



Community Planning & Permitting

Courthouse Annex • 2045 13th Street • Boulder, Colorado 80302 • Tel: 303.441.3930

Mailing Address: P.O. Box 471 • Boulder, Colorado 80306 • www.bouldercounty.gov

August 15, 2023 Business Meeting Memo

STAFF PLANNER: Sam Walker – Planner II

SPR-22-0133: Gravante Residence

Request: Site Plan Review to deconstruct the existing 2,498 sq. ft. residence before constructing a new 5,173 sq. ft. residence on a .91 acre parcel where the presumptive size maximum is 4,530 square feet.

Location: 6650 Fairview Drive

Zoning: Estate Residential (ER) Zoning District

Applicants: Danielle Restivo & Tina Townsend Poole, c/o Mosaic Architects

Owner: Anne & Gary Gravante

PACKET CONTENTS

Item	Pages
o Staff Memo	1 - 5
o Director's Determination Letter Packet (Attachment A)	A1 – A64
o Comments received following issuance of the Determination (Attachment B)	B1 – B4

SUMMARY

On July 31, 2023, the Community Planning & Permitting (CPP) Department issued a Determination Letter conditionally approving SPR-22-0133 Gravante Residence. Following the issuance of the Determination Letter, staff received a public comment expressing concern with the approved size of the residence. On August 8, 2023, Commissioner Loachamin requested that the application be called up to a Business Meeting to determine whether or not a public hearing for the proposal should be held. Staff request that the Board of County Commissioners determine whether or not a public hearing shall be held for SPR-22-0133 Gravante Residence.

DISCUSSION

SPR-22-0133 Gravante Residence was originally submitted as an application for Limited Impact Special Use Review and Site Plan Review (LU/SPR), with a proposal for more than 500 cubic yards of non-foundational earthwork to construct a new driveway and Site Plan Review to deconstruct the existing residence before replacing it with a new one. When staff raised concerns regarding the amount of non-foundational earthwork proposed and whether or not it was necessary to access a property which already had a functioning driveway, the applicants elected to revise their plans.

The new residence proposed as part of the original LU/SPR application was to be 5,353 square feet in size, including a 1,473-square-foot first floor, 2,777-square-foot second floor, 1,103 square feet of attached garage space, and 1,322 square feet of covered porch areas (covered porch areas are not included in the calculation of residential floor area). When the applicants submitted their revised proposal, the proposed new residence was slightly reduced in size to 5,173 square feet, including a 1,866-square-foot first floor, 2,685-square-foot second floor, 622-square-foot attached garage, and 958 square feet of covered porch areas. Also included was a 398-square foot carport, which is

exempt from the calculation of residential floor area up to a size of 400 square feet. Both the original and revised square footage totals exceeded the presumptive size maximum for the parcel, which is 4,530 square feet.

Following issuance of the Determination Letter, staff received a comment from a nearby property owner expressing concern that the approved size of the residence exceeded the presumptive size maximum and was out of character with the existing residences in the neighborhood. The commenter also stated that the floor area data being used by CPP was inaccurate, because the commenter's residence was shown as being 4,190 square feet on a size analysis report submitted with the application materials, and the commenter claimed that their residence was only 3,500 square feet.

As discussed in the Determination Letter, the approved size in excess of the presumptive size maximum was predicated on Article 4-806.A.2.b.i.b, which may allow applicants to overcome the presumptive size maximum when their property is adjacent to two other properties that are already over the presumptive size maximum. As defined in Article 18-102 of the Code, "Adjacent" means "Meeting or touching at some point, or across a street, alley, or other ROW". As shown in Figures 1 and 2, below, the parcel is currently adjacent to two parcels whose residential floor area already exceeds the presumptive size maximum.

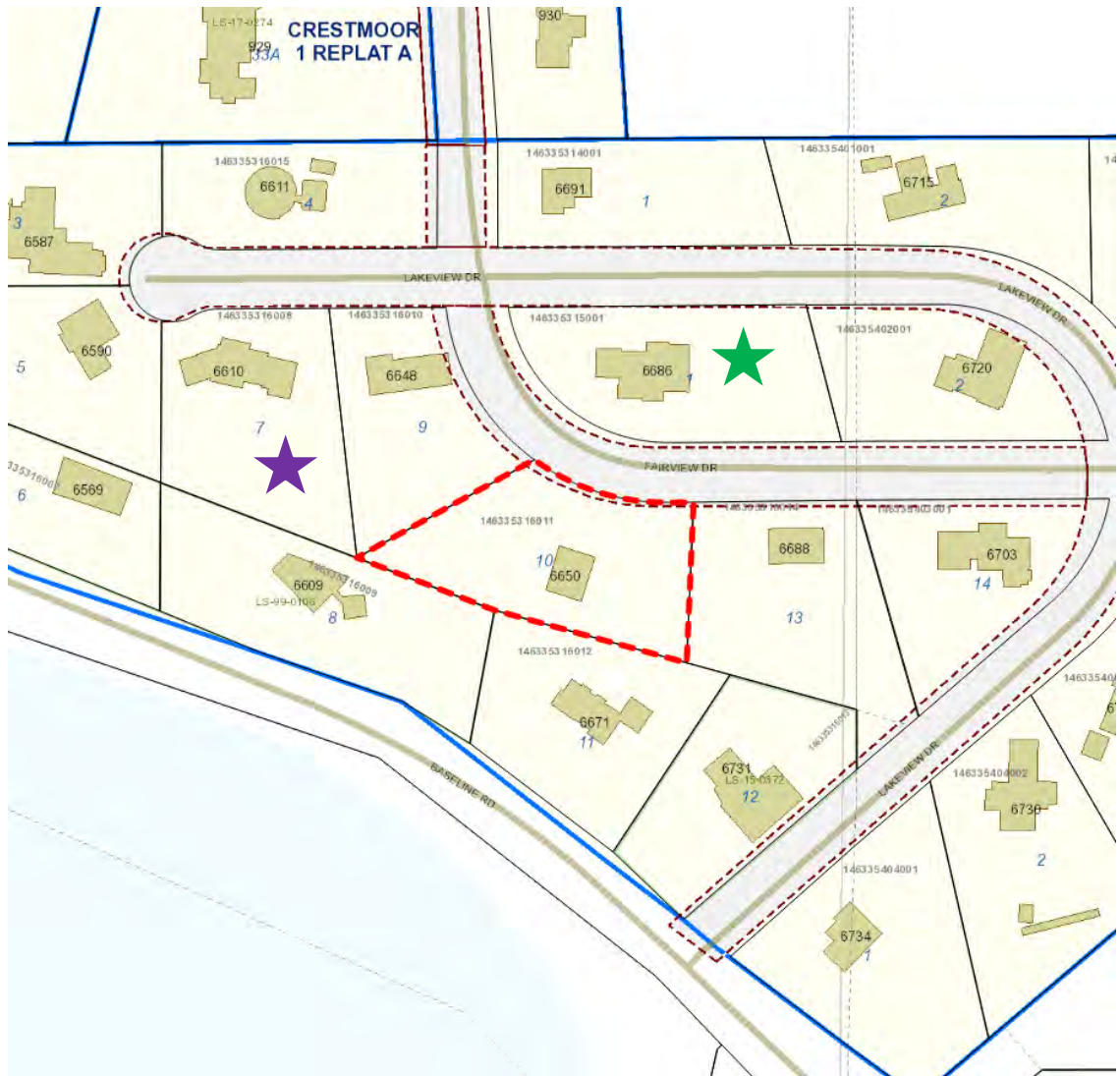


Figure 1: Detail view of the Baseline Heights subdivision, subject parcel outlined in dashed red. Amongst others, the parcels located at 6686 Lakeview Drive (green star) and 6610 Lakeview Drive (purple star) are adjacent.

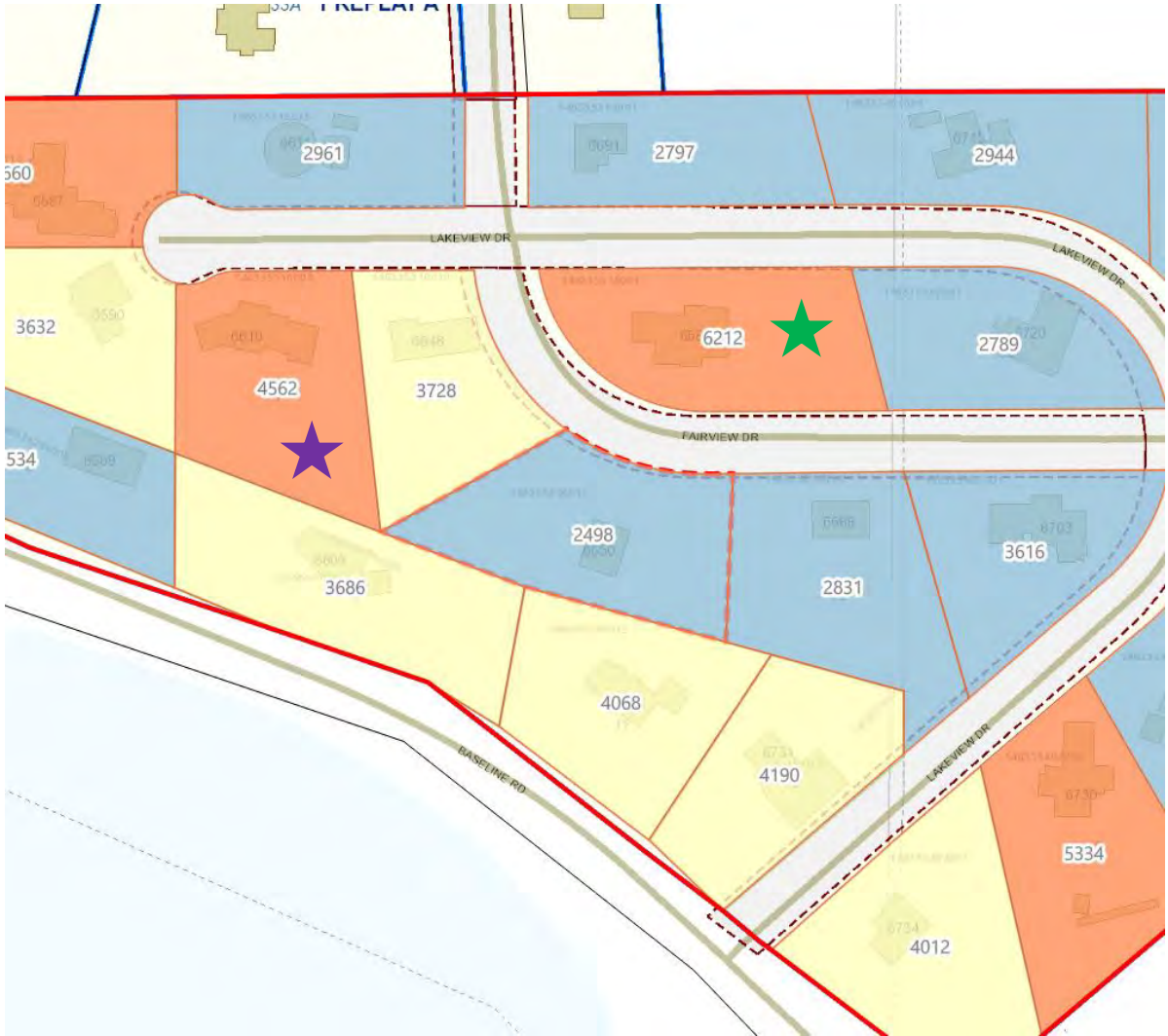


Figure 2: Detail view of a neighborhood size analysis report for the subject parcel (outlined in dashed red) with parcels that exceed the presumptive size maximum indicated by orange shading. The adjacent parcels described in Figure 1 both exceed the presumptive size maximum of 4,530 sq. ft.

