






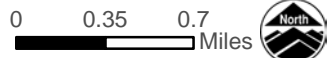
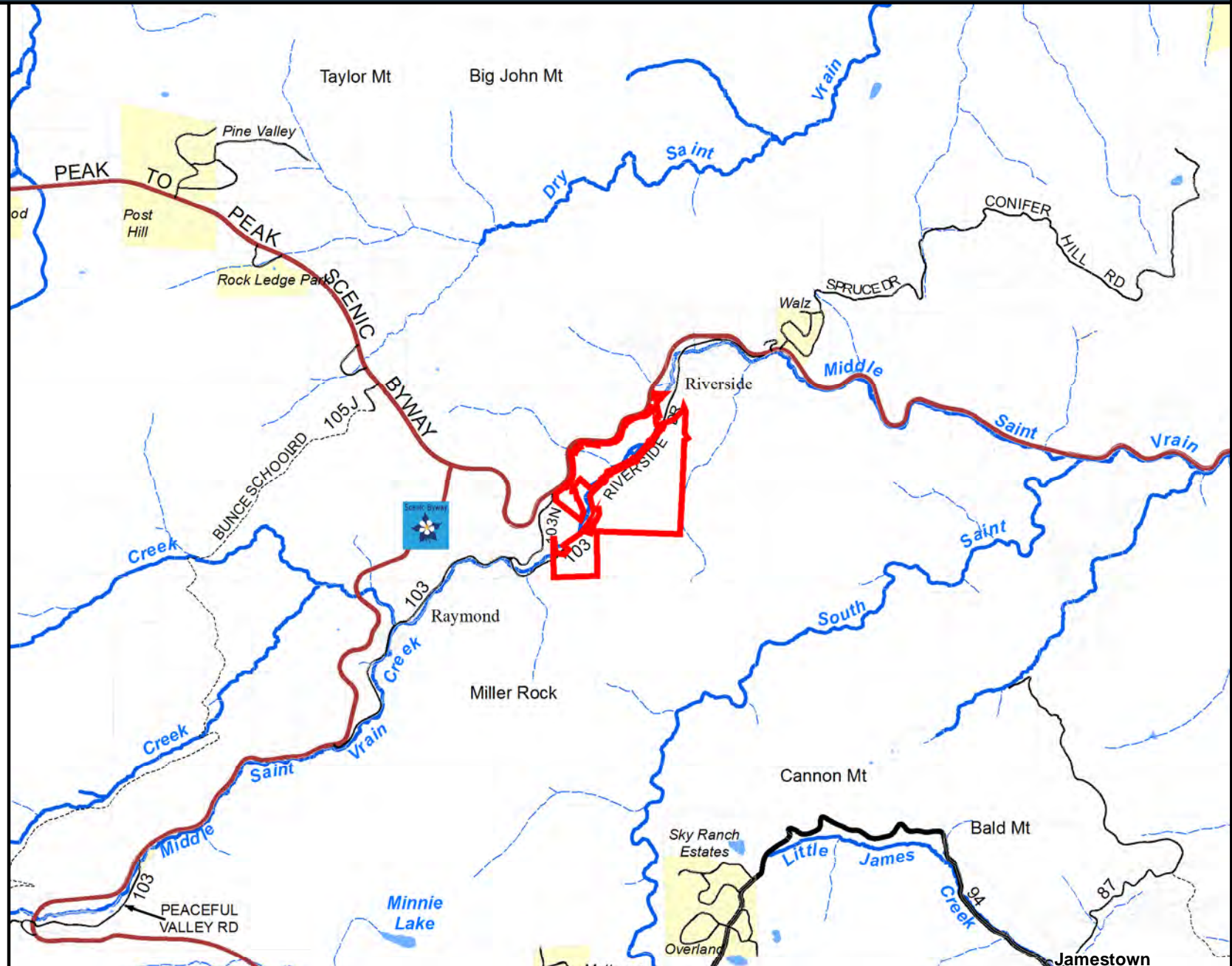
Community Planning & Permitting

2045 13th Street, Boulder, CO 80302 303-441-3930 www.bouldercounty.org

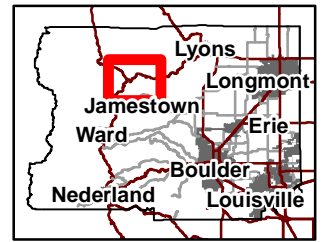
Vicinity

1256 RIVERSIDE DR

-  Subject Parcel
-  Municipalities
- Subdivisions**
-  Subdivisions



Area of Detail Date: 8/7/2020



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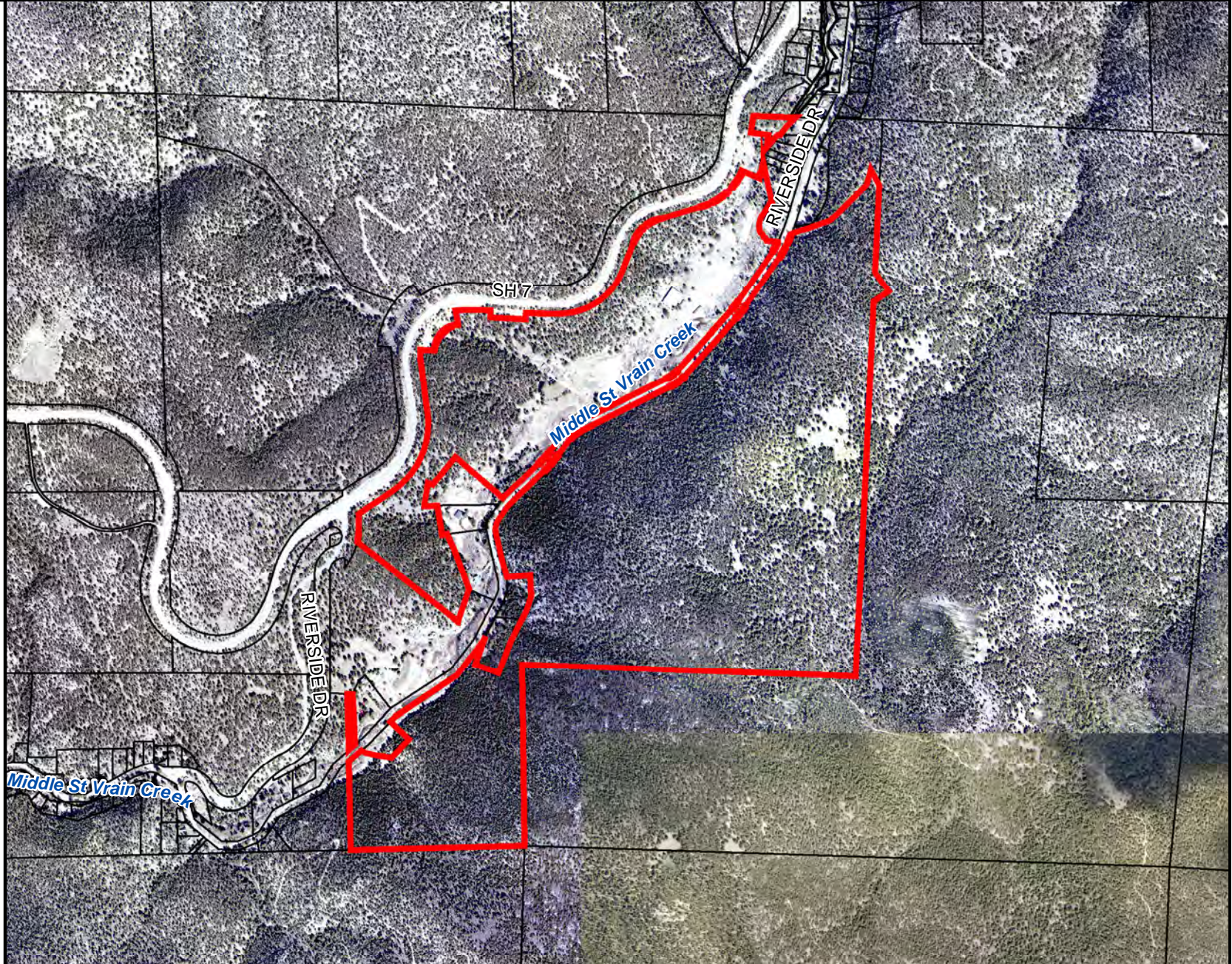
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Aerial

1256 RIVERSIDE DR

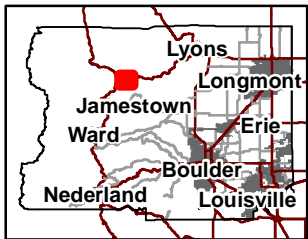
 Subject Parcel



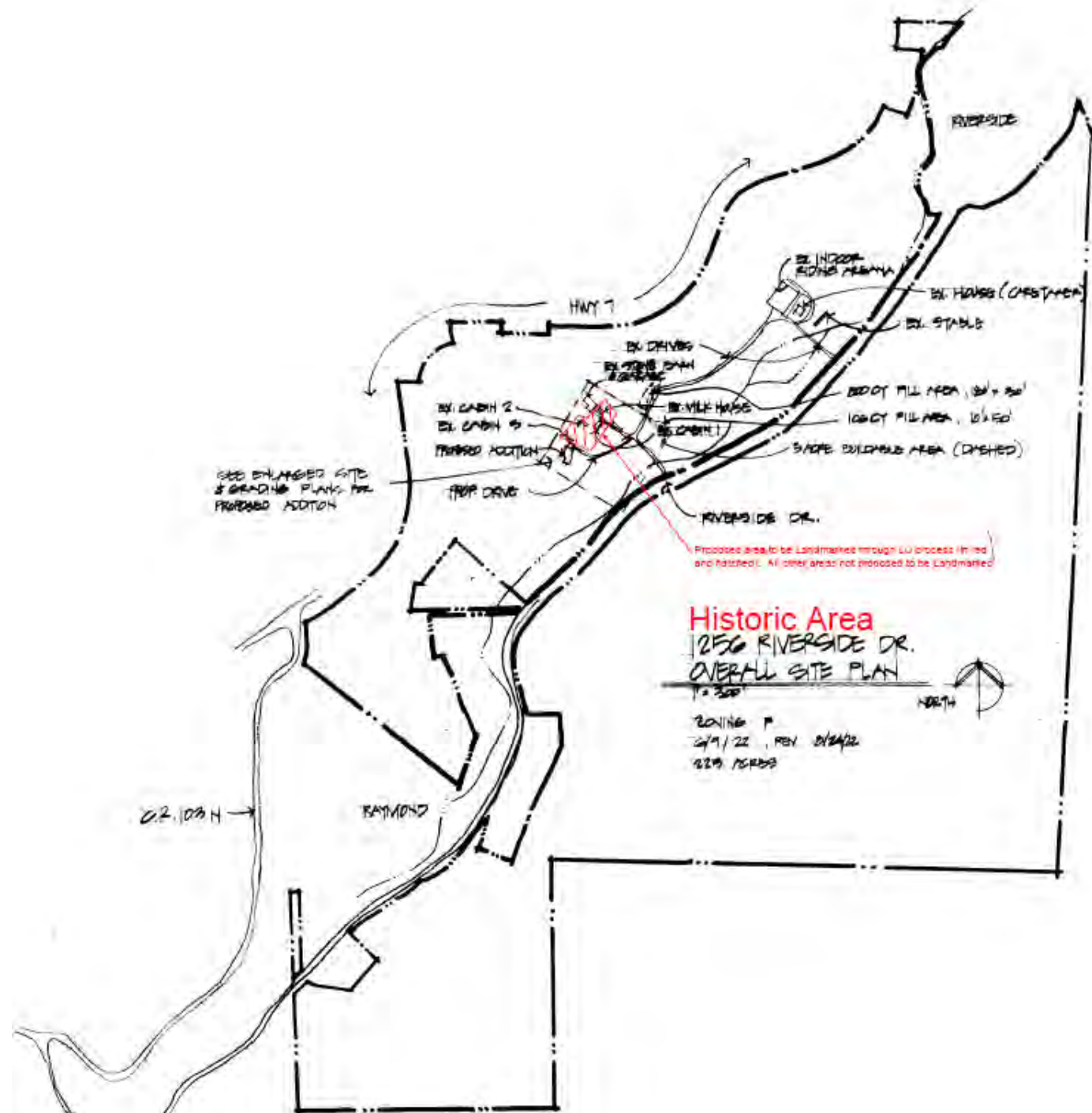
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Area of Detail Date: 8/7/2020



