Permitting, Access & Engineering

SUBJECT: Docket # VAR-23-0001: Sombrero Ranch HOA  
6298 Reserve Drive

The Development Review Team – Access & Engineering staff has reviewed the above referenced docket and has no concerns with this proposal.

This concludes our comments at this time.



# Community Planning & Permitting

Courthouse Annex • 2045 13th Street • Boulder, Colorado 80302 • Tel: 303.441.3930 • Fax: 303.441.4856  
 Mailing Address: P.O. Box 471 • Boulder, Colorado 80306 • [www.bouldercounty.gov](http://www.bouldercounty.gov)

## Building Safety & Inspection Services Team

### MEMO

TO: Jonathan Tardif, Planner II  
 FROM: Michelle Huebner, Plans Examiner Supervisor  
 DATE: April 10, 2023

RE: Referral Response, VAR-23-0001: Sombrero Ranch HOA. Variance request to reduce the side setback along the western property line from 7' to approximately 1' 6" for the location of a fence line associated with the redevelopment of a community pool area.

Location: 6298 Reserve Drive

Thank you for the referral. We have the following comments for the applicants:

1. **Building Permit.** A building permit, plan review, and inspection approvals are required for the proposed fence.

Please refer to the county's [adopted 2015 editions of the International Codes and code amendments](#), which can be found via the internet under the link:

**2015 Building Code Adoption & Amendments**, at the following URL:  
[Amendments to Boulder County Building Code effective June 6, 2022](#)

2. **Design Wind and Snow Loads.** The design wind and ground snow loads for the property are 155 mph (Vult) and 40 psf, respectively.
3. **Ignition-Resistant Construction and Defensible Space.** Please refer to Section R327 of the Boulder County Building Code for wildfire hazard mitigation requirements, including ignition-resistant construction and defensible space.
4. **Plan Review.** The items listed above are a general summary of some of the county's building code requirements. A much more detailed plan review will be performed at the time of building permit application, when full details are available for review, to assure that all applicable minimum building codes requirements are to be met. Our Building Safety publications can be found at: [Building Publications, Applications and Forms - Boulder County](#)

If the applicants should have questions or need additional information, we'd be happy to work with them toward solutions that meet minimum building code requirements. Please call (720) 564-2640 or contact us via e-mail at [building@bouldercounty.org](mailto:building@bouldercounty.org)



## Parks & Open Space

5201 St. Vrain Road • Longmont, CO 80503  
303-678-6200 • POSinfo@bouldercounty.org  
www.BoulderCountyOpenSpace.org

**TO:** Jonathan Tardif, Community Planning & Permitting Department  
**FROM:** Ron West, Natural Resource Planner  
**DATE:** April 27, 2023  
**SUBJECT:** Docket VAR-23-0001, Sombrero Ranch HOA, 6298 Reserve Drive

Staff has reviewed the submitted materials, and has mixed opinions about the proposal. Sheet A0.11 shows that an “existing 4’ chainlink fence [is] to remain.” However, it is staff’s understanding that this fence has already been removed. A commitment of record should be that it is not replaced, if the proposal is approved.

That said, a new location of a fence would be an “improvement” since it would be closer to the developments and further from the ditch, with its riparian habitat. (The Comprehensive Plan mapping is incomplete here; there *is* riparian habitat on the parcel(s).) Staff’s main concern is to maximize the amount and the “naturalness” of the riparian area. Ditches function in the county as riparian movement corridors for many species of wildlife.

That said, staff doesn’t see how the variance criteria can be met. A shorter lap pool is the simplest answer.

## Tardif, Jonathan

---

**From:** Do Not Reply  
**Sent:** Tuesday, April 18, 2023 12:44 PM  
**To:** Tardif, Jonathan  
**Subject:** VAR-23-0001 - Public Health Water Quality - Environmental Review

The Public Health Water Quality - Environmental Review workflow task for VAR-23-0001 has been updated to **No Comments/No Conflict** and the following comments entered:

*null*

Please see the Accela record for more information.