Staff found that the size of the new residence as proposed would be compatible with the existing character of the development within the defined neighborhood, and that the increased floor area beyond the presumptive size maximum did not increase the visual impacts of the structure. Staff also noted that, although the entirety of the proposed floor area would be constructed above existing grade, the applicants' proposal to add fill around the northern and western façades of the structure would blend it with the slope and thereby match the visual character of most other residences in the subdivision, which are designed as one-story structures with walk-out basements. This is reflected in the submitted fact sheets, which describe first-floor and second-floor areas but would be respectively listed as "First floor (above ground) Finished Area" and "Walk-Out Basement Finished Area" in the Assessor's record once construction is completed.

In an email exchange with the concerned commenter, staff also noted that the 4,190-square-foot total floor area shown on their property (visible in Figure 2, above, at the intersection of Lakeview Drive and Baseline Road) included all residential floor area as defined in Article 18-189D of the Code. The

commenter was not aware that calculated residential floor area would include a garage. This misunderstanding explains the discrepancy between the 4,190-square-foot total shown and the commenter's statement that their residence is 3,500 square feet, because the assessor's record for the parcel includes approximately 3,500 square feet of enclosed residential area and a 695-square-foot garage.

Staff requests that the Board of County Commissioners **determine whether or not a public hearing will be held for SPR-22-0133 Gravante Residence.**



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Claire Levy County Commissioner

Marta Loachamin County Commissioner

Ashley Stolzmann County
 Commissioner

7/31/2023

Tina Townsend Poole
 1701 15Th Street
 Suite C
 Boulder, CO 80302

Danielle Restivo
 1701 15Th Street
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 Boulder, CO 80302

Anne Gravante
 6650 Fairview Drive
 Boulder, CO 80303

Gary Gravante
 6650 Fairview Drive
 Boulder, CO 80303

Dear Applicant(s):

This letter certifies that in accordance with section 4-800 of the Boulder County Land Use Code, the Boulder County CPP Director has Approved with Conditions the site plan for the following, effective July 31, 2023.

Docket: SPR-22-0133 Gravante Residence

Request: Site Plan Review to deconstruct the existing 2,498 sq. ft. residence before constructing a new 5,173 sq. ft. residence on a .91 acre parcel where the presumptive size maximum is 4,530 square feet.

Location: 6650 FAIRVIEW DRIVE

Zoning: Estate Residential

Applicant: Tina Townsend Poole

This is a Conditional Approval made by the CPP Director, and is not final until a 14-day referral period has transpired. During the next 14 days, the Board of County Commissioners (BOCC) may choose to call this docket up for a public hearing. If no hearing is required, this letter will serve as the final determination. Building, grading and access permits will be subject to any and all conditions of approval.

If the BOCC should decide to modify the CPP Director's approval, or determines that further review is necessary, a public hearing will be held. Upon completion of the public hearing and approval by the BOCC, if a building, grading or access permit has been applied for, it will continue in the process and permits may be issued subject to any and all conditions of approval.

In the event that you wish to appeal any conditions of the CPP Director's determination, you are entitled to appeal the determination to the BOCC. You must file an appeal for this purpose with the CPP Department in writing no later than 14 days after the date of this letter. If an appeal is requested, the BOCC will review the CPP Director's determination at a public meeting.

Please be aware that the attached Conditions of Approval become final if the docket is not called up by the BOCC at the end of the 14-day review period. There are no other administrative means to appeal. If you wish to resubmit information with regards to complying with any of the attached Conditions of Approval, and have this information reviewed for approval by staff prior to the end of the 14-day review period, your submissions must be received by the office no later than 10 days from the date of this letter.

Site Plan Review approval is valid for three years from the date of this letter although any changes in County regulations could affect the proposal prior to application for a building permit. In order to be issued a building permit, the project must comply with all policies and regulations in effect at the time of permit application.

A Building Permit cannot be issued for this project until the applicable conditions above have been met. Furthermore, a Certificate of Occupancy cannot be issued for this project until the applicable conditions above have been met. A SPR inspection will need to be scheduled with this department prior to the issuance of a Certificate of Occupancy. None of the conditions of approval will be waived or a Certificate of Occupancy issued for this project based upon the applicant's need to meet financial obligations (i.e., construction cost overruns or loan closing dates). Any future additions to the approved structure, regardless of size, will require SPR approval to amend this SPR.

The Public Notice sign must remain posted for 14 days after the date of this letter and then returned to the CPP Department in a timely manner after this date. Or, if your Site Plan Review application requires a public hearing, please return the sign after the final public hearing. We will begin processing a refund for the \$25 sign deposit when your sign is returned, and a check will be mailed to you within approximately 2 weeks.

Please carefully review the attached conditions of approval. Compliance with these conditions will be confirmed as is necessary throughout the process.

Sincerely,



Samuel Walker

Planner II

SPR-22-0133: Gravante Residence
 6650 Fairview Drive
 Page 1 of 11
 July 31, 2023

APPLICATION #: SPR-22-0133
 APPLICANT: Anne & Gary Gravante
 PROJECT LOCATION: 6650 Fairview Drive
 PROJECT SUMMARY: Site Plan Review to deconstruct the existing 2,498 sq. ft. residence before constructing a new 5,173 sq. ft. residence on a .91 acre parcel where the presumptive size maximum is 4,530 square feet.

CONDITIONS OF APPROVAL

Per Article 4-802.A.10 of the Boulder County Land Use Code (the Code), Site Plan Review is required for this proposal because it constitutes an increase in the residential floor area on the parcel to a number greater than 125% of the median residential floor area for the defined neighborhood in which the subject parcel is located. In this case, the applicants have proposed to construct a 5,173-square-foot residence on a parcel where the presumptive size maximum is 4,530 square feet.

Article 4-806 of the Code states that no Site Plan Review can be approved without compliance with the following standards. All site plan review applications shall be reviewed in accordance with the following standards which the Director has determined to be applicable based on the nature and extent of the proposed development. ***Only those standards applicable to this project are included in this list.***

1. To provide a greater measure of certainty as to the applicable neighborhood relevant for comparison, the following definition of neighborhood shall be used to review proposed Site Plan Review applications:

a. For applications inside platted subdivisions, which have seven or more developed lots, the neighborhood is that platted subdivision.

The applicable neighborhood for the subject parcel is the platted subdivision of Baseline Heights.

2. The size of the resulting development (residential or nonresidential) must be compatible with the general character of the defined neighborhood.

a. In determining size compatibility of residential structures within the defined neighborhood, it is presumed that structures of a size within the larger of a total residential floor area of either (1) 125% of the median residential floor area for that defined neighborhood or (2) of a total residential floor area of 1,500 square feet in the mapped townsites of Allenspark, Eldora, Eldorado Springs, Raymond, and Riverside, or 2,500 square feet for all other areas of the County, are compatible with that neighborhood, subject also to a determination that the resulting size complies with the other Site Plan Review standards in this section 4-806.A.

SPR-22-0133: Gravante Residence
 6650 Fairview Drive
 Page 2 of 11
 July 31, 2023

A. SIZE PRESUMPTION

The presumed compatible size of residential structures within the defined neighborhood (see Standard 1 above for the applicable neighborhood) is 4,530 square feet.

Median (total residential floor area) in the defined neighborhood*	3,624 square feet
125% of the median residential floor area in the defined neighborhood	4,530 square feet
Total existing residential floor area on the subject parcel*	2,498 square feet
Total proposed residential floor area	5,173 square feet

*Source: Boulder County Assessor's records, as verified by CPP staff for the subject parcel.

b. Either the applicant or the Director may demonstrate that this presumption does not adequately address the size compatibility of the proposed development with the defined neighborhood.

i. Factors to be considered when determining the adequacy of this presumption and whether it can be overcome include:

B. The distribution of residential floor area within the defined neighborhood, taking into consideration the sizes (a minimum of two) adjacent to the subject property.

1. If the proposed development is able to overcome the size presumption due to the adjacent sizes, the size of the resulting development may not exceed the median residential floor area of those adjacent to the subject property that are over the size presumption.

B. ABILITY TO OVERCOME THE SIZE PRESUMPTION

The presumed compatible size of residential structures within the defined neighborhood is 4,530 square feet square feet. The applicant is proposing to construct a 5,173 foot residence and attached garage, all above grade and visible. Specifically, the new residence will consist of a 1,866-square-foot first floor, a 2,685-square-foot second floor, and a 622-square-foot attached garage. Article 4-806.A.2.b. of the Code provides that either the applicant or Director may demonstrate that the presumed compatible size does not adequately address the size compatibility of the proposed development within the defined neighborhood. Per Article 4-806.A.2.b.i.B of the Code, a proposed development may be able to overcome the presumed compatible size due to the distribution of residential floor area at least two adjacent parcels.

In this case staff finds that the distribution of larger residential floor area adjacent to the subject property, including 4,562 square feet at 6610 Lakeview Drive and 6,212 square feet at 6686 Lakeview Drive allows the subject proposal to overcome the presumptive size of 4,530 square feet. The median residential floor area of these adjacent properties is 5,387 square feet, which is the size the resulting development may not exceed.

C. APPROVED SIZE

RESIDENTIAL FLOOR AREA*	
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SPR-22-0133: Gravante Residence
 6650 Fairview Drive
 Page 3 of 11
 July 31, 2023

Total existing residential floor area on the subject parcel to remain	None (existing 2,498 sq. ft. residence to be deconstructed)
Approved NEW residential floor area	Maximum of 5,173 square feet
TOTAL approved resulting residential floor area	Maximum 5,173 square feet

**Residential Floor Area includes all attached and detached floor area on a parcel including principal and accessory structures used or customarily used for residential purposes, such as garages, studios, pool houses, home offices, and workshops, excluding covered deck. Floor area does not include the area of any covered porch. Gazebos, carports, detached greenhouses and hoopouses up to a total combined size of 400 square feet are also exempt.*

Information submitted with the application materials indicates that the existing residence will be deconstructed before a new 5,173-square-foot residence is constructed in the same location. The new residence will consist of a 1,866-square-foot first floor, 2,685-square-foot second floor, and 622-square-foot attached garage. The proposal also includes 958 square feet of covered porch area and a 300-square-foot carport. Per Art. 18-162 and 18-189D of the Code, covered porches are exempted from the calculation of residential floor area, as are carports up to 400 square feet in size. The total amount of residential floor area approved therefore does not include either the covered porch or carport areas. Staff supports the size as proposed because the resulting size of 5,173 square feet is compatible with the general character of the defined neighborhood.

D. DECONSTRUCTION OF EXISTING RESIDENCE

To comply with the [Boulder County Building Code](#), a Deconstruction Plan is required at the time of building permit submittal for the deconstruction of the existing residence. Deconstruction consists of salvaging materials from an existing structure and the recycling, resale, or reuse of the materials as an alternative to sending them to a landfill. In addition to the deconstruction of existing residential structures, all construction jobsite wood, scrap metal, cardboard, and concrete must be recycled. There are several means by which the existing residence may be removed, reused, and/or the building materials recycled. Please contact the [Resource Yard](#) at 303-419-5418 and the Building Safety & Inspection Services Team at 303-441-3926 for more information on deconstruction, local deconstruction contractors, and reuse/recycling of building materials.

3. *The location of existing or proposed buildings, structures, equipment, grading, or uses shall not impose an undue burden on public services and infrastructure.*

ACCESS REQUIREMENTS

The subject property is accessed from Fairview Drive, a paved Boulder County owned and maintained right-of-way (ROW) with a Functional Classification of Local via an access easement. The access easement is noted and delineated on the plat for Baseline Heights subdivision, with Reception #90544055 and dated 8/17/1954. The property has legal Access via this access easement.

Work is proposed to improve the existing driveway within the bounds of both the subject parcel and the access easement

SPR-22-0133: Gravante Residence
 6650 Fairview Drive
 Page 4 of 11
 July 31, 2023

Prior to issuance of building or grading permits, submit an access and driveway design for review and approval by the Boulder County Community Planning & Permitting Department. The access and driveway design shall be included as part of the building plan set required at the time of permit application. The driveway must be designed according to the Multimodal Transportation Standards, including without limitation:

- a. Table 5.5.1 – Parcel Access Design Standards (1-lane Plains Access)
- b. Standard Drawing 11 – Private Access
- c. Standard Drawing 14 – Access with Roadside Ditch
- d. Standard Drawing 15 – Access Profiles Detail
- e. Standard Drawing 16 – Access & Grade Clearance
- f. Standard Drawing 17 – Access Pullouts
- g. Standard Drawing 18 – Access Turnaround
- h. Standard Drawing 19 – Typical Turnaround & Pullout Locations

Prior to issuance of a Certificate of Occupancy, the Community Planning & Permitting Department must verify that the access and driveway has been constructed to meet the Parcel Access Design Standards in the [Boulder County Multimodal Transportation Standards](#).

4. ***The proposed development shall avoid natural hazards, including those on the subject property and those originating off-site with a reasonable likelihood of affecting the subject property. Natural hazards include, without limitation, expansive soils or claystone, subsiding soils, soil creep areas, or questionable soils where the safe-sustaining power of the soils is in doubt; landslides, mudslides, mudfalls, debris fans, unstable slopes, and rockfalls; flash flooding corridors, alluvial fans, floodways, floodplains, and flood-prone areas; and avalanche corridors. Natural hazards may be identified in the Comprehensive Plan Geologic Hazard and Constraint Areas Map or through the Site Plan Review process using the best available information. Best available information includes, without limitation, updated topographic or geologic data, Colorado Geologic Survey landslide or earth/debris flow data, interim floodplain mapping data, and creek planning studies. Development within or affecting such natural hazards may be approved, subject to acceptable measures that will satisfactorily mitigate all significant hazard risk posed by the proposed development to the subject property and surrounding area, only if there is no way to avoid one or more hazards, no other sites on the subject property can be reasonably developed, or if reasonably necessary to avoid significant adverse impacts based upon other applicable Site Plan Review criteria.***

GEOLOGIC HAZARDS

The Boulder County Comprehensive Plan identifies an area of Moderate Swelling Soil Potential that encompasses the entirety of the subject parcel and an area of High Landslide Susceptibility that covers the western third of the parcel. Given the susceptibility of landslide hazard on a portion of the property, the applicants must comply with the recommendations made in the soils report provided by CTL Thompson, Inc., date August 26, 2022 (or another acceptable geotechnical report if a new one is performed).

5. ***The site plan shall satisfactorily mitigate the risk of wildfire both to the subject property and those posed to neighboring properties in the surrounding area by the***

SPR-22-0133: Gravante Residence
 6650 Fairview Drive
 Page 5 of 11
 July 31, 2023

proposed development. In assessing the applicable wildfire risk and appropriate mitigation measures, the Director shall consider the referral comments of the County Wildfire Mitigation Coordinator and the applicable fire district, and may also consult accepted national standards as amended, such as the Urban-Wildland Interface Code; National Fire Protection Association (NFPA); International Fire Code; and the International Building Code.

The proposed project is in Wildfire Zone 2 (eastern area of unincorporated Boulder County). In response to catastrophic wildfire events of the recent past and continued hazards of a changing climate, on May 12, 2022, the Board of County Commissioners adopted revisions to the Boulder County Building Code to ensure a minimum level of ignition resistance for all structures in Wildfire Zone 2. The approved updates to the Building Code took effect on June 6, 2022, and require the use of ignition-resistant materials for construction and a minimum three-foot non-combustible perimeter around the structure. Please contact the Building Division to learn more about the updated ignition-resistant construction requirements included in the Building Code Amendments.

- 6. *The proposed development shall not alter historic drainage patterns and/or flow rates or shall include acceptable mitigation measures to compensate for anticipated drainage impacts. The best available information should be used to evaluate these impacts, including but not limited to hydrologic evaluations to determine peak flows, floodplain mapping studies, updated topographic data, Colorado Geologic Survey landslide, earth/debris flow data, and creek planning studies.***

The proposal has been evaluated according to Section 1200 of the Boulder County Storm Drainage Criteria Manual and, while subject to the full-spectrum detention and permanent water quality requirements, also appear to meet the exceptions for low impact development principles. No further action is required.

- 9. *The development shall avoid significant historic or archaeological resources as identified in the Comprehensive Plan or the Historic Sites Survey of Boulder County, or through the site plan review process. Development within or affecting such resources may be approved, subject to acceptable mitigation measures and in the discretion of the Director, only if no other sites on the subject property can be reasonably developed, or only if reasonably necessary to avoid significant adverse impacts based upon other applicable site plan review criteria.***

The existing residence on the parcel appears to have been constructed sometime in the mid-1960's. Although the Historic Preservation Team did not provide referral comments in response to the subject SPR, they did provide a response to the previous iteration of the project (LU-22-0030) indicating no concerns with the proposal to deconstruct the existing residence.

- 10. *The development shall not have a significant negative visual impact on the natural features or neighborhood character of surrounding area. Development shall avoid prominent, steeply sloped, or visually exposed portions of the property. Particular consideration shall be given to protecting views from public lands and rights-of-way, although impacts on views of or from private properties shall also be considered. Development within or affecting features or areas of visual significance may be approved, subject to acceptable mitigation measures and in the discretion of the***

SPR-22-0133: Gravante Residence
 6650 Fairview Drive
 Page 6 of 11
 July 31, 2023

Director, only if no other sites on the subject property can be reasonably developed, or only if reasonably necessary to avoid significant adverse impacts based upon other applicable site plan review criteria.

b. For development anywhere in the unincorporated areas of the county, mitigation of visual impact may include changing structure location, reducing or relocating windows and glazing to minimize visibility, reducing structure height, changing structure orientation, requiring exterior color and materials that blend into the natural environment, and/or lighting requirements to reduce visibility at night.

	APPROVED
Location	As shown on the site plan dated 05/24/2023
Elevations:	As shown in the application materials dated 05/24/2023
Height:	Maximum 31' from existing grade
Exterior Materials:	Stone veneer & stucco siding and asphalt shingle, metal, & EPDM roof
Exterior Colors:	Beige & gray siding and dark gray roof

A. HEIGHT VERIFICATION

The Community Planning & Permitting Department requires height verification for any structure that is over 30 feet in height as measured from existing grade. Although the submitted fact sheet indicates that the new residence will be constructed at a maximum height of 32 feet above existing grade, discussion with the applicant team indicates that the height was misstated as 32' when the actual height of the structure is proposed at 30' 2" above existing grade. Because the maximum allowable height for the parcel is 35 feet above grade, staff are comfortable approving a maximum height of 31 feet above existing grade to allow the applicants some flexibility during the permit process. The visual impacts of the structure will be mitigated by the surrounding development and proposed earthwork which will blend the new residence into the surrounding hillside.

To verify that the structure does not exceed the approved height, a height survey is required. Please note that the height verification is a two-part process that requires a licensed surveyor to establish existing grade (the grade before any site work) prior to construction, in addition to a follow-up survey once all roof framing is in place. The two-part form must sufficiently establish existing grade in accordance with standard surveying practice.

Prior to issuance of building permit, the [first part of the Height Survey Verification form](#) must be completed and submitted to the Community Planning & Permitting Department.

Prior to rough frame inspection, the [second part of the form](#) will be provided upon building permit application and must be submitted to the Community Planning & Permitting Department.

B. EXTERIOR COLORS AND MATERIALS

The application materials indicate that the siding of the new residence will consist of a light beige stucco and grey & beige stone veneer, while the roofing will be a mixture of dark asphalt shingle, EPDM, and dark grey metal. Dark grey metal will also

SPR-22-0133: Gravante Residence
 6650 Fairview Drive
 Page 7 of 11
 July 31, 2023

be used on windows and accents as shown in the submitted elevations and exterior materials exhibit. These colors and materials are approved as proposed, however all metal materials must use a matte, non-reflective finish.

Prior to issuance of a Certificate of Occupancy, the Community Planning & Permitting Department must inspect and verify that the approved color samples are used on the new structure.

C. EXTERIOR LIGHTING

The locations and types of exterior lighting fixtures were not provided in the application. Given the visible position in the landscape and the rural character of the area, lighting has the potential to cause negative visual impacts. In order to minimize adverse visual impacts, lighting on site should be limited to one (1) fixture for each exterior entrance and the use of landscape or driveway lighting is discouraged.

Prior to issuance of building permits, one copy of a proposed lighting plan must be submitted to the Community Planning & Permitting Department for review and approval. The lighting plan shall be included as part of the building plan set required at the time of permit application.

NOTE: [Down lighting](#) is required, meaning that all bulbs must be fully shielded to prevent light emissions above a horizontal plane drawn from the bottom of the fixture. All exterior light fixtures must be in conformance with [Article 7-1600](#) and [Article 18-162A](#) of the Boulder County Land Use Code.

Prior to issuance of a Certificate of Occupancy/At the final inspection, the full installation of the approved lighting plan must be inspected and approved by the Community Planning & Permitting Department.

11. *The location of the development shall be compatible with the natural topography and existing vegetation and the development shall not cause unnecessary or excessive site disturbance. Such disturbance may include but is not limited to long driveways, oversized parking areas, or severe alteration of a site's topography. Driveways or grading shall have a demonstrated associated principal use.*

A. LOCATION

The locations shown on the site plan dated 05/24/2023 are approved as proposed.

B. EARTHWORK AND GRADING

The following earthwork and grading requirements are approved.

Driveway Earthwork:	35 cubic yards cut and 141 cubic yards fill
Foundational Earthwork: (exempt from 500 cubic yards threshold)	379 cubic yards cut and 360 cubic yards backfill

SPR-22-0133: Gravante Residence
6650 Fairview Drive
Page 8 of 11
July 31, 2023

C. GRADING NARRATIVE

The application materials indicate that construction of the residence will require 379 cubic yards of foundation cut and 360 cubic yards of backfill. 176 cubic yards of other grading is proposed on site, for driveway improvements and construction of a walkway that will approach the upper level of the residence.

The grading plan provided by the Hager Company, dated 5/24/2023, indicates grading outside the access easement at approximately Station 2+25.

At building permit, provide proof of permission to grade out the access easement with an executed construction easement or other acceptable mechanism.

Prior to issuance of building or grading permits, submit to this office a narrative describing where excess foundation cut (other than that used for backfill within the foundation) will be transported. If the cut will be located on site as fill, be sure to delineate the fill location on the re-vegetation plan as well as indicate the method of re-vegetation for any disturbed areas. The location of any excess fill on the site will have to be approved by the Community Planning & Permitting Department.

All reasonable efforts shall be made to minimize the site disturbance associated with this development proposal. Total earthwork (excluding normal excavation contained within structure footings and foundations) approaching the 500 cubic yard trigger for [Limited Impact Special Use Review](#) will require grading plans certified by a registered Professional Engineer.

Prior to issuance of a Certificate of Occupancy, the location and receipt for transport and dumping must be submitted to the Community Planning & Permitting Department so that receipt of fill materials may be verified.

D. UTILITIES

To minimize disturbances to the site, all utility service lines shall be routed underground (see [Article 7-1200](#) of the Code) and should be located in areas already disturbed or proposed to be disturbed (e.g., along driveway).

Prior to issuance of building and grading permits, submit to the Community Planning & Permitting Department for review and approval a plan depicting the routing of all utility services. The utility routing plan shall be included as part of the building plan set required at the time of permit application.

At the time of building inspections, full installation of the utilities per the approved plan must be inspected and confirmed by the Community Planning & Permitting Department.

E. RETAINING WALLS

Any retaining wall that retains in excess of two feet of unbalanced fill will require engineered plans. Retaining walls over four feet in height, as measured from the bottom of the foundation to the top of the wall must either be included on the building permit for the residence or have a separate building permit. Resolve details for the engineering of the retaining walls with the Building Safety & Inspection Services Team. The location of

SPR-22-0133: Gravante Residence
 6650 Fairview Drive
 Page 9 of 11
 July 31, 2023

all proposed retaining walls, including the size and height must be detailed on the Revegetation Plan.

Prior to the issuance of building or grading permits, submit for review and approval by the Community Planning & Permitting Department information on the proposed construction materials and color for all required retaining walls. Keep in mind that any retaining walls must blend with the natural environment as much as possible.

Prior to issuance of a Certificate of Occupancy, the installation of the approved retaining walls must be completed and approved by the Community Planning & Permitting Department.

12. *Runoff, erosion, and/or sedimentation from the development shall not have a significant adverse impact on the surrounding area.*

A. REVEGETATION PLAN

The application materials included a Civil Engineering Site Plan that briefly mentions revegetation of disturbed areas, but did not include the typical level of detail required for revegetation plans that meet county standards.

Prior to issuance of building or grading permits, submit to the Community Planning & Permitting Department for review and approval one copy of the proposed Revegetation Plan that conforms to the requirements as described on the materials located on our [Revegetation Page](#).

The plan must also show the location of all erosion control devices such as silt fence, straw bales, riprap and retaining walls. Cut and fill slopes are not to exceed a slope of 2:1 (slopes of 1.5:1 may be allowed in areas with soils and exposures conducive to good revegetation or if the plan takes steps to improve the revegetative properties of the site.) The grade of all cut and fill slopes must be included on the revegetation plan. The plan must include details regarding the reclamation of existing and proposed cut and fill slopes.

Prior to issuance of a Certificate of Occupancy, the full installation of the approved revegetation plan must be inspected and approved by the Community Planning & Permitting Department. If weather is not conducive to seeding or if adequate revegetation efforts have not occurred and vegetation is not adequately established at the time of final inspection request, an irrevocable letter of credit or monies deposited into a County Treasurer account will be required to assure the success of revegetation. You should consider the following well in advance of your revegetation inspection:

- a. Whether you are applying for a Certificate of Occupancy, final inspection, or the return of funds held in escrow for completion of revegetation, some level of germination and growth of grass seed is required.
- b. Keep in mind that the steeper the slopes and dryer the soil, the greater the attention needed to establish a level of germination adequate to obtain revegetation approval.
- c. Areas of disturbance found at inspection not included on the revegetation plan are still subject to reseeding and matting.

SPR-22-0133: Gravante Residence
 6650 Fairview Drive
 Page 10 of 11
 July 31, 2023

Incomplete revegetation is the leading cause for delays in obtaining a Certificate of Occupancy.

B. SILT BARRIER

A silt barrier must be installed down slope of all disturbed areas prior to construction and maintained throughout the construction process until revegetation has been established. Silt barrier construction shall be in accordance with the Colorado Storm Water regulations (see our [silt barrier](#) handout). If any surface water is channeled around or through the disturbed areas, anchored straw bale barriers shall also be installed to filter and slow channeled flow.

Prior to issuance of building or grading permits, details regarding the placement and construction of the silt fence must be submitted to and approved by the Community Planning & Permitting Department. The placement and profile of the silt fence may be shown on the Revegetation Plan. The silt fence must be installed before construction commences and remain in place until vegetation is sufficiently established on the disturbed soil.

Prior to any grading or site disturbance, the silt barrier location and materials must be installed as required per the approved plans.

At the time of the footing foundation inspection and all subsequent inspections, the Community Planning & Permitting Department must confirm the silt barrier location and materials have been installed as required per the approved plans. Any other areas on site are subject to installation of silt fences, if needed.

- 14. *Where an existing principal structure is proposed to be replaced by a new principal structure, construction or subsequent enlargement of the new structure shall not cause significantly greater impact (with regard to the standards set forth in this Section 4-806) than the original structure.***

Although the existing principle structure on the property is proposed to be replaced by a new one, staff does not foresee a significantly greater impact with regards to the Site Plan Review standards if the new residence is constructed as conditioned because it will utilize the existing area of disturbance and will not pose an undue visual impact to the surrounding neighborhood.

- 15. *The proposal shall be consistent with the Comprehensive Plan, any applicable intergovernmental agreement affecting land use or development, and this Code.***

As conditioned this proposal will be consistent with the Comprehensive Plan, intergovernmental agreements, and this Code.

ADDITIONAL REQUIREMENTS AND INFORMATION:

BUILDING PERMIT: A building permit, plan review, inspection approvals, and a Certificate of Occupancy (“C.O.”) are required for the proposed residence. Please refer to the county’s adopted 2015 editions of the International Codes and code amendments, which can be found via the

SPR-22-0133: Gravante Residence
 6650 Fairview Drive
 Page 11 of 11
 July 31, 2023

internet under the link: 2015 Building Code Adoption & Amendments, at the following URL:
[Amendments to Boulder County Building Code effective June 6, 2022](#)

AUTOMATIC FIRE SPRINKLER SYSTEM: Under the 2015 International Residential Code (“IRC”) as adopted by Boulder County, all new one- and two-family dwellings and townhouses are required to be equipped with an automatic fire sprinkler system that is designed and installed in accordance with NFPA 13D or IRC Section P2904.

BUILDSMART: Please refer to the county’s adoption and amendments to Chapter 11 of the IRC, the county’s “BuildSmart” program, for the applicable requirements for energy conservation and sustainability for residential additions and new residential buildings. Please be aware that there are energy related requirements of this code that may require the use of renewable energy systems (such as rooftop solar systems) that will also need to be approved by your electric utility provider. In some cases, there may be limitations on the size of on-site systems allowed by your utility provider that could constrain the project design. We strongly encourage discussions between the design team and the utility company as early in the process as possible in order to identify these constraints.

ELECTRIC VEHICLE CHARGING OUTLET: Boulder County Building Code requires:

- a. R329.1 Electric vehicle charging pre-wire option. In addition to the one 125- volt receptacle outlet required for each car space by NEC Section 210.52(G)(1.), every new garage or carport that is accessory to a one- or twofamily dwelling or townhouse shall include at least one of the following, installed in accordance with the requirements of Article 625 of the Electrical Code:
 - i. A Level 2 (240-volt) electric vehicle charging receptacle outlet, or
 - ii. Upgraded wiring to accommodate the future installation of a Level 2 (240-volt) electric vehicle charging receptacle outlet, or
 - iii. Electrical conduit to allow ease of future installation of a Level 2 (240- volt) electric vehicle charging receptacle outlet.

DESIGN WIND AND SNOW LOADS: The design wind and ground snow loads for the property are 155 mph (Vult) and 40 psf, respectively.

IGNITION-RESISTANT CONSTRUCTION AND DEFENSIBLE SPACE: Please refer to Section R327 of the Boulder County Building Code for wildfire hazard mitigation requirements, including ignition-resistant construction and defensible space.

DECONSTRUCTION (INSTEAD OF DEMOLITION) OF EXISTING RESIDENCE/JOBSITE WASTE REDUCTION & RECYCLING: To comply with the [Boulder County Building Code](#), the existing residence must be deconstructed and a Deconstruction Plan will be required at the time of building permit submittal. Deconstruction consists of salvaging materials from an existing structure and the recycling, resale, or reuse of the materials as an alternative to sending them to a landfill. In addition to the deconstruction of existing residential structures, all construction jobsite wood, scrap metal, cardboard, and concrete must be recycled. There are several means by which the existing residence may be removed, reused, and/or the building materials recycled. Please contact the [Resource Yard](#) at 303-419-5418 and the Building Safety & Inspection Services Team @ 303-441-3926 for more information on deconstruction, local deconstruction contractors, and reuse/recycling of building materials.



Boulder County Land Use Department

Courthouse Annex Building
2045 13th Street • PO Box 471 • Boulder, Colorado 80302
Phone: 303-441-3930
Email: planner@bouldercounty.org
Web: www.bouldercounty.org/lu
Office Hours: Mon., Wed., Thurs., Fri. 8 a.m. to 4:30 p.m.
Tuesday 10 a.m. to 4:30 p.m.

Shaded Areas for Staff Use Only

Intake Stamp

Planning Application Form

The Land Use Department maintains a submittal schedule for accepting applications. Planning applications are accepted on Mondays, by appointment only. Please call 303-441-3930 to schedule a submittal appointment.