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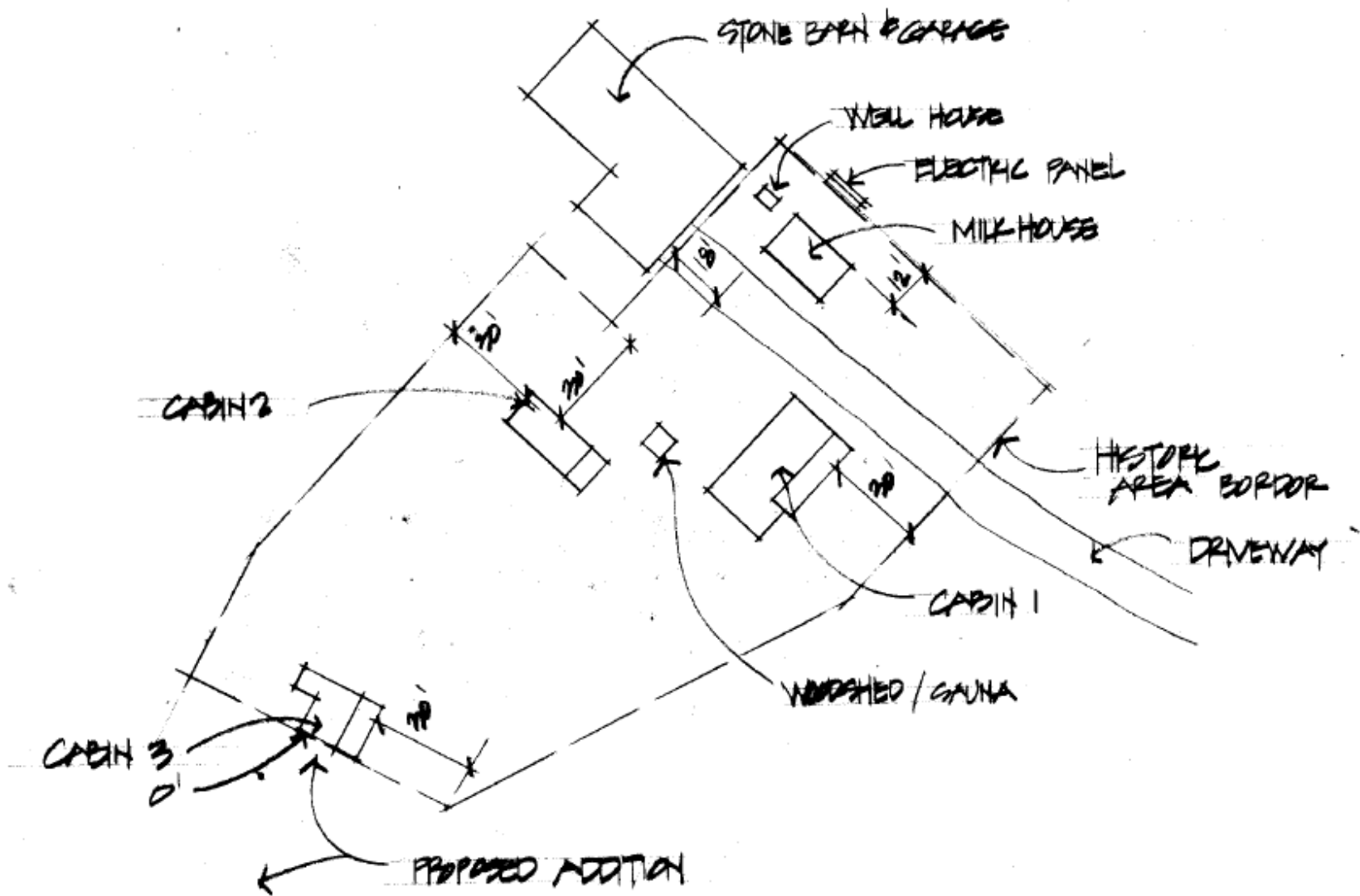
SEE ENLARGED SITE & GRADING PLANS FOR PROPOSED ADDITION

Historic Area
 1256 RIVERSIDE DR.
 OVERALL SITE PLAN
 1" = 30'

ZONING P
 2/9/22, REV. 2/24/22
 229 NCRSS

SEE ILC FOR FULL LEGAL DESCRIPTION

PROPOSAL IS FOR CABIN 1 & CABIN 2 TO BE HISTORIC ADU'S & CABIN 3 AS WELL IF IT DOES NOT INTERFERE W/ THE NEW PROPOSED ADDITION.



ENLARGED HISTORIC AREA PLAN
 11.40'
 1256 RIVERSIDE DR.

Inserted by preservation staff.

Approximate area of site to be landmarked

28,706 sq ft 0.66 ac
Area





Boulder County Land Use Department

Courthouse Annex Building
2045 13th Street • PO Box 471
Boulder, Colorado 80302

Phone: 303-441-3930 • Fax: 303-441-4856
Email: planner@bouldercounty.org •
<http://www.bouldercounty.org/lu/>

Office Hours: Monday — Friday 8:00 AM to 4:30 PM

Intake Stamp

Historic Landmark Nomination Form

Name of Property

Historic Name	Middle Fork Ranch
Other Names	
Historical Narrative	See attached historic history

Location of Property

Address(s)	1256 Riverside Dr				
City	Lyons	State	CO	Zip Code	80540

Classification

Property Ownership:

Public Private Other

Category of Property:

Structure Site ^{partial} District

Number of Resources Within the Property (sites and districts only):

	Contributing Resources		Non-contributing Resources
--	------------------------	--	----------------------------

Narrative Describing Classification of Resources

the area of the property encompassing Cabin 1, 2 and 3, and the Studio/milkhouse

Function or Use

Historic Functions	see attached report - Historic Survey_1256 Riverside (Middle Fork Ranch)
Current Functions:	Cabin 1 - residence, Cabin 2 - guest quarters, Cabin 3 - guest quarters, Studio/milkhouse - AG storage.

Resource Description

Narrative Describing Resource see attached report

Statement of Significance

Boulder County Criteria for Designation (check all that apply):

- The character, interest, or value of the proposed landmark as part of the development, heritage, or cultural characteristics of the county;
- Proposed landmark as a location of a significant local, county, state, or national event;
- The identification of the proposed landmark with a person or persons significantly contributing to the local, county, state, or national history;
- The proposed landmark as an embodiment of the distinguishing characteristics of an architectural style valuable for the study of a period, type, method of construction, or the use of indigenous materials;
- The proposed landmark as identification of the work of an architect, landscape architect, or master builder whose work has influenced development in the county, state, or nation;
- The proposed landmark's archaeological significance;
- The proposed landmark as an example of either architectural or structural innovation; and
- The relationship of the proposed landmark to other distinctive structures, districts, or sites which would also be determined to be of historic significance.

Areas of Significance see attached report
Period of Significance see attached report
Significant Dates see attached report
Significant Persons see attached report

Bibliographical References

see attached report


Geographical Data

Legal Description of Property	see attached legal
Boundary Description	
Boundary Justification	

Property Owner(s) Information

Name	Ilse Gayl and James Logan		
City	Lyons	Email Address	ilse.gayl@gmail.com
State	CO	Zip Code	80510
		Phone Number	303-618-5516
Signature			

Preparer of Form Information

Name	Michael Daley, Architect		
City	Allenspark	Email Address	mikedaley34251@outlook.com
State	CO	Zip Code	80510
		Phone Number	303-710-1874
Signature			

Photos, Maps, and Site Plan

see attached report and "historic site plan"

For Office Use Only

Docket Number	Parcel Number
Assessor ID	Application Date

History of 1265 Riverside Dr, Middle Fork Ranch

In 1898 Volney Horace “Dick” Rowley homesteaded the property. Born about 1862 in Illinois, he came to Colorado when he was about 10-years-old with his parents and siblings. His father, Albert Rowley, homesteaded 160 acres to the north of Riverside, a couple miles northwest of the Middle Fork ranch. As a 13-year-old, Volney worked by driving a freight wagon from South Park to Leadville, and then later secured employment at the Smuggler mine that yielded \$3,000,000 worth of ore. He married Emma Emmanuel in 1884. Volney and Emma had six children: William H., Volney R., Theodore, Arthur, Viola, and Grace. As a skilled carpenter, Volney helped construct the Bunce School (where his children attended) and the Copeland Lake School in the 1890s. In addition to the schools, Volney also constructed the log structures on his property. In 1894, the *Boulder Daily Camera* reports V.H. Rowley was building a “very commodious and pleasant home on the Middle Fork...”. The article probably refers to the largest log structure on the property, Cabin 1. After Volney and Emma sold the property in 1912, the Rowleys removed to Lyons where Volney worked as a road supervisor on the road between Lyons and Allenspark. Volney died in 1943, and Emma in 1946.

The Middle Fork ranch is probably most well-known for being the location of many dances held for locals. The dances began during the Rowley’s ownership and gained in popularity into the 1920s. The earliest mention of a dance at the ranch was in 1899 in the *Longmont Ledger*: “Say, we had another hoe down last Friday night, at Dick Rowley’s, and we howed her down from 9 o’clock until sunrise.”