*email sent by EMSE: PLN\_Referrals\_Entered*



**Right of Way & Permits**

1123 West 3<sup>rd</sup> Avenue  
Denver, Colorado 80223  
Telephone: **303.571.3306**  
Facsimile: 303.571.3284  
Donna.L.George@xcelenergy.com

April 21, 2023

Boulder County Community Planning and Permitting  
PO Box 471  
Boulder, CO 80306

Attn: Jonathan Tardiff

**Re: Sombrero Ranch HOA, Case # VAR-23-0001**

Public Service Company of Colorado's (PSCo) Right of Way & Permits Referral Desk has reviewed the documentation for **Sombrero Ranch HOA** and has **no apparent conflict** with the variance request.

Please be aware PSCo owns and operates existing underground electric distribution facilities along Reserve Drive and within the subject property, and natural gas distribution along Reserve Drive. The property owner/developer/contractor must complete the application process for any new natural gas or electric service, or modification to existing facilities via [xcelenergy.com/InstallAndConnect](http://xcelenergy.com/InstallAndConnect). It is then the responsibility of the developer to contact the Designer assigned to the project for approval of design details.

If additional easements need to be acquired by separate PSCo document, a Right-of-Way Agent will need to be contacted.

As a safety precaution, PSCo would like to remind the developer to call the Utility Notification Center by dialing 811 for utility locates prior to construction.

Donna George  
Right of Way and Permits  
Public Service Company of Colorado dba Xcel Energy  
Office: 303-571-3306 – Email: Donna.L.George@xcelenergy.com



## Tardif, Jonathan

---

**From:** Reserve Secretary <secretaryreservehoa@gmail.com>  
**Sent:** Monday, April 24, 2023 6:11 PM  
**To:** LU Land Use Planner  
**Cc:** Reserve Secretary  
**Subject:** [EXTERNAL] Support for Variance: VAR-23-0001

To: Jonathan Tardif  
Community Planning & Permitting Department  
Boulder County

Hello Jonathan,

We are residents of the Reserve HOA. (Sombrero Ranch HOA). Our home is close to the community pool renovation project - within a few hundred yards - a one minute walk from our house.

We are writing in support of the variance described in docket VAR-23-0001. The placement of the fence will align with the existing fence behind the tennis court and provide more space for the pool area. The old fence that was removed was in the location requested by the variance for the last 30+ years with no impacts to neighbors. Also, the property and the other side of the property line is owned by the HOA.

We urge you to approve this variance.

Thank you,

Rebecca and Hunter Albright  
1311 Songbird Ct.  
Boulder, Co 80303

## Tardif, Jonathan

---

**From:** daddyhosk@comcast.net  
**Sent:** Monday, April 24, 2023 5:55 PM  
**To:** LU Land Use Planner  
**Cc:** 'amy hoskins'  
**Subject:** [EXTERNAL] Docket # VAR-23-0001

Attention: Mr. Jonathan Tardif  
Boulder County Community Planning and Permitting Department

We have lived at 6320 Reserve Drive in Boulder for over 20 years. We are members of the Reserve Homeowners and Recreational Association (the "RHRA"). And our home is directly across the street from the RHRA's recreation facilities where a location variance has been requested (VAR-23-0001) associated with a project to renovate those recreation facilities. The variance is important for our neighborhood's recreational facilities, and it will have no impact on neighbors. We therefore support the variance request. Please approve it.

Sincerely

Dan and Amy Hoskins  
m 303-807-2865

## Tardif, Jonathan

---

**From:** Elena Kurbatova <lena.kurbatova@gmail.com>  
**Sent:** Monday, April 24, 2023 10:10 PM  
**To:** LU Land Use Planner  
**Subject:** [EXTERNAL] Support for Variance: VAR-23-0001

Hello Jonathan,

I am a resident of the Reserve HOA. (Sombrero Ranch HOA). My home is adjacent to the community pool renovation project. I am writing in support of the variance described in docket VAR-23-0001. The placement of the fence will align with the existing fence behind the tennis court and provide more space for the pool area. The old fence that was removed, was in the location requested by the variance for the last 30+ years with no impacts to neighbors. Also, the property and the other side of the property line is also owned by the HOA.