Project Number		Project Name		
<input type="checkbox"/> Appeal	<input type="checkbox"/> Modification of Site Plan Review	<input type="checkbox"/> Road Name Change	<input type="checkbox"/> Special Use (Oil & Gas development)	
<input type="checkbox"/> Correction Plat	<input type="checkbox"/> Modification of Special Use	<input type="checkbox"/> Road/Easement Vacation	<input type="checkbox"/> State Interest Review (1041)	
<input type="checkbox"/> Exemption Plat	<input type="checkbox"/> Preliminary Plan	<input type="checkbox"/> Site Plan Review	<input type="checkbox"/> Subdivision Exemption	
<input type="checkbox"/> Final Plat	<input type="checkbox"/> Resubdivision (Replat)	<input type="checkbox"/> Site Plan Review Waiver	<input type="checkbox"/> Variance	
<input type="checkbox"/> Limited Impact Special Use	<input type="checkbox"/> Rezoning	<input type="checkbox"/> Sketch Plan	<input type="checkbox"/> Other:	
<input type="checkbox"/> Limited Impact Special Use Waiver		<input type="checkbox"/> Special Use/SSDP		
<input type="checkbox"/> Location and Extent				
Location(s)/Street Address(es) 6650 Fairview Drive, Boulder, CO 80303				
Subdivision Name Baseline Heights Subdivision				
Lot(s) 10	Block(s) 1	Section(s)	Township(s)	Range(s)
Area in Acres .91 ac	Existing Zoning ER	Existing Use of Property Single Family Residence	Number of Proposed Lots 1	
Proposed Water Supply Hoover Hill Water	Proposed Sewage Disposal Method Hoover Hill Water & Sanitation			

Applicants:

Applicant/Property Owner Anne & Gary Gravante		Email aavg360@gmail.com, ggravant@gmail.com		
Mailing Address 6650 Fairview Drive				
City Boulder	State CO	Zip Code 80303	Phone 303-246-3607, 303-596-8218	
Applicant/Property Owner/Agent/Consultant		Email		
Mailing Address				
City	State	Zip Code	Phone	
Agent/Consultant Mosaic Architects & Interiors		Email ttownsend@mosaicarchitects.com, drestivo@mosaicarchitects.com		
Mailing Address 1701 15th Street, Suite C				
City Boulder	State CO	Zip Code 80302	Phone 720-601-9036	

Certification (Please refer to the Regulations and Application Submittal Package for complete application requirements.)

I certify that I am signing this Application Form as an owner of record of the property included in the Application. I certify that the information and exhibits I have submitted are true and correct to the best of my knowledge. I understand that all materials required by Boulder County must be submitted prior to having this matter processed. I understand that public hearings or meetings may be required. I understand that I must sign an Agreement of Payment for Application processing fees, and that additional fees or materials may be required as a result of considerations which may arise in the processing of this docket. I understand that the road, school, and park dedications may be required as a condition of approval.

I understand that I am consenting to allow the County Staff involved in this application or their designees to enter onto and inspect the subject property at any reasonable time, without obtaining any prior consent.

All landowners are required to sign application. If additional space is needed, attach additional sheet signed and dated.

Signature of Property Owner	Printed Name Anne A.V. Gravante	Date 12.6.22
Signature of Property Owner	Printed Name GARY GRAVANTE	Date 12/6/22

The Land Use Director may waive the landowner signature requirement for good cause, under the applicable provisions of the Land Use Code.






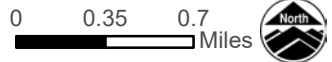
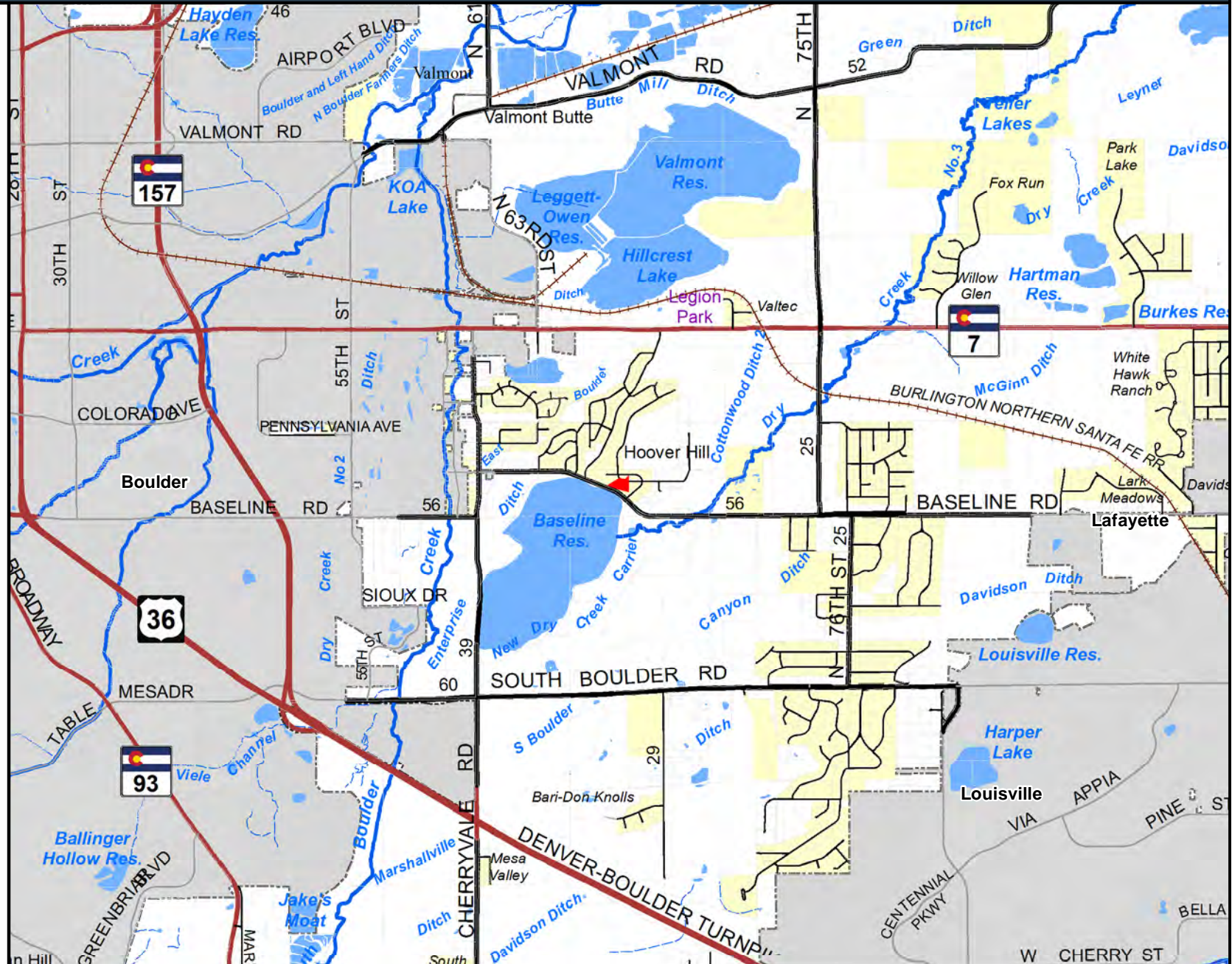
Community Planning & Permitting

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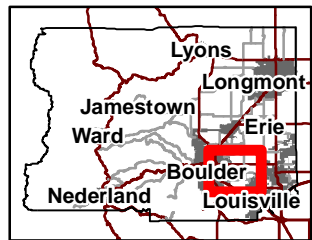
Vicinity

6650 FAIRVIEW

-  Subject Parcel
-  Municipalities
- Subdivisions**
-  Subdivisions



Area of Detail Date: 5/23/2022



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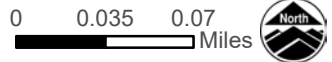
Location

6650 FAIRVIEW

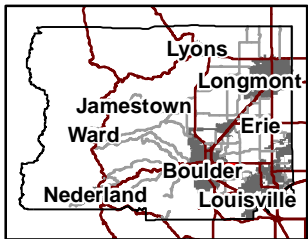
Subject Parcel

Subdivisions

Subdivisions



Area of Detail Date: 5/23/2022



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Aerial

6650 FAIRVIEW

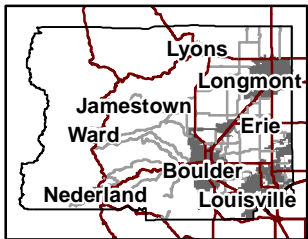
 Subject Parcel



0 0.004 0.008 Miles



Area of Detail Date: 5/23/2022



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Aerial

6650 FAIRVIEW

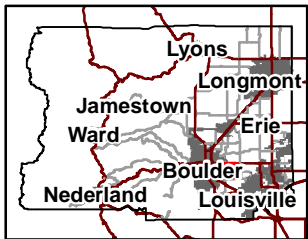
 Subject Parcel



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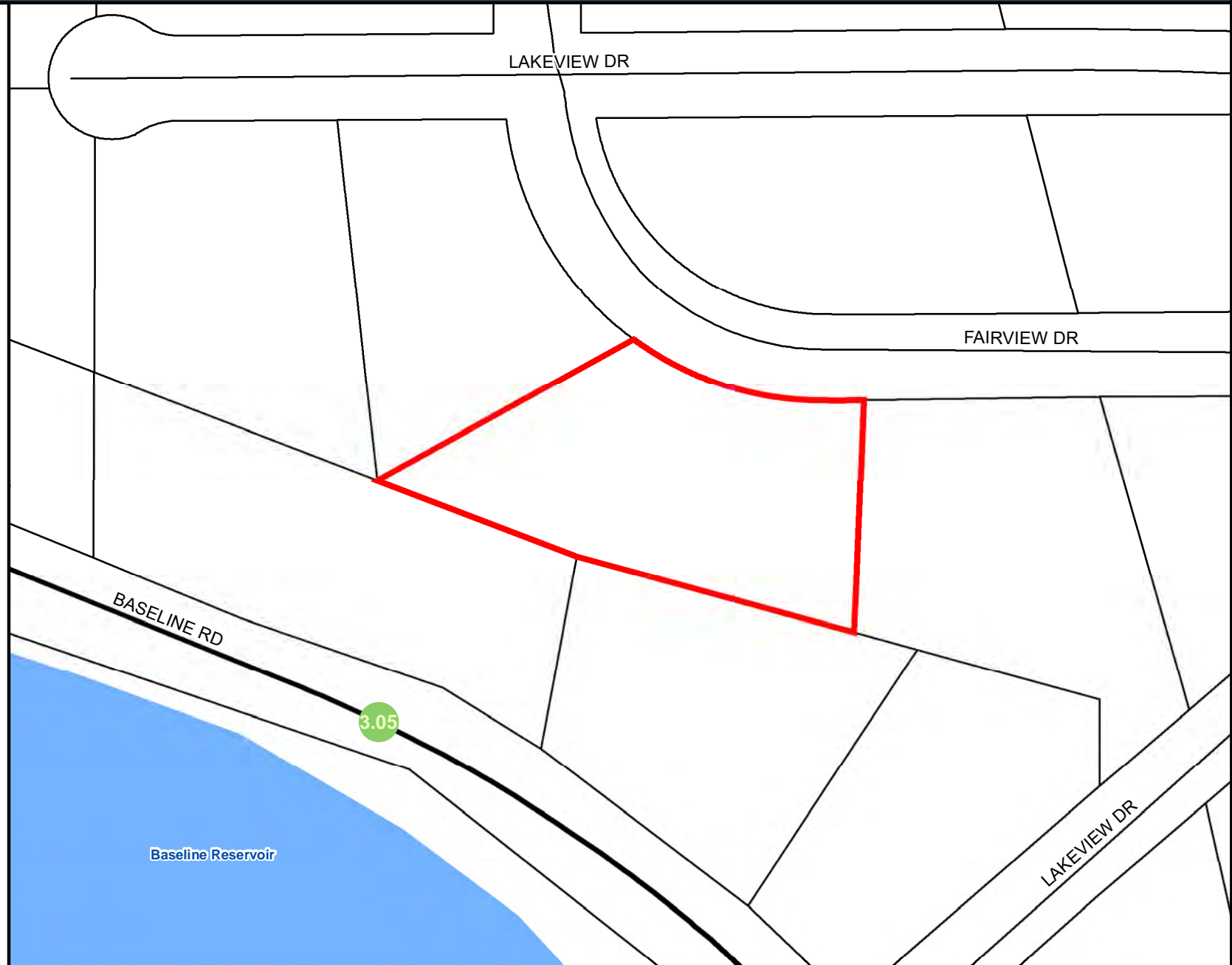
Community Planning & Permitting