Albert Birdsill (or Burchall) briefly owned the ranch from 1912 to 1917. Albert was born in about 1861 in Illinois. He married Laura Deeter in Pella, Colorado in 1883. Prior to Riverside, the Birdsill family was living on a farm in Altona in Boulder County.

In 1917, the ranch was sold to the brothers Theodore, Thomas, and Edward McCall. The brothers were born in Boulder County in the 1870s and 1880s to Thomas and Eliza McCall. The three engaged in raising livestock on the Middle Fork. The brother’s maintained a residence in the town of Lyons, and seemed to split their time living between the ranch and in Lyons. Thomas died in 1923, Theodore died in 1932, Edward in 1956. The three never married.

In 1927, the ranch was sold to B.P. Bailey of Texas. Bailey worked as an insurance salesman in Texas and used the Middle Fork ranch as a retreat. He also rented the property

to dairy farmer Henry Tallman. At the time of Bailey's purchase, the newspaper reported that Bailey expected to make "some extensive improvements there in a short time." In 1927, the stone barn and milk house were constructed, and the garage shortly thereafter. The local dances continued throughout the 1920s in the new stone barn at the Middle Fork Ranch under Tallman's supervision, almost on a weekly basis. Reminders were frequently in the newspaper: "Don't forget the dance at Middle Fork ranch Thursday evening. The usual hi-class entertainment assured. Music by Mrs. Mac's Cotillion Players" (*Daily Times* 1927 Aug 17). While many of the barn dances were simply held for local entertainment, some were hosted by local groups, such as the American Legion and the Odd Fellows. In 1927, one of the dances was held as a benefit for a Lyons resident recently in an automobile accident.

B.P. Bailey died in 1941. His wife, Elizabeth Bailey, maintained tourist cabins at the Middle Fork Ranch for a few years after his death.

Leslie and Viola Kuhn were the next owners from 1946 to 1960. The family was originally from Logan

County, Kansas where they owned a farm. The Kuhns were responsible for the alpine-themed designs and the porch addition to Cabin 2. The stable and house were probably built during their ownership, c. 1950s.

In 1960, the property was purchased by Edward Safford, whose family was well-known in Boulder.

Edward and his wife primarily lived in Boulder at 445 Christmas Tree Avenue and used the Middle Fork

Ranch as a retreat. Edward Safford was born in Wichita, Kansas in 1916. He attended the University of

Kansas and married Elizabeth "Betty" Stephenson in 1939, and soon began working as an engineer for Beech Aircraft Corp in Boulder. Betty was an accomplished golf player, regularly competing in local and state-level competitions throughout the 1950s and 1960s.

In 1978 the Saffords sold the ranch to five Denver and Boulder residents: Hope Firkins, Charles W. Cleworth, William D. Miller, Donald E. Barnes and Arthur M. Krill. At the time of the purchase, the ranch was 426 acres and consisted of "three dwellings, a garage-workshop and a horse barn."

In 1990, the ranch was sold to Stephen and Vicki Cherner. During the Cherner's ownership, the second floor addition and dormers were added to Cabin 1, and the indoor riding arena was constructed. The milk house was also converted into a studio.

The property was recently sold to new owners in 2018.

Resource Number: 5BL.385
Temporary Resource Number:

OAHP1403
Rev. 9/98

COLORADO CULTURAL RESOURCE SURVEY

Architectural Inventory Form

Official eligibility determination
(OAHP use only)

Date _____ Initials _____
____ Determined Eligible- NR
____ Determined Not Eligible- NR
____ Determined Eligible- SR
____ Determined Not Eligible- SR
____ Need Data
____ Contributes to eligible NR District
____ Noncontributing to eligible NR District

I. IDENTIFICATION

1. Resource number: **5BL.385**
2. Temporary resource number:
3. County: **Boulder**
4. City: **Unincorporated**
5. Historic building name: **Middle Fork Ranch**
6. Current building name: **Unknown**
7. Building address: **1256 Riverside Drive, Unincorporated Boulder County, CO 80540**
8. Owner name and address:
Stephen P & Vicki M Cherner
1482 East Valley Road, Suite 487
Santa Barbara, CA 93108

II. GEOGRAPHIC INFORMATION

9. P.M. 6th Township 2N Range 72W
 ¼ of NW ¼ and N ½ of SW ¼ of section 3
10. UTM reference
Zone 13; 462231.24 mE 4446199.31 mN
11. USGS quad name: Raymond
Year: 2016 Map scale: 7.5' X 15' Attach photo copy of appropriate map section.
12. Lot(s): n/a Block: n/a
Addition: n/a Year of Addition: n/a
13. Boundary Description and Justification:
The site property occupies about 226 acres and is comprised of the legal property boundary consisting of four houses, two sheds, a milk house, a barn, a stable, and an indoor arena. Its legal description:

NW ¼ LESS PTS SOLD & N ½ SW ¼ 3-2N-72 & POR SE ¼ NE ¼ & E ½ SE 1/3 4-2N-72 LESS PTS SOLD – CONSERVATION EASEMENT PER REC #S 2498117 & 2741978 – TOTAL 229 ACS M/L

III. Architectural Description

14. Building plan (footprint, shape): **L-shaped (Cabin 1); rectangular (Cabin 2 and 3)**
15. Dimensions in feet: Length x Width

Resource Number: 5BL.385

Temporary Resource Number:

16. Number of stories: **2 (Cabin 1 and 2); 1 (Cabin 3, studio); 1 ½ (House)**

17. Primary external wall material(s): **log, stone**

18. Roof configuration: **Side gable (Cabins 1 and 3, stable); Front gable (Cabin 2, Studio and House)**

19. Primary external roof material: **wood shake, asphalt**

20. Special features: **hand-hewn log siding**

21. General architectural description:

Cabin 1: this building is a traditional pioneer log cabin with a gabled-L shape. It faces southwest and sits on a stone and log foundation. The entire first floor of the cabin has hand-hewn log siding joined at the ends by a rabbeted tenon and the second floor has board and batten siding. On the southeast (façade) there is the main entrance and four wood-frame sash windows on the first floor. The two windows nearest the entrance are 3-over-1 light windows, the two other windows are 6-over-6 light. There is a large front porch supported by four wooden columns. On the second floor of the southeast elevation there is a large shed-dormer with eight 2-over-2 light windows. A 4-over-4 light sash window is situated on the gable front. On the southwest elevation is a double-door entrance framed on either side with 2-over-2 light windows. The second floor on this elevation features board and batten siding and a shed dormer with four 2-over-2 light windows. On the northwest elevation (rear) there are three windows on the first floor, one is a 2-over-2 light window and two 3-over-1 light sash windows on the older portion of the cabin. On the second story is a 4-over-4 light sash window centered on the gable front and three 2-over-2 light windows on the shed dormer. On the northeast elevation is a 4-over-4 light sash window centered on the gable. A stone chimney is situated near the northeast corner of the roof. The roof has composition shingles.

Cabin 2: This cabin is located to the west of Cabin 1. A two-story gable front structure with wood shake roofing, the bottom half walls are composed of stone and top half is roughly hewn log siding. The second floor addition at the rear has board and batten siding. The cabin faces southeast and is built on a hill that slopes downwards to the southeast. The southeast façade consists of an entrance centered on the bottom story, with an additional entrance on the second story that provides access to a second story porch with a chalet-style balustrade. On the southwest elevation there is a small window on the first floor and two small square windows on the second story. All three feature diamond panes. Since the cabin is constructed on a slope, the northwest elevation (rear) is mostly obscured. On the northeast elevation are two more of the same diamond-paned windows, one of the bottom story and another on the second story. An additional entrance is located on the second floor of the northwest elevation.

Cabin 3: This cabin sits to the west of Cabin 2. It is a side gable structure with unhewn log siding with butt-and-pass corner notching. The cabin has wood shake roofing and sits on a stone foundation. The main entrance is centered on the southwest elevation. Double-casement windows are situated on either side of the entrance. There is a large front porch with a shed roof spanning the length of the

elevation supported by wood posts. On the southwest elevation is a small 2-over-2 light wood frame window. On the northwest elevation (rear) is a 6-over-6 light sash window. Two skylights are located above the small rear addition.

Stone Barn and Garage: This is a one-story structure (the roof is partially missing) with stone walls. The building faces southeast. There are three entrances on the facade, two of these are hung with a swinging wood door, and the third entrance (to the garage) is hung with two swinging wood doors. There are two horizontal sliding windows. Above the masonry wall is a board-and-batten wall. On the northeast elevation are three sliding windows, an entrance with a wood door and a wide entrance with a sliding door. On the northwest elevation (rear) there is a gable roof covered in asphalt roll roofing and two sliding windows. The southwest elevation was partially obscured by vegetation, but at least two entrances and three sliding windows were visible.

Studio (milk house): In front of the stone barn is a studio, built partially below grade. The structure has masonry walls and board and batten siding on the gable fronts and composition shingle roofing. On the southwest elevation is the main entrance along with a picture window. On the gable front southeast side, there is a small window and a single hung window with 6-over-6 lights on the gable front above. On the northeast side are two picture windows and two skylights, and on the northwest elevation is an additional entrance with a small picture window to the left of the door. As with the opposite side, there is a single hung window with 6-over-6 lights centered on the gable front northeast elevation.

House: Sitting just to the south of the indoor riding arena is a 1 ½ story gable front house with board and batten siding, a pier foundation and asphalt single roofing. The southwest elevation (façade) features a large covered porch supported by wood posts. There is a swinging door, a sliding glass door, and three single hung windows. On the northwest elevation is one single hung window. On the northeast elevation (rear) are two single hung windows, one with shutters carved with “M F”, and a pair of casement windows. On the southeast elevation is a single hung window and another pair of casement windows.

Stable: The stable is a rectangular frame structure with wood siding, a gable roof, and wood shake roofing. The southwest elevation features an open-ended gable front. The southeast elevation features six stalls enclosed with sliding paddock doors. The northeast and northwest elevations have no window or door openings.

Indoor Riding Arena: The arena is located to the northwest of the cabins and barn. At over 10,000 sq. ft. in size, it features metal siding and metal roofing. A series of Dutch doors and stable windows are

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Temporary Resource Number:

located on the southwest elevation, and large openings and additional Dutch doors are located on the northeast and southwest elevations (the northwest elevation was partially obscured).

22. Architectural style/building type: **Pioneer log, Rustic**

23. Landscaping or special setting features:

The property is accessed by a packed-earth driveway off Riverside Road that crosses the Middle St. Vrain River. A mixture of trees surrounds the all buildings. The Middle St. Vrain Creek runs through the property parallel to the west of Riverside Road.

24. Associated buildings, features, or objects:

There are two small sheds on the property, one located behind Cabin 1 and the other between the barn and milk house.