I urge you to approve this variance,

Thanks,  
Elena Kurbatova and  
Stanislav Kurbatov  
6301 Swallow Ln, Boulder, CO

**Tardif, Jonathan**

---

**From:** Bethann Myers <bethann\_myers@yahoo.com>  
**Sent:** Monday, April 24, 2023 5:06 PM  
**To:** LU Land Use Planner  
**Subject:** [EXTERNAL] Docket #VAR-23-0001

I am a homeowner and resident at 6238 Songbird Circle which is located directly behind our neighborhood recreation site. I am writing in support of docket #VAR-23-0001 requesting a variance for the location of the new fence on the west side of our neighborhood recreation site.

Sincerely,  
Bethann Clow Myers

## Tardif, Jonathan

---

**From:** Chuck Roberts <charles.j.roberts@gmail.com>  
**Sent:** Monday, April 24, 2023 6:34 PM  
**To:** LU Land Use Planner  
**Subject:** [EXTERNAL] Support for Variance: VAR-23-0001

To:  
Jonathan Tardif  
Community planning & permitting department  
Boulder County

Hello Jonathan, I am a resident of the Reserve HOA. (Sombrero Ranch HOA).

My home is close to the community pool renovation project. I am writing in support of the variance described in docket VAR-23-0001. The placement of the new fence will align with the existing fence behind the tennis court providing continuity of the existing fence line. The old fence, that was removed, was actually further west than what is being requested with the variance. It had been in place for the last 30+ years with no impacts to neighbors. Also, the property on both sides of the property line is owned by the HOA.

I urge you to approve this variance,

Thank you,  
Charles and Leann Roberts  
6326 Swallow Lane, Boulder CO 80303

--  
Chuck Roberts  
Cell Phone: 303-579-9456

## Tardif, Jonathan

---

**From:** Leigh Sneddon <leigh\_sneddon@yahoo.com>  
**Sent:** Monday, April 24, 2023 6:30 PM  
**To:** LU Land Use Planner  
**Subject:** [EXTERNAL] To: Johnathan Tardiff. Re Sombrero Ranch, VAR-23-0001

Jonathan Tardif  
Community planning & permitting department  
Boulder County

Hello Jonathan, I am a resident of the Reserve HOA. (Sombrero Ranch HOA). My home is adjacent to the community pool renovation project. I am writing in support of the variance described in docket VAR-23-0001. The placement of the new fence will align with the existing fence behind the tennis court and provide more space for the pool area. The location of the new fence with the variance approved will not change how the pool impacts my property..

I urge you to approve this variance,

Thank you,

Leigh Sneddon

## Tardif, Jonathan

---

**From:** Cindy Young <cindypyoung@yahoo.com>  
**Sent:** Monday, April 24, 2023 7:49 PM  
**To:** LU Land Use Planner  
**Subject:** [EXTERNAL] Support for Variance: VAR-23-0001

Jonathan Tardif  
Community planning & permitting department  
Boulder County

Hello Jonathan, I am a resident of the Reserve HOA. (Sombrero Ranch HOA). My home is close to the community pool renovation project. I am writing in support of the variance described in docket VAR-23-0001. The placement of the fence will align with the existing fence behind the tennis court and provide more space for the pool area. The old fence that was removed, was in the location requested by the variance for the last 30+ years with no impacts to neighbors. Also, the property and the other side of the property line is also owned by the HOA.

I urge you to approve this variance,

Thank you,  
Cindy & Steve Young  
1180 Pintail Circle  
303-817-9613

Sent from my ipad