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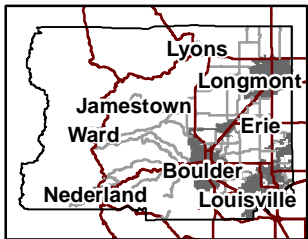
Comprehensive Plan

6650 FAIRVIEW

 Subject Parcel



Area of Detail Date: 5/23/2022



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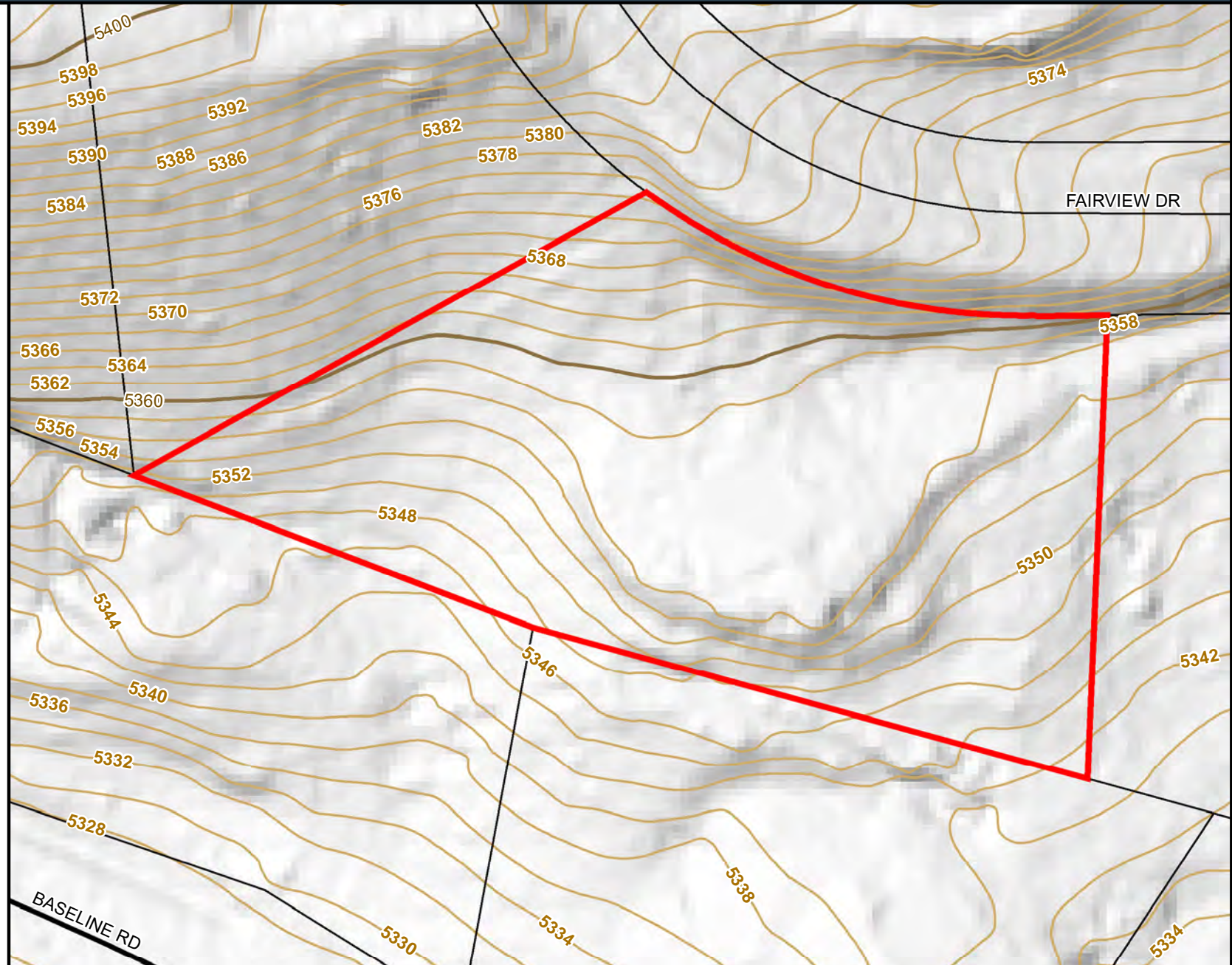
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Elevation Contours

6650 FAIRVIEW

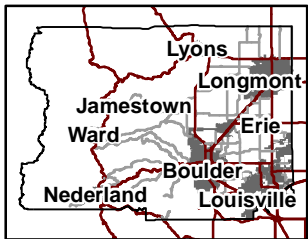
- Subject Parcel
- Contours 40'
- Contours 2'



0 0.004 0.008 Miles



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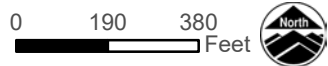
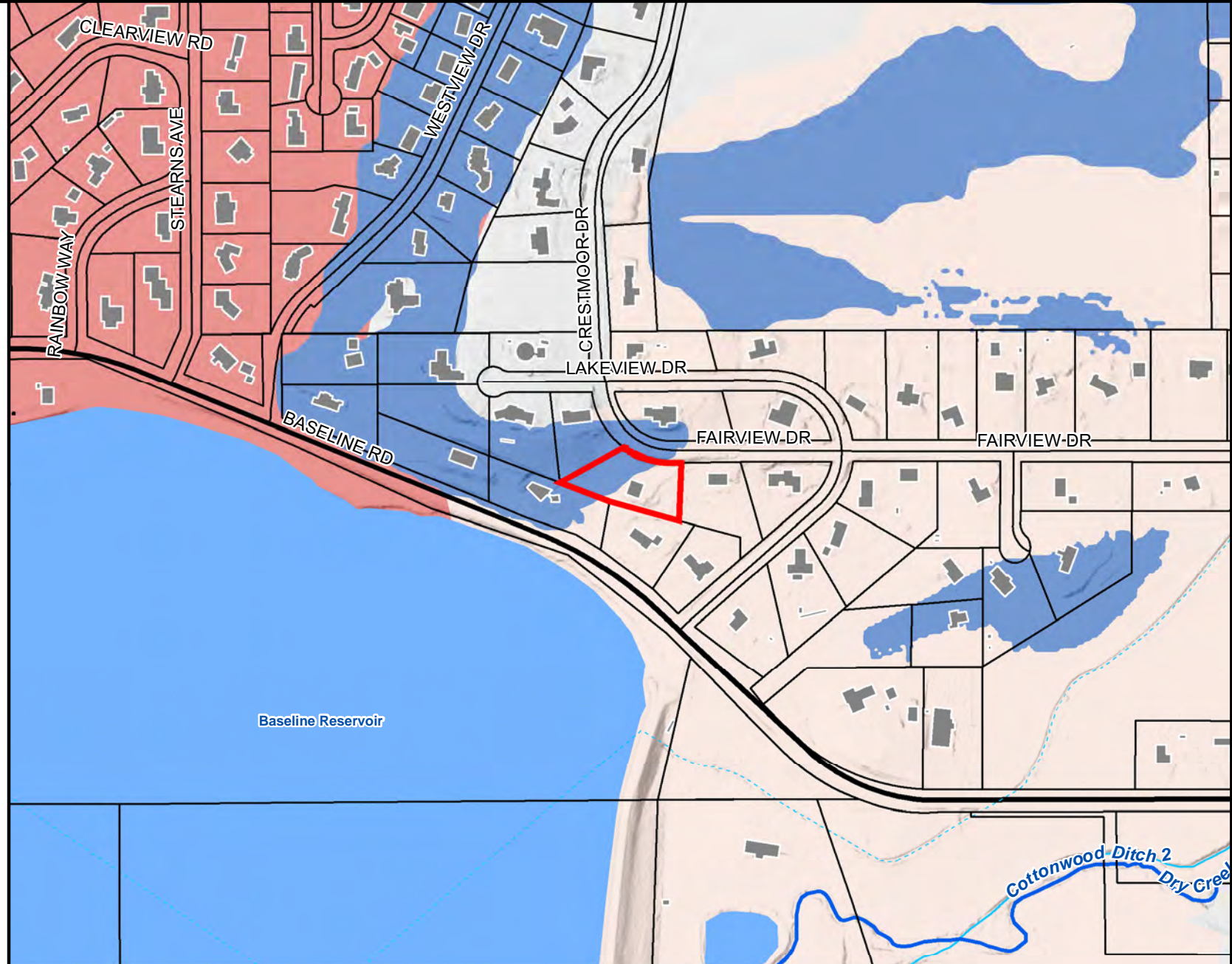
Community Planning & Permitting

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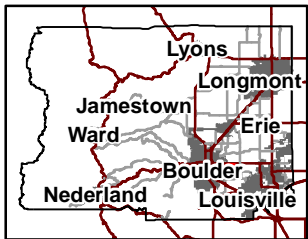
Geologic Hazards

6650 FAIRVIEW

-  Subject Parcel
-  Very High Swelling Soil Potential
-  Moderate Swelling Soil Potential