IV. ARCHITECTURAL HISTORY

25. Date of Construction: Estimate: **1894 (Cabin 1); c. 1890 (Cabin 2); c. 1900 (Cabin 3); 1924 (Barn/garage, studio); c.1950 (Stable, House); 1990 (arena).**

Source of information: **1980 Architectural Inventory Survey by Manuel Weiss, Boulder *Daily Camera* articles, Tax Assessor information.**

26. Architect: none

Source of information:

27. Builder/Contractor: **Volney Horace Rowley (Cabins 1-3)**

Source of information:

28. Original owner: **Volney Horace Rowley**

Source of information: **Boulder County Deed Records**

29. Construction history (include description and dates of major additions, alterations, or demolitions):

The brick chimney on Cabin 1 was added prior to 1949. Originally, this cabin had a small metal flume exiting the roof near the southwest elevation of the cabin. In 1990, the second story at the southwest side of the cabin was added along with a large shed dormer on both the southeast and northwest sides of the cabin. A second entrance located on the southeast elevation (to the left of the main entrance) was converted to a window, possibly at the same time (See the c. 1900-1920 photograph of Cabin 1 on page 29).

This is an error and refers to the wrong building - JF

The bottom story of the Cabin 2 was likely constructed first, and the hewn-log second story was a later addition. The 1949 Assessor photo shows a now non-extant masonry structure extending (and possibly attached) to the southwest side of the first floor of the cabin. The masonry this structure is more roughly laid than the masonry of the first floor of the cabin. Although it looks fairly decrepit by the time of the 1949 photo (roof is missing, window is boarded up) this structure, along with the first floor of the cabin, may have served as an early dwelling for the Rowley family, pre-1894. A large boulder serves as

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the majority of the northwest wall of the first floor of the cabin, and as indigenous stone could've been gathered quite easily in the area, having to build only 3-walls of a structure would've been a quick way for V.H. Rowley to create or expand living space for his growing family. The second floor façade of the cabin has gone through significant changes, although it seems to have been returned to a somewhat original state. **In the 1940s, the second floor porch was constructed and the second floor façade was altered to include a sliding glass door and possibly vertical plank siding. A staircase extended off the southwest side of the porch.** In the 1950s or 1960s, a rear addition was added to Cabin 2. Windows were probably replaced near the same time (See the 1949 photo of Cabin 2 on page 30).

This is an error and refers to the wrong building - JF

The stone barn, garage, and studio (a milk house originally) were constructed in 1927 according to a newspaper article. The barn originally had wood frame top half with wood siding and a Dutch Gambrel roof. The garage, which was added to the barn shortly after it was constructed, had a flat roof. Sometime in the 1950s a large amount of snow caved in the roof of the barn. In the 1950s or 1960s, the roof was partially rebuilt in the gable style. A corral used to be located to the north of the barn along with two other structures that no longer exist (See the 1949 photo of the barn on page 29).

The horse stable and tack room was built c. 1950s. The southwest end was originally enclosed, and a small addition was built on to this corner prior to the 1998 Assessor card. Today, the addition is gone and the southwest elevation is open.

According to the 1998 Assessor card, the indoor riding arena was built in 1996.

30. Original location X Moved ____ Date of move(s):

V. HISTORICAL ASSOCIATIONS

- 31. Original use(s): **Domestic, Agriculture**
- 32. Intermediate use(s): **Domestic, Agriculture**
- 33. Current use(s): **Domestic, vacant**
- 34. Site type(s): **Residence**
- 35. Historical background:

In 1898 Volney Horace "Dick" Rowley homesteaded the property. Born about 1862 in Illinois, he came to Colorado when he was about 10-years-old with his parents and siblings. His father, Albert Rowley, homesteaded 160 acres to the north of Riverside, a couple miles northwest of the Middle Fork ranch. As a 13-year-old, Volney worked by driving a freight wagon from South Park to Leadville, and then later secured employment at the Smuggler mine that yielded \$3,000,000 worth of ore. He married Emma Emmanuel in 1884. Volney and Emma had six children: William H., Volney R., Theodore, Arthur, Viola, and Grace. As a skilled carpenter, Volney helped construct the Bunce School (where his children attended) and the Copeland Lake School in the 1890s. In addition to the schools, Volney also

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The Middle Fork ranch is probably most well-known for being the location of many dances held for locals. The dances began during the Rowley’s ownership and gained in popularity into the 1920s. The earliest mention of a dance at the ranch was in 1899 in the *Longmont Ledger*: “Say, we had another hoe down last Friday night, at Dick Rowley’s, and we howed her down from 9 o’clock until sunrise.”

Albert Birdsill (or Burchall) briefly owned the ranch from 1912 to 1917. Albert was born in about 1861 in Illinois. He married Laura Deeter in Pella, Colorado in 1883. Prior to Riverside, the Birdsill family was living on a farm in Altona in Boulder County.

In 1917, the ranch was sold to the brothers Theodore, Thomas, and Edward McCall. The brothers were born in Boulder County in the 1870s and 1880s to Thomas and Eliza McCall. The three engaged in raising livestock on the Middle Fork. The brother’s maintained a residence in the town of Lyons, and seemed to split their time living between the ranch and in Lyons. Thomas died in 1923, Theodore died in 1932, Edward in 1956. The three never married.

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and the porch addition to Cabin 2. The stable and house were probably built during their ownership, c. 1950s.

In 1960, the property was purchased by Edward Safford, whose family was well-known in Boulder. Edward and his wife primarily lived in Boulder at 445 Christmas Tree Avenue and used the Middle Fork Ranch as a retreat. Edward Safford was born in Wichita, Kansas in 1916. He attended the University of Kansas and married Elizabeth "Betty" Stephenson in 1939, and soon began working as an engineer for Beech Aircraft Corp in Boulder. Betty was an accomplished golf player, regularly competing in local and state-level competitions throughout the 1950s and 1960s.

In 1978 the Saffords sold the ranch to five Denver and Boulder residents: Hope Firkins, Charles W. Cleworth, William D. Miller, Donald E. Barnes and Arthur M. Krill. At the time of the purchase, the ranch was 426 acres and consisted of "three dwellings, a garage-workshop and a horse barn."

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The property was recently sold to new owners in 2018.

36. Sources of information:

"Allens Park District," (1921 Sep 23) *Longmont Ledger*, www.coloradohistoricnewspapers.com

"Allenspark," (1927 Jul 22) *Daily Times* (Longmont), www.coloradohistoricnewspapers.com

Ancestry.com searches.

"Benefit Dance Will Be Held For Lyons Boy," (1927 Jun 24) *Daily Times* (Longmont),

www.coloradohistoricnewspapers.com

Berg, Denise V. *Piecing a Town Together: Families of Lyons, Colorado*. Kumpfenberg Benture LLC., 2010.

"Betty Safford Wins Gold Title At Country Club," (1960 Aug 1) *Boulder Daily Camera* clippings. Boulder Carnegie Library.

Boulder County Assessor Records (online).

Boulder County Clerk & Recorder Records (online). Deeds 90095284, 90126040, 90238260, 90238259, 90441074, 90647542, 00286724, 01031020.

Brigham, Lillian Rice. *Colorado Travelore: A Pocket Guide*. Denver: Peerless Printing Co. (1938).

"DIED – McCall," (1923 Jun 1) *Longmont Ledger*, www.coloradohistoricnewspapers.com

Dunning, Harold Marion. *Over Hill and Vale: In the Evening Shadows of Colorado's Longs Peak*, Vol I. Boulder: Johnson Publishing Company (1956), pg. 565-568

Dunning, Harold Marion. *Over Hill and Vale: In the Evening Shadows of Colorado's Longs Peak*, Vol II. Boulder: Johnson Publishing Company (1956), pg. 249

"Ed McCall Found Dead In Home At Lyons, Wednesday," (1956 Mar 22) *Boulder Daily Camera* clippings. Boulder Carnegie Library.

"Long's Peak," (1899 Jul 6) *Longmont Ledger*, www.coloradohistoricnewspapers.com

Resource Number: 5BL.385

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“Lyons Pioneer Dies Friday,” (1925 Oct 9), *Daily Times* (Longmont), www.coloradohistoricnewspapers.com

“Lyons News,” (1926 Nov 5) *Daily Times* (Longmont), www.coloradohistoricnewspapers.com

“Lyons News,” (1926 Oct 7) *Daily Times* (Longmont), www.coloradohistoricnewspapers.com

“Lyons News,” (1926 Nov 26) *Daily Times* (Longmont), www.coloradohistoricnewspapers.com

“Locals,” (1927 Jan 7) *Daily Times* (Longmont), www.coloradohistoricnewspapers.com

“Middle Fork Ranch Sold,” (1978 Jul 9) *Boulder Daily Camera* clippings. Boulder Carnegie Library.

“Mrs. Emma Rowley, Early-Day Resident, Dies In Lyons,” (1946 Sep 10) *Boulder Daily Camera* clippings. Boulder Carnegie Library.

“Neighboring Town News,” (1947 Aug 7) *Louisville Times* vol. 34 no. 6, www.coloradohistoricnewspapers.com

“Safford, Edward Spencer,” *Boulder Daily Camera* clippings. Boulder Carnegie Library.

“Some Rich Producers,” (1894 Jul 5) *Boulder Daily Camera*, www.coloradohistoricnewspapers.com

“Stockgrowers And Feeders convention In Boulder June 24, 25 and 26,” (1948 Jun 18) *Palisade Tribune* www.coloradohistoricnewspapers.com

“Short Illness Closes Colorful Career of Lyons Man,” (1943 Jul 9) *Boulder Daily Camera* clippings. Boulder Carnegie Library.

“Theodore McCall Pioneer Cattle Man Dies At Lyons,” (no date) *Boulder Daily Camera* clippings. Boulder Carnegie Library.

“Volney Rowley,” (1973 Feb 26) *Boulder Daily Camera* clippings. Boulder Carnegie Library.
Weiss, Manuel. Middle Fork Ranch Homestead Building Survey. 1980.

VI. SIGNIFICANCE

37. Local landmark designation: Yes No Date of designation: _____

Designating authority:

38. Applicable National Register Criteria:

A. Associated with events that have made a significant contribution to the broad pattern of our history;

B. Associated with the lives of persons significant in our past;

C. Embodies the distinctive characteristics of a type, period, or method of construction, or represents the work of a master, or that possess high artistic values, or represents a significant and distinguishable entity whose components may lack individual distinction; or

D. Has yielded, or may be likely to yield, information important in history or prehistory.

Qualifies under Criteria Considerations A through G (see Manual)

Does not meet any of the above National Register criteria

Applicable Colorado State Register criteria:

A. Associated with events that have made a significant contribution to history.

B. Connected with persons significant in history.

C. Has distinctive characteristics of a type, period, method of construction, or artisan.

D. Is of geographic importance.

E. Contains the possibility of important discoveries related to prehistory or history.

Does not meet any of the above Colorado State Register criteria.