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Planning Areas

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Subject Parcel

Active IGA Boundary

Active IGA Designation

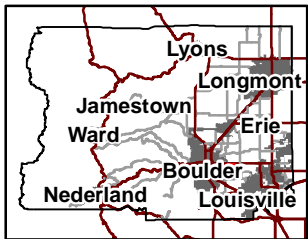
BVCP



0 0.035 0.07 Miles



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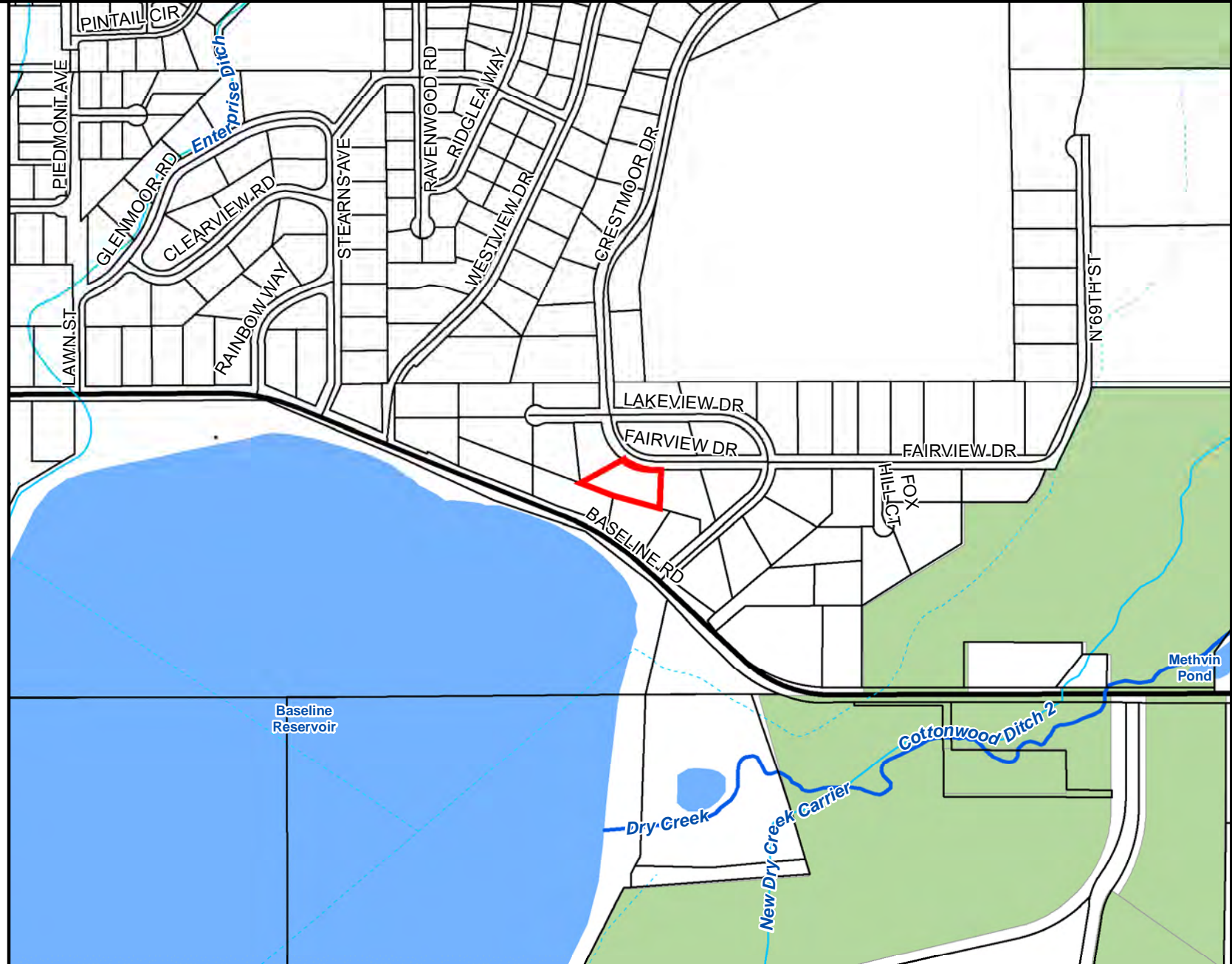
Community Planning & Permitting

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Public Lands & CEs

6650 FAIRVIEW

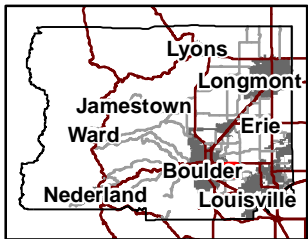
-  Subject Parcel
-  OSMP Properties



0 0.05 0.1 Miles



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Zoning

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Subject Parcel

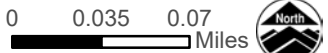
Major Road Setbacks

110 feet

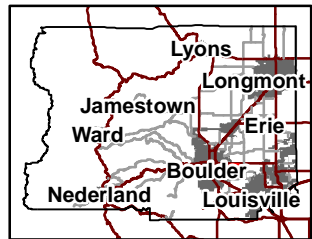
Zoning Districts

Estate Residential

Rural Residential



Area of Detail Date: 5/23/2022



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Site Plan Review Fact Sheet

The applicant(s) is/are required to complete each section of this Site Plan Review (SPR) Fact Sheet even if the information is duplicated elsewhere in the SPR application. Completed Fact Sheets reduce the application review time which helps expedite the Director's Determination. Please make duplicates of this SPR Fact Sheet if the project involves more than two structures.

Structure #1 Information^X

Type of Structure: (e.g. residence, studio, barn, etc.)				Residence	
Total Existing Floor Area: (Finished + Unfinished square feet including garage if attached.)				2,498 sq. ft.	Deconstruction: 2,498 sq. ft.
Are new floor areas being proposed where demolition will occur? <input type="checkbox"/> No <input type="checkbox"/> Yes (include the new floor area square footage in the table below)					
Proposed Floor Area (New Construction Only)				<input checked="" type="checkbox"/> Residential <input type="checkbox"/> Non-Residential	
	Finished	Unfinished	Total	Height (above existing grade)	32'-0"
Basement:	0 sq. ft.	0 sq. ft.	0 sq. ft.	Exterior Wall Material	Stone & Stucco
First Floor:	1,866 sq. ft.	0 sq. ft.	1,866 sq. ft.	Exterior Wall Color	Beige & Gray
Second Floor:	2,685 sq. ft.	0 sq. ft.	2,685 sq. ft.	Roofing Material	EPDM & Asphalt Shingles
Garage: <input type="checkbox"/> Detached <input checked="" type="checkbox"/> Attached	0 sq. ft.	622 sq. ft.	622 sq. ft.	Roofing Color	Dark Gray
*Covered Porch:	0 sq. ft.	958 sq. ft.	958 sq. ft.	Total Bedrooms	3
Total:	4,553 sq. ft.	1,580 sq. ft.	6,131 sq. ft.		

Structure #2 Information

Type of Structure: (e.g. residence, studio, barn, etc.)					
Total Existing Floor Area: (Finished + Unfinished square feet including garage if attached.)				sq. ft.	Deconstruction: sq. ft.
Are new floor areas being proposed where demolition will occur? <input type="checkbox"/> No <input type="checkbox"/> Yes (include the new floor area square footage in the table below)					
Proposed Floor Area (New Construction Only)				<input type="checkbox"/> Residential <input type="checkbox"/> Non-Residential	
	Finished	Unfinished	Total	Height (above existing grade)	
Basement:	sq. ft.	sq. ft.	sq. ft.	Exterior Wall Material	
First Floor:	sq. ft.	sq. ft.	sq. ft.	Exterior Wall Color	
Second Floor:	sq. ft.	sq. ft.	sq. ft.	Roofing Material	
Garage: <input type="checkbox"/> Detached <input type="checkbox"/> Attached	sq. ft.	sq. ft.	sq. ft.	Roofing Color	
*Covered Porch:	sq. ft.	sq. ft.	sq. ft.	Total Bedrooms	
Total:	sq. ft.	sq. ft.	sq. ft.		

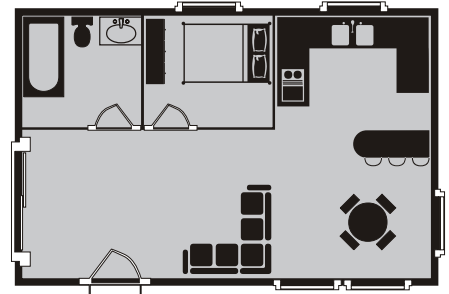
*See Article 18-131A for definition of covered porch.

Project Identification:

Project Name: 6650 Fairview Drive
Property Address/Location: 6650 Fairview Drive, Boulder, CO
Current Owner: Anne & Gary Gravante
Size of Property in Acres: 0.91 ac

Determining Floor Area

Floor Area is measured in terms of square feet. The total square footage is as everything within the exterior face of the exterior walls including garages and basements. **Covered porch area that is attached to the principal structure is not included (see Article 18-131A).** The shaded area on the diagram indicates the area counted as square feet.



Residential vs. Non-Residential Floor Area

Residential Floor Area includes all attached and detached floor area (as defined in Article 18-162) on a parcel, including principal and accessory structures used or customarily used for residential purposes, such as garages, studios, pool houses, home offices and workshops. Gazebos and carports up to a total combined size of 400 square feet are exempt. Barns used for agricultural purposes are not considered residential floor area.

Note: If an existing wall(s) and/or roof(s) are removed and a new wall(s)/roof(s) are constructed, the associated floor area due to the new wall(s)/roof(s) are considered new construction and must be included in the calculation of floor area for the Site Plan Review and shown on this Fact Sheet.

If a Limited Impact Special Review is required, then call 303-441-3930 and ask for a new Pre-Application conference for the Limited Impact Special Review.

Grading Calculation

Cut and fill calculations are necessary to evaluate the disturbance of a project and to verify whether or not a Limited Impact Special Review is required. Limited Impact Special Review is required when grading for a project involves more than 500 cubic yards (minus normal cut/fill and backfill contained within the foundation footprint).

If grading totals are close to the 500 yard trigger, additional information may be required, such as a grading plan stamped by a Colorado Registered Professional Engineer.

Earth Work and Grading

This worksheet is to help you accurately determine the amount of grading for the property in accordance with the Boulder County Land Use Code. Please fill in all applicable boxes.

Note: Applicant(s) must fill in the shaded boxes even though foundation work does not contribute toward the 500 cubic yard trigger requiring Limited Impact Special Use Review. Also, all areas of earthwork must be represented on the site plan.

Earth Work and Grading Worksheet:

	Cut	Fill	Subtotal
Driveway and Parking Areas	35 CY	141 CY	176 CY
Berm(s)	0 CY	0 CY	0 CY
Other Grading <small>WALK AND OTHER SITE ACCESS GRADING INCLUDED IN LINE 1 VOLUMES ABOVE</small>	35 CY	141 CY	176 CY
Subtotal	35 CY	141 CY	176 CY

Box 1

* If the total in Box 1 is greater than 500 cubic yards, then a Limited Impact Special Review is required.

	Cut	Fill	Total
Foundation	379 CY	360 CY	739 CY
Material cut from foundation excavation to be removed from the property			0 CY <small>(EXCESS FDN CUT TO BE USED ONSITE)</small>

Excess Material will be Transported to the Following Location:

Excess Materials Transport Location:
Excess material, if any, will be transported to an approved site to be determined by the project contractor at time of construction.

Narrative

Use this space to describe any special circumstances that you feel the Land Use Office should be aware of when reviewing your application, including discussion regarding any factors (listed in Article 4-806.2.b.i) used to demonstrate that the presumptive size limitation does not adequately address the size compatibility of the proposed development with the defined neighborhood. If more room is needed, feel free to attach a separate sheet.

Is Your Property Gated and Locked?

Note: If county personnel cannot access the property, then it could cause delays in reviewing your application.