Resource Number: 5BL.385
Temporary Resource Number:

Applicable Boulder County landmark criteria:

- 1. The character, interest, or value of the proposed landmark as part of the development, heritage, or cultural characteristics of the county;
- 2. The proposed landmark as a location of a significant local, county, state, or national event;
- 3. The identification of the proposed landmark with a person or persons significantly contributing to the local, county, state, or national history;
- 4. The proposed landmark as an embodiment of the distinguishing characteristics of an architectural style valuable for the study of a period, type, method of construction, or the use of indigenous materials;
- 5. The proposed landmark as identification of the work of an architect, landscape architect, or master builder whose work has influence development in the county, state, or nation;
- 6. The proposed landmark's archaeological significance;
- 7. The proposed landmark as an example of either architectural or structural innovation; and
- 8. The relationship of the proposed landmark to other distinctive structures, districts, or sites which would also be determined to be of historic significance.
- Does not meet any of the above Boulder County landmark criteria.

39. Area(s) of significance: **Agriculture, Social History**

40. Period of significance: **c. 1890-1927**

41. Level of significance: National State Local

42. Statement of significance:

The Middle Fork ranch is architecturally significant for having excellent and intact examples of three pioneer log cabins and an early 1900s dairy barn and associated milk house. V.H. Rowley, who built the cabins, was also responsible for the construction of the nearby Bunce School and Copeland Lake School. The stone barn, built 1927, is socially significant, as many local dances were held inside it from its construction into the 1930s. The tradition of local dances at the Middle Fork ranch began in the late 1890s.

Although Cabin 1 was slightly modified in 1990 with a second floor addition and dormers, the structure still retains sufficient integrity. Small additions were constructed to the rear of the other two cabins, but they are still relatively intact and these additions do not detract from their integrity.

The Middle Fork Ranch portrays a sense of early 20th century ranch life in the Rocky Mountains and the rural mountain setting of the ranch is unaltered, lending an appropriate context for the cabins.

While the property does not possess sufficient significance to be considered individually eligible for listing on the National Register of Historic Places or on the Colorado State Register of Historic Properties, it possesses enough significance to be eligible as a Boulder County Landmark.

43. Assessment of historic physical integrity related to significance:

Resource Number: 5BL.385
Temporary Resource Number:

The house exhibits a high level of physical integrity relative to location, design, materials, workmanship, feeling, and association, and setting.

VII. NATIONAL REGISTER ELIGIBILITY ASSESSMENT

44. National Register eligibility field assessment:

Eligible ___ Not Eligible X Need Data ___

45. Is there National Register district potential? Yes X No

Discuss: **This inventory was conducted as a single as-needed survey.**

If there is National Register district potential, is this building: Contributing n/a Noncontributing n/a

46. If the building is in existing National Register district, is it: Contributing n/a Noncontributing n/a

VIII. RECORDING INFORMATION

47. Photograph numbers: **1256 Riverside (1).jpg to 1256 Riverside (32).jpg**

Negatives filed at:

48. Report title: **n/a**

49. Date(s): **June 5, 2018**

50. Recorder(s): **Angela Gaudette**

51. Organization: **Boulder County Land Use**

52. Address: **2045 13th Street, Boulder, CO 80302**

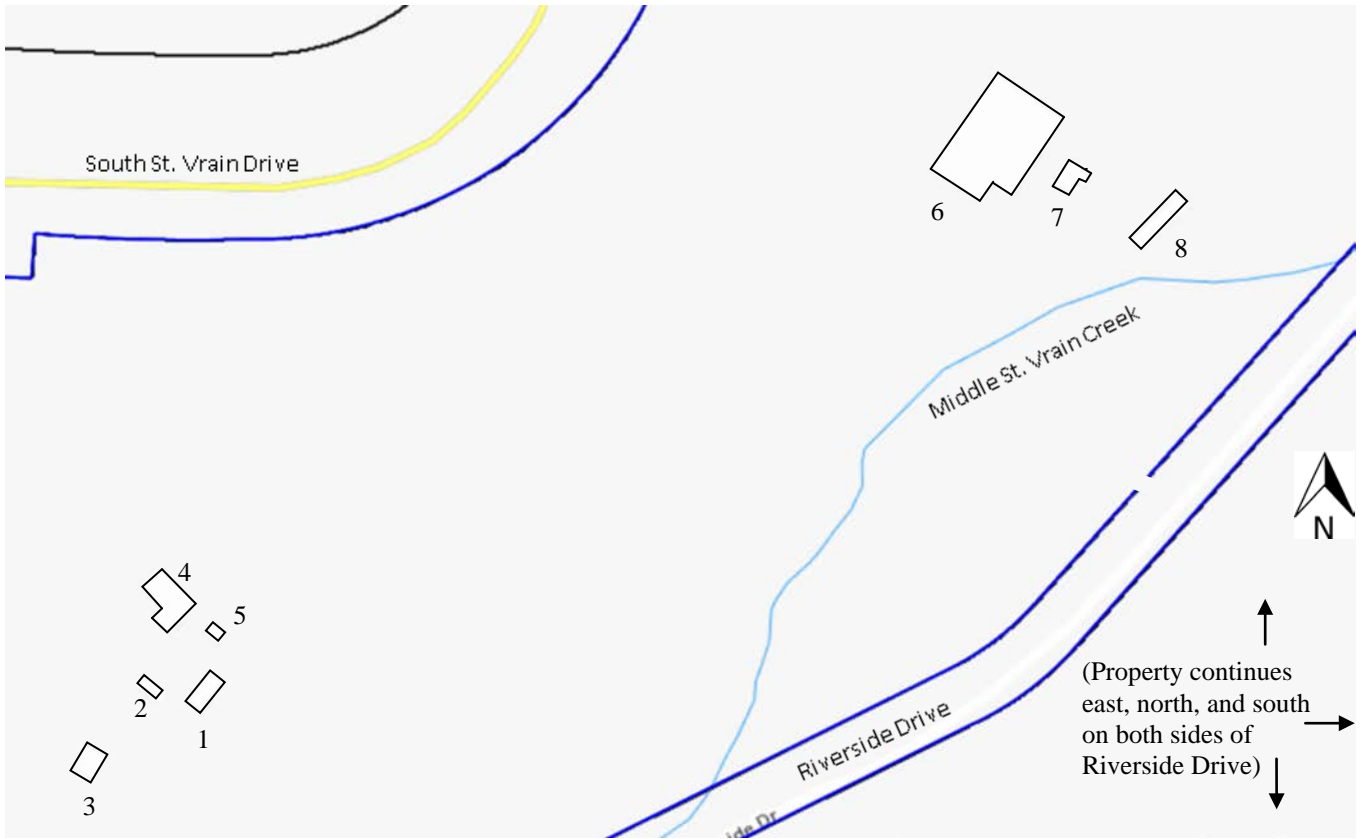
53. Phone number(s): **303-441-3987**

NOTE: Please include a sketch map, a photocopy of the USGS quad map indicating resource location, and photographs.

History Colorado - Office of Archaeology & Historic Preservation
1200 Broadway, Denver, CO 80203 (303) 866-3395

Resource Number: 5BL.385
 Temporary Resource Number:
Sketch Map

Address: 1256 Riverside Drive
 Site Number: 5BL.385

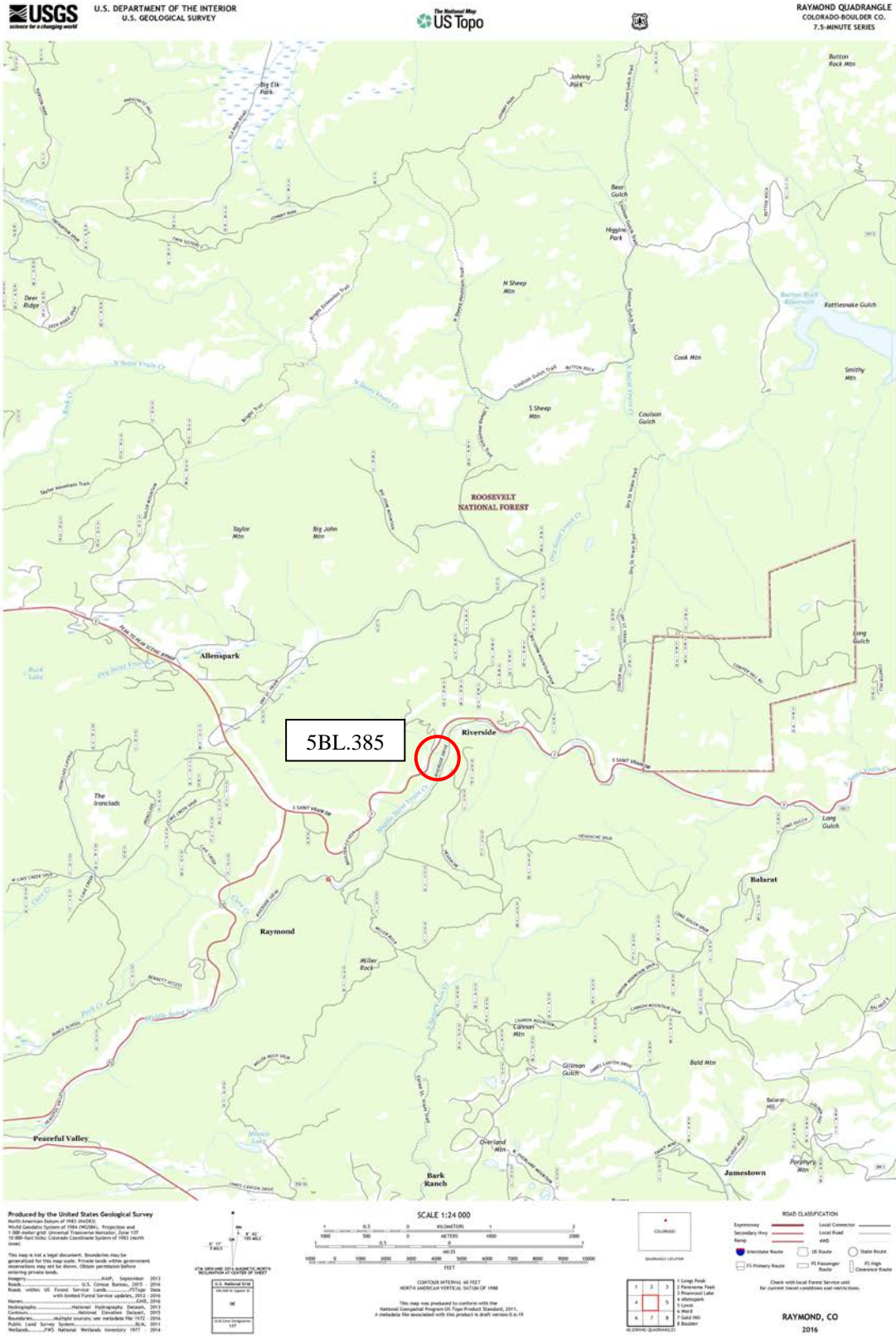


— = Property Line

#	Resource
1	Cabin 1
2	Cabin 2
3	Cabin 3
4	Barn and garage
5	Studio (Milk house)
6	Indoor riding arena
7	House
8	Stable

Resource Number: 5BL385
 Temporary Resource Number:

USGS TOPO Map



Resource Number: 5BL.385
Temporary Resource Number:
Photographs

Cabin 1: southeast elevation (façade)



Cabin 1: southwest elevation



Resource Number: 5BL.385
Temporary Resource Number:

Cabin 1: northwest elevation



Cabin 1: northeast elevation



Resource Number: 5BL.385
Temporary Resource Number:

Cabin 2: Southeast elevation (façade)



Cabin 2: northeast elevation



Resource Number: 5BL.385
Temporary Resource Number:

Cabin 2: southwest elevation



Cabin 3: southeast elevation (façade)



Resource Number: 5BL.385
Temporary Resource Number:

Cabin 3: southwest elevation



Cabin 3: northwest elevation



Resource Number: 5BL.385
Temporary Resource Number:

Cabin 3: northeast elevation



Stone Barn and Garage: southeast elevation (façade)



Resource Number: 5BL.385
Temporary Resource Number:

Stone Barn and Garage: northeast elevation



Stone Barn and Garage: northeast elevation



Resource Number: 5BL.385
Temporary Resource Number:

Stone Barn and Garage: northwest elevation



Stone Barn and Garage: southwest elevation



Resource Number: 5BL.385
Temporary Resource Number:

Studio (Milk house): Southeast elevation



Studio (Milk house): southwest elevation



Resource Number: 5BL.385
Temporary Resource Number:

Studio (Milk house): northwest elevation



Studio (Milk house): northeast elevation



Resource Number: 5BL.385
Temporary Resource Number:
Stable: Northeast and northwest elevations



Stable: southwest elevation



Resource Number: 5BL.385
Temporary Resource Number:
Stable: southeast elevation



House: southwest elevation (façade)



Resource Number: 5BL.385
Temporary Resource Number:
House: northwest elevation



House: northeast elevation



Resource Number: 5BL.385
Temporary Resource Number:
House: southeast elevation



Indoor Riding Arena: southwest elevation



Resource Number: 5BL.385
Temporary Resource Number:
Indoor Riding Arena: southeast elevation



Indoor Riding Arena: northeast elevation



Resource Number: 5BL.385
Temporary Resource Number:
Shed located behind Cabin 1:



Shed located between the barn and studio (milk house):



Resource Number: 5BL.385
Temporary Resource Number:

Additional Photographs:

“People at Old Middle Fork Ranch,” c. 1900-1920. *Longmont Museum Photo Collection.*
<http://longmont.pastperfectonline.com/photo/5B6A4C03-95B5-4A73-9BE2-759966801107>



Photo of Cabin 1 and 2, barn, garage, and milkhouse, 1949. Tax Assessor Records, Boulder Carnegie Library for Public History.



Inserted by preservation staff.

BP-90-1213 and BP-90-1227 show that a 2nd floor on the milkhouse was taken off and moved to the north end of the property to become the caretaker's house and the remaining stone bottom became a studio. The 1949 photo on the previous page shows the milkhouse with no second story.

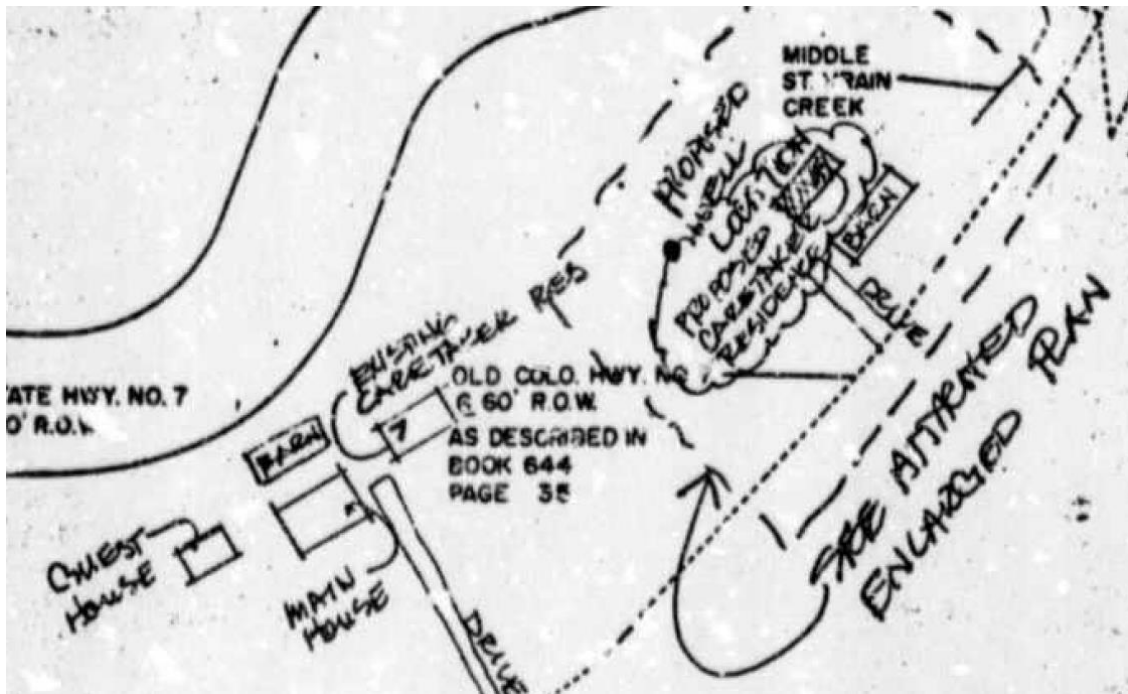
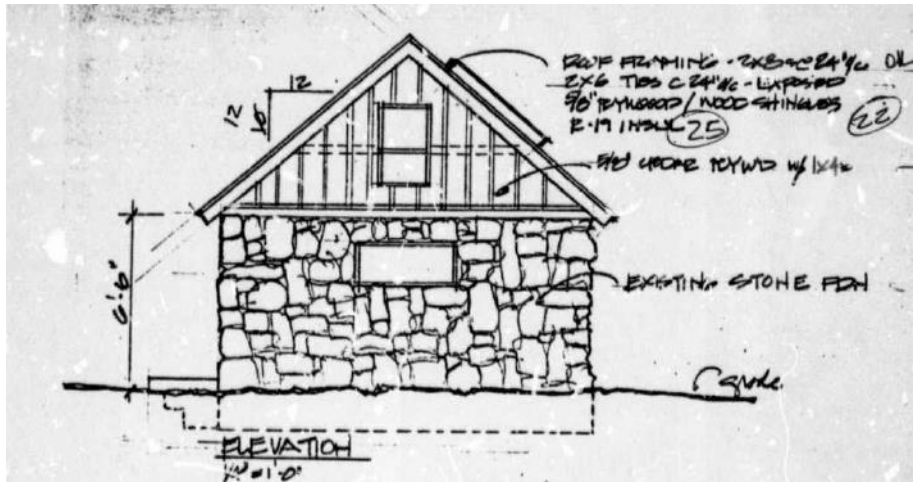
A 1962 photo shows the milkhouse with two stories (stone barn/garage in background).



2018 photo shows existing caretaker's house that was previously the 2nd floor above.



BP-90-1227 shows stone 1st floor remaining (with new roof), and site plan showing relocation of 2nd floor.



Inserted by preservation staff.

January 2021 photos of barn garage showing addition of second story.
The original Dutch Gambrel roof collapsed in the 1950s.



Narrative for 1256 Riverside, AKA Middle Fork Ranch, for the Limited Impact Special Use (LISU)

Revised 12/8/2022

This property is a 225-acre ranch between the townsites of Raymond and Riverside. It comprises significant land areas on both sides of Riverside Dr. and the Middle Fork of the St Vrain Creek. The property is under a conservation easement (CE) with EVLT, Estes Valley Land Trust. This CE allows no new standalone house to be built, only additions are allowed. It has no size limits on the additions. A copy of the CE has been provided to the county for reference. The property is large and has two groups/clusters of existing development. For this narrative we are calling each structure the names used in the Architectural Inventory Report. The west group consists of the old homestead cabin (Cabin 1 on the Historic Survey), two small cabins (Cabins 2 and 3 on the Historic Survey), a studio/milk house and a stone-based barn; the east group consists of the indoor riding arena, caretakers' house and a stable. The two onsite development areas are separated by 900 feet at their closest points. The Middle Fork of the St. Vrain flows through this property. The existing buildings are all in the "valley" area of the creek with the stable as the only building in the floodplain. Much of the ranch acreage is steep forested mountainside on both sides of the Middle Fork of the St Vrain.

Historic staff at the county have completed an Architectural Inventory Report for this property. They also met with the current owners at the stie when they were purchasing the property. The cluster of the original homestead (the three cabins and the studio/milkhouse) are of historic interest per this Report. The owners are interested in having all four of these structures Landmarked and two of them approved as HDU's (Historic Dwelling Units) part of this LU process. If approved in this process of Landmarking them, Cabins 1 and 2 would also become Historic Development Units (HDU) and their s.f. would not count towards the residential s.f. of the property. Cabin 3 (272 sf) is not proposed to be an HDU as it is proposed to be added onto and become the primary residence on the property. Per the owner's input, this concept is consistent with the encouragement of Denise Grimm at their original site walk. The barn in the west group and the entire east group are not of historic interest per county staff report. All these buildings except the caretaker's house (584 sf cabin) are AG use structures in this F zoning and the AG use buildings do not count toward the residential s.f. of the property. I will insert here that the owners have no desire to add onto this caretaker house to have this as their primary residence as they need the caretaker residence to help them maintain the property. It is important to note here that this property currently has 4 residential living units – Cabins 1, 2 and 3 plus the caretaker house – on the total 225-acre property. With this review we are proposing to maintain the 4 residential units – Cabins 1 and 2 to be Landmarked and Historic ADU's, Cabin 3 to be Landmarked and added onto, and the caretaker house to remain as is.

The owners are proposing an addition to the westernmost historic cabin 3 (existing cabin is 272 s.f.) of 2400 sf one story house with a 500 s.f. carport. The first 400 s.f. of the carport does not count as residential s.f., so the proposed addition would be a 2500 s.f. of residential s.f. of new plus the 272 sf Landmarked Cabin 3, for 2772 sf total residential sf. It would have a 2400 s.f., fully subterranean basement, fully below grade on all sides with no exterior openings and is shown on the exterior building elevations as entirely below grade. Fully subterranean space does not count toward the maximum residential s.f. The new house, being an addition, will meet the conditions of the CE. The proposed design is intended to honor the architecture of the existing historic 272 s.f. cabin 3 by not trying to copy it as the scales vary, but to create a synergistic organic architecture for the addition that will fit into the

mountainside beside it and use the non-log materials of the cabin in its palette of materials. The simple open carport and roofed connector will serve as the minimal connection to the historic cabin providing a visual link of the historic cabin and the new house while sharing similar heights, horizontalness, colors, and natural materials of the cabin. The cabin has log walls, windows, a stone foundation, and a metal roof. The addition is similar stone, pre-rusted metal siding, and windows with no visible roofing. Functionally the existing cabin 3 will remain as an occasional guest quarters.