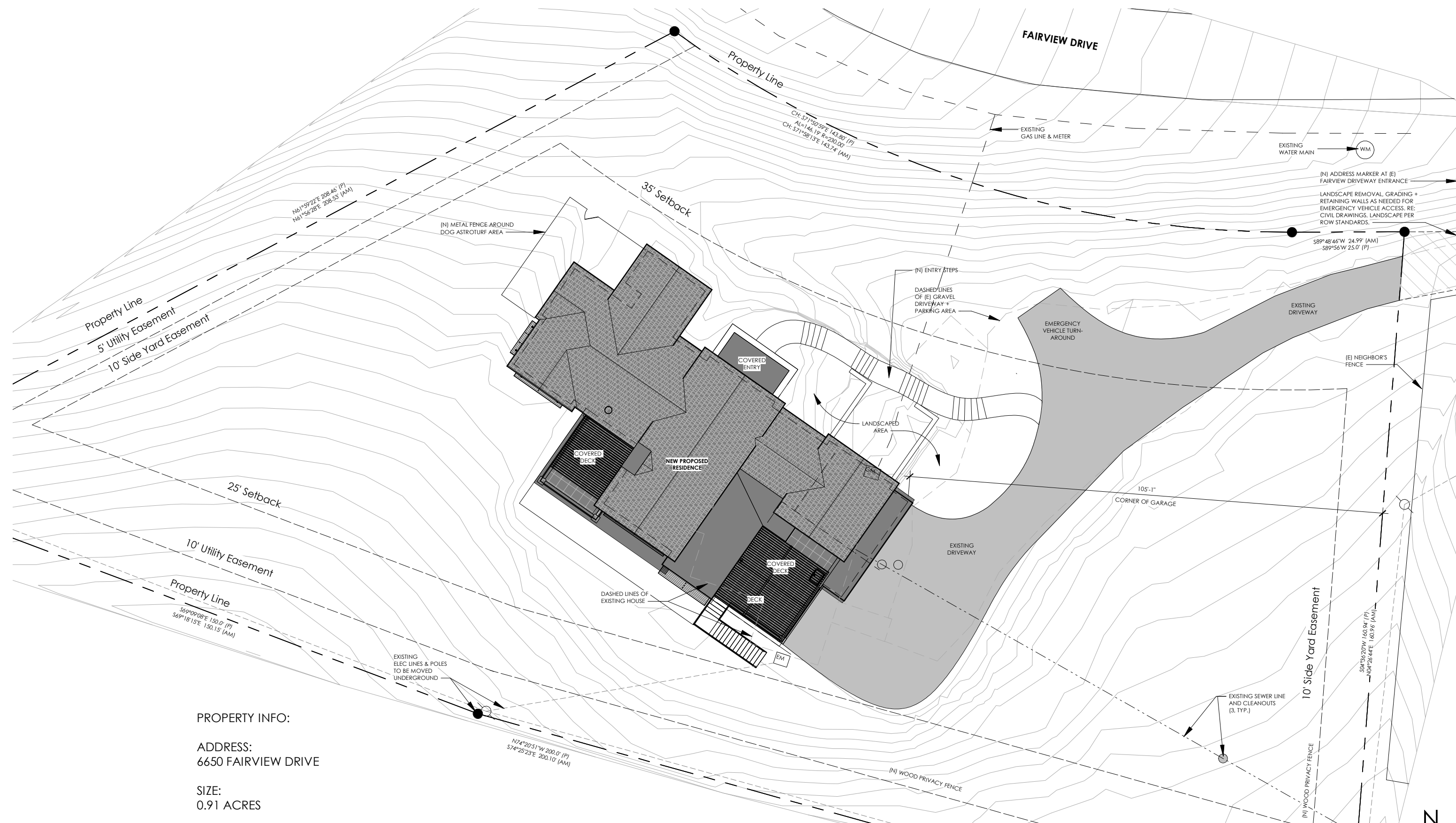
Certification

I certify that the information submitted is complete and correct. I agree to clearly identify the property (if not already addressed) and stake the location of the improvements on the site within four days of submitting this application. I understand that the intent of the Site Plan Review process is to address the impacts of location and type of structures, and that modifications may be required. Site work will not be done prior to issuance of a Grading or Building Permit.

Signature 	Date 5/25/23
-----------------------------------------------------------------------------------------------	---------------------



5/25/23



PROPERTY INFO:

ADDRESS:
6650 FAIRVIEW DRIVE

SIZE:
0.91 ACRES

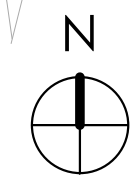
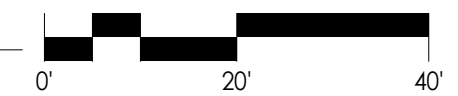
Fairview

6650 Fairview Dr
Boulder, CO 80303

Date: 05/24/2023
Project No: 2204

Drawing Title:
SITE PLAN

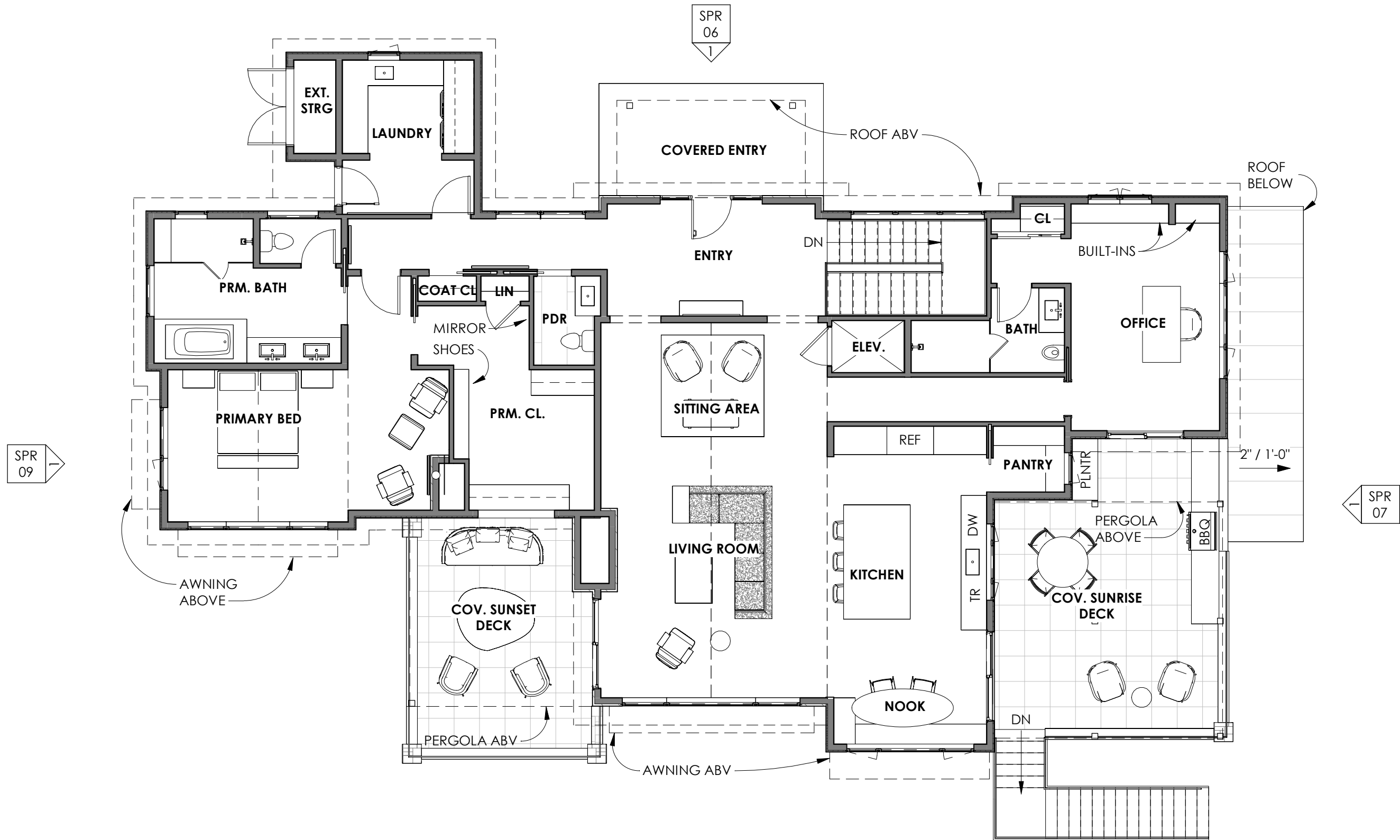
1 SITE PLAN
Scale: 1" = 20'-0"

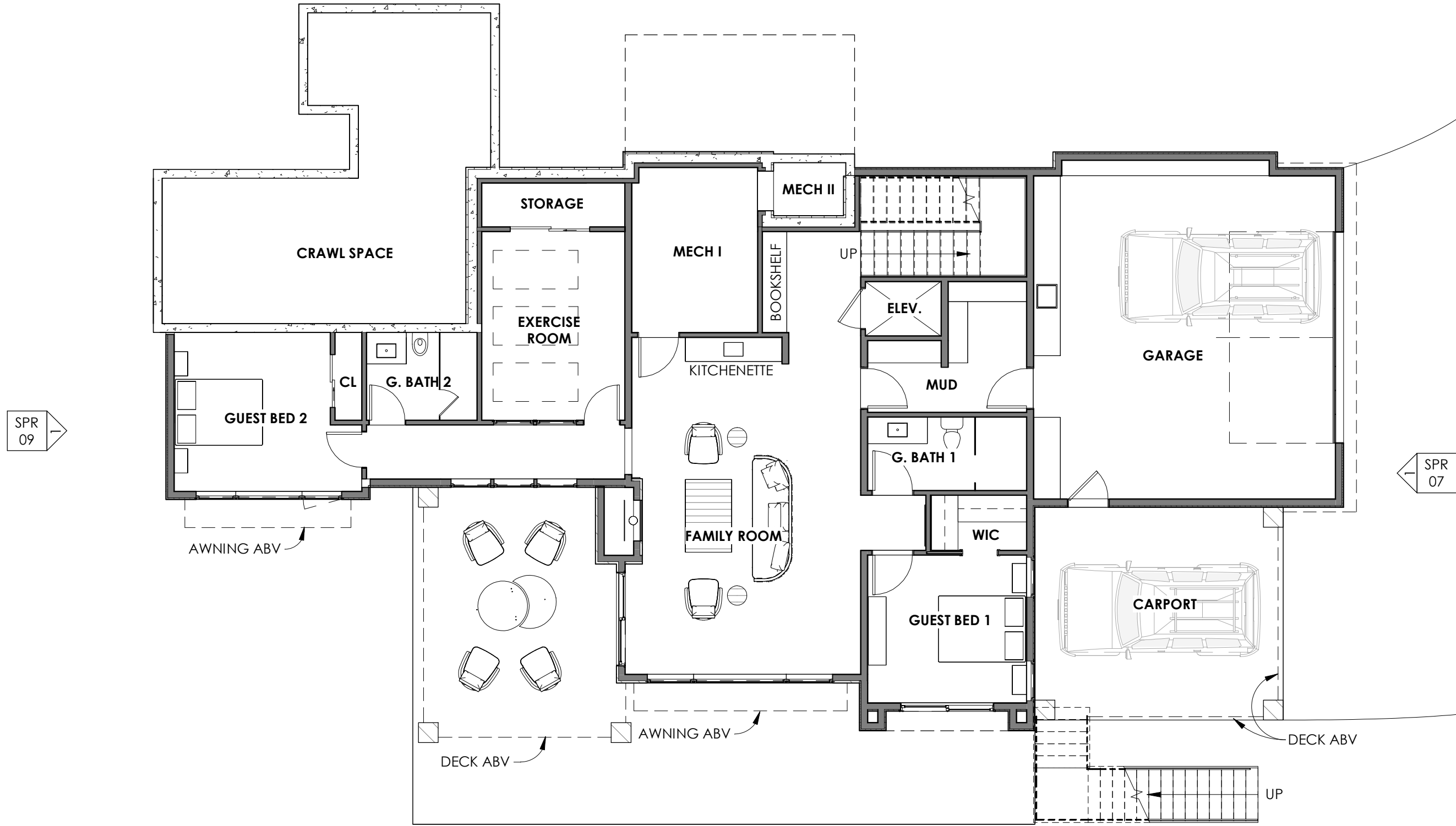