If new, the residential maximum for this property located outside the townsites of Raymond and Riverside is 2500 s.f. per article 4-806 2.a. The current residential s.f. for this property is 2680 s.f. of residential area.

In summary, this proposal at a 2500 s.f. addition to the 272 s.f. Cabin 3, plus the 584 s.f. caretaker's cabin as the total property's residential s.f. for a total of 3356 residential s.f. on this 225-acre ranch. A caretaker does live in the caretaker house in exchange for 10 hours/ week of labor on the ranch. These limited hours do not qualify this cabin for the Caretaker residence exception from the residential s.f. max for the property per Boulder County standards.

These two groups/clusters of development on this 225-acre ranch are 900' apart at the closest points. Both are minimally visible from Riverside Drive, due to mostly dense aspen tree forest along the creek and neither is visible from other properties. We request consideration to exceed the residential size maximum, giving the following support:

- a. As a person travels along Riverside Drive this 900' separation distance represents a huge physical separation of these two existing clusters of development. This separation is 10 – 20-fold or more the separation of the residential structures in Raymond, upstream of this property, or Riverside, downstream of this property. Anyone driving by would not associate these two groups/clusters of buildings as being on the same property, unless you had a survey to know it.
- b. The 2680 s.f. residential limit (current residential s.f.) is unfair restriction for this large 225-acre ranch property. At 2500 s.f. it is the same limit as for a legal building lot at one- acre site, not in the townsites in the mountain area of Boulder County. The owners do not desire to be forced to subdivide the property into a 35-acre lot and a 190-acre lot to separate the east structures and thus gain greater residential s.f.
- c. The large acreage of the ranch does allow us to say:
 - i. Per the county review criteria in Article 4 – 806, these properties are not visible from other private parcels (2. B. i. (A)).
 1. The Ranch consists of the entire hillside, south and north of Riverside Drive, never to be developed per the CE.
 2. To the west the nearest house is 640' to the proposed addition and visually separated by topography and trees.
 3. To the north is CO Hwy 7, which is hundreds of feet above in elevation and due do the very steep terrain between the structures and the highway, the structures on this property are not visible from Highway 7.

4. To the east the nearest house is 800' from the east cluster of structures and separated by topography and trees. The distance to the proposed addition from these existing homes is about ½ mile.
- ii. In the summer the aspens and coniferous trees fully block the views 100% from Riverside Drive to these structures and the new proposed addition; the addition is proposed at 330' from Riverside Drive, further than the existing closest west group structures are to Riverside Drive. In the winter the visibility is nearly zero for the west group/cluster and 10-20% for the east group/cluster. We consider this to be minimally visible from Riverside Drive. (2.B. i. (A) 1. C.))
 1. Per (2.B. i. (D) regarding significant adverse impacts 3-16 of the section.
 - a. List items 3, 4, 6, 7, 8, 9, 11, 12, 13, 14, 15, 16 are either NA or this proposal has no impact in any way on that item.
 - b. List item 5, the owners agree to Wildfire Partners review for the new addition and the historic cabin it is attached to, conditional on acceptance by the Historic Review Committee on any requirements for the historic cabin.
 - c. List item 10, the addition is located at the far edge of a meadow and at the base of the mountain side. It is not in steeply sloped or visually exposed portions of this property, the proposed structure is a one-story addition with very low slope roofs, an organic architecture with stone and metal siding and a height above existing grade below the 30' maximum. The property is not in the Peak-to-Peak scenic corridor.
 2. Boulder County is working to minimize risk in the flood prone parts of the county. A portion of the stable at the east cluster was lost to the 2013 flood. The owners are willing to deconstruct the remaining stable, which is in the flood plain/way. In exchange they would relocate it to connect to the riding arena in consideration for this approval. This would remove the stable from the floodplain and move it 200' further from Riverside Drive. This is consistent with Parks and Open Space posted goals of getting structures out of the floodways and floodplains.
- d. The fact sheet for this proposal has been completed using the larger residential s.f. approval and asking it to be approved as overcoming the PSM of 3356 s.f. for the reasons shown above.
- e. Boulder County is very interested in affordable housing per its 2019-2023 BOCC Strategic Priorities noting Affordable housing as one of its five priorities. This caretaker house is truly affordable to live in. The owners are willing to agree in writing to continue to barter rent for ranch labor going forward. They do not want it to be official affordable housing, on a county list, that is not in their direct control based on the skills they need for its occupants. It cannot be argued, that to live here

for 10 hours of labor/week is truly affordable in this county. If you determine to limit this 225-acre ranch to 2772 s.f. proposed at the western end of the site and don't approve them to exceed the residential maximum (new addition to Cabin 3 plus the caretaker house at 3356 s.f.), it will force the owners to deconstruct this cabin or repurpose it to a ranch office and lose an affordable place for a family to live in this area where almost no affordable places exist in which to live.

The architecture proposed will be reviewed by the Historic Review Committee for approval. We see this organic addition, consisting of stone, rusty metal, very earthy colors, very low slope roofs so the roof is not a visible element, and the horizontal massing, as highly visually compatible with the historic cabin and the mountain environment it is proposed.

Per 4-516 of the Land Use code the following list of structures are noted:

- A. Cabin 1 – currently the main residence, proposed to be Landmarked and designated an HDU with occasional visitor use.
- B. Cabin 2 – currently a cabin, proposed to be Landmarked and designated a HDU with occasional visitor use
- C. Cabin 3 – currently a cabin, proposed to be Landmarked and used for occasional visitor use and added to with the new primary residence on the property
- D. Studio/Milkhouse – currently AG storage and proposed to Landmarked and remain as AG storage. Per 4-516 B
- E. Stone base barn – currently AG use and proposed to remain as is. Per 4-516 B
- F. Riding Arena – currently AG use and proposed to remain as is. Per 4-516 B
- G. Stable – currently AG use and proposed to remain as same use and proposed to be relocated to be attached to the riding arena if desired by staff and the county. Per 4-516 B
- H. Caretaker house – currently used as the house for a property caretaker and proposed to remain as is. This use will not fully meet the requirements of section G in 4-516 but the request for consideration is made to continue its use as affordable housing prior in this narrative.

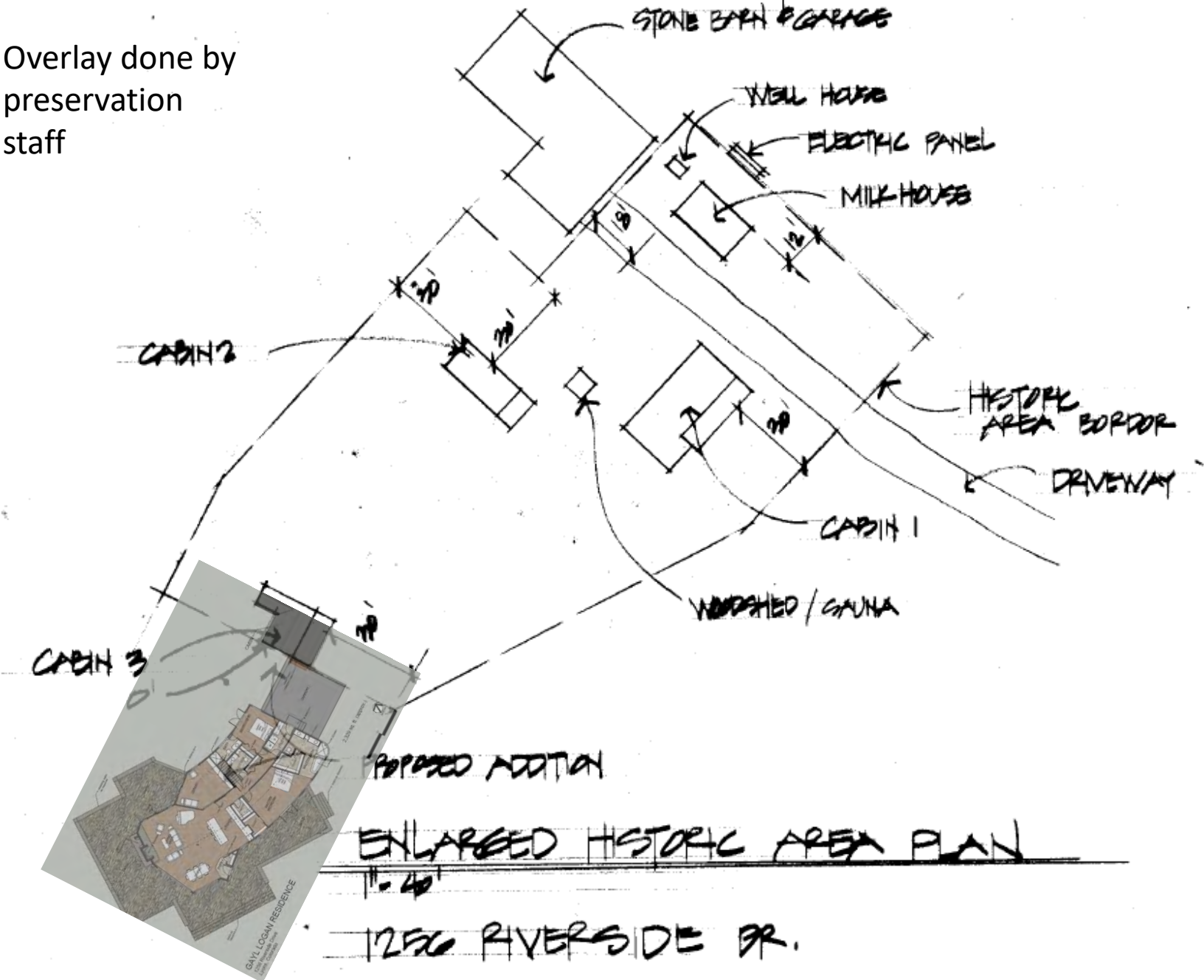
With this LISU we are also proposing to move more than 500 C.Y. of dirt. The dirt work associated with the house is intentionally cutting into the slope to maintain a harmonious relationship the land and Cabin 3, it creates a surplus of cut with the desire to use it to fill in at the locations on the overall site plan noted. It lowers the house profile, so it fits into the current slope with a very natural feel. The larger proposed fill area on the overall site plan was used to extract dirt and rock to fill in after flooding of the creek in 2013 with a permit by previous owners as we understand. This area is also now showing signs of sliding and needs to be refilled to protect the hillside above this previous cut from sliding further. The current owners propose to fill in this area with 800 C.Y. of the excess cut of 906 C.Y. from the house site to improve the visual appearance on the property and preserve the hillside's integrity, after which it will be reseeded and blend into the hillside area and natural. The 800 C.Y. of fill was determined by field measuring the length of the cut and the "triangle" of the current excavation to arrive at the fill amount in this area. The remaining 106 C.Y. of excess cut from the house site is proposed to be used to fill in an eroded area "ditch" outside the flood plain, as shown on the overall site plan, from the 2013 flood in the meadow just south of this larger fill area on the southeast side of the drive. Per field measurements this will not completely fill this erosion but is the excess dirt we have

available. Neither fill area is in the floodplain. Both fill areas are also shown on the overall site plan. We see this needed fill work as being consistent with Parks and Recreations Strategic Vision, Strategic Goal A-1.

Per 4-601 we address the following review criteria in support of this LISU:

1. We agree
 2. The proposed changes to this property will not change from what has been there for the past many years. A single-family residence, in this case an addition to Cabin 3 plus occasional use of Cabins 1, 2 and 3 for visitors plus a caretaker house. All consistent with this ranch's historic use. The new addition is clustered with the existing west cluster of development on the site and the east cluster would remain the same. The same number of structures would exist with the new addition and be compatible in size, height, and massing to the existing west cluster of existing buildings. Accesses to the property will not change, views as one drives on Colorado Hwy 7 or Riverside Drive will not change.
 3. The use is consistent with the Comprehensive Plan.
 4. The use will not result in over-intensive use of the land – it is still the same single-family residence with a caretaker house and occasionally used visitor cabins with the AG buildings that have existed for decades. The dirt movement proposed will be needed to stabilize the hillside on the property and repair flood damage. What is being proposed on this 225-acre site will impact less than 1% of the site area and is located in at the edge of an existing meadow area leaving the large forest intact. We are proposing to install enough solar panels either on the ground and/or on the roof of the addition to offset 50% or more the electric usage annually of this entire property.
 5. NA
 6. NA
 7. The use will be the same as is currently.
 8. No air, odor, water, or noise pollution.
 9. The existing landscape will buffer the addition as noted previously
 10. Not detrimental to health, safety, or welfare of present or future inhabitant of Boulder County
 11. Energy consumption will be reduced with the proposed solar. Water will remain unchanged from current use or improved with water saving fixtures as it is still a single-family residence with a caretaker house.
 12. The use will not result in risk of harm to people or property onsite and in surrounding areas. It will fix the current landslide risk.
 13. No historic drainage patterns will be altered, a portion of the fill at the "ditch" will restore that meadow to its original drainage.
- D. The property is in a conservation easement currently with Estes Valley Land Trust. A copy of this CE has been submitted for your review.

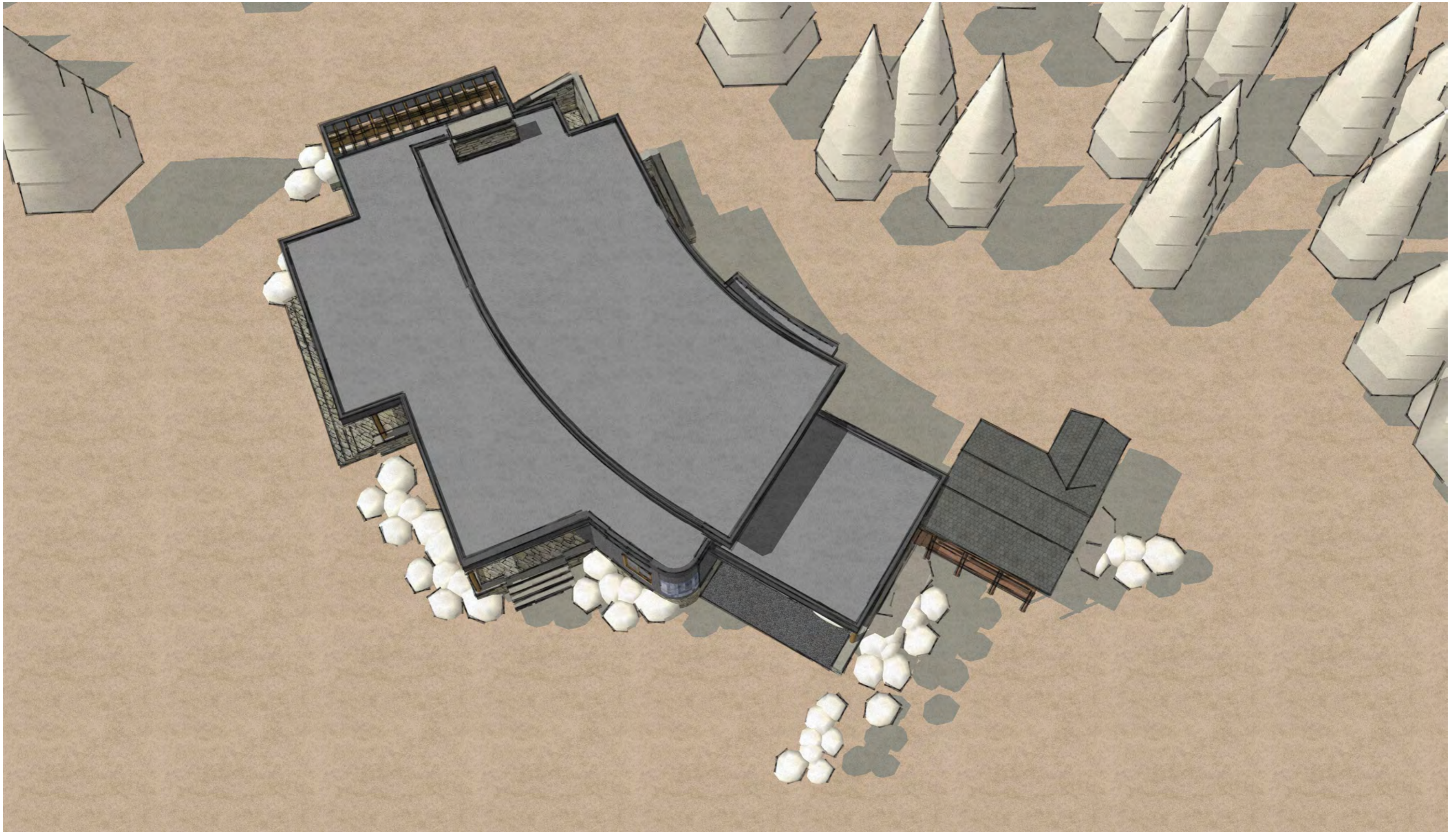
Overlay done by
preservation
staff





GAYL LOGAN RESIDENCE

1256 Riverside Drive
Lyons, Colorado



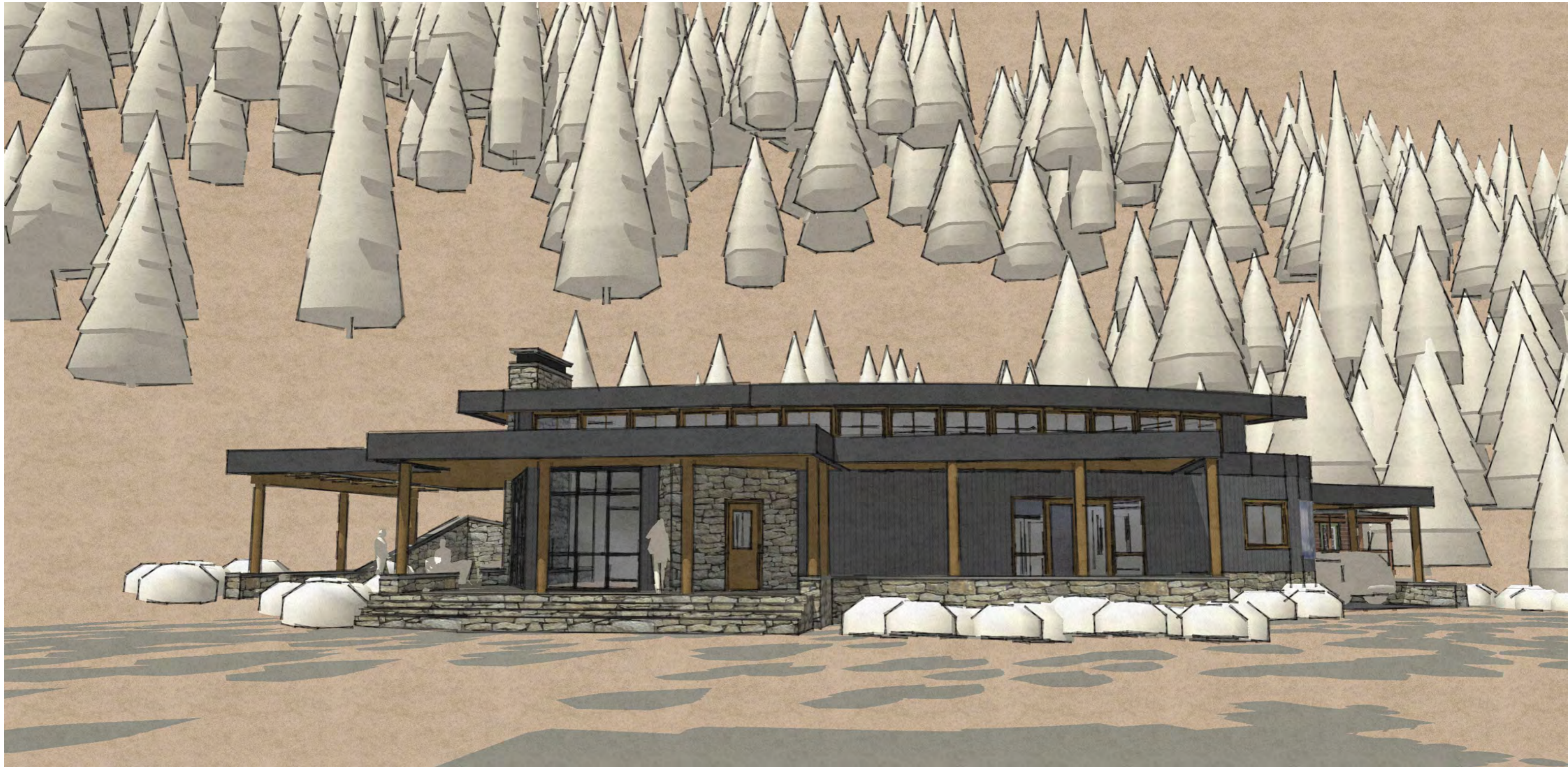
GAYL LOGAN RESIDENCE

1256 Riverside Drive
Lyons, Colorado



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Lyons, Colorado



GAYL LOGAN RESIDENCE

1256 Riverside Drive
Lyons, Colorado

Inserted by preservation staff.
Cabin 3, 2018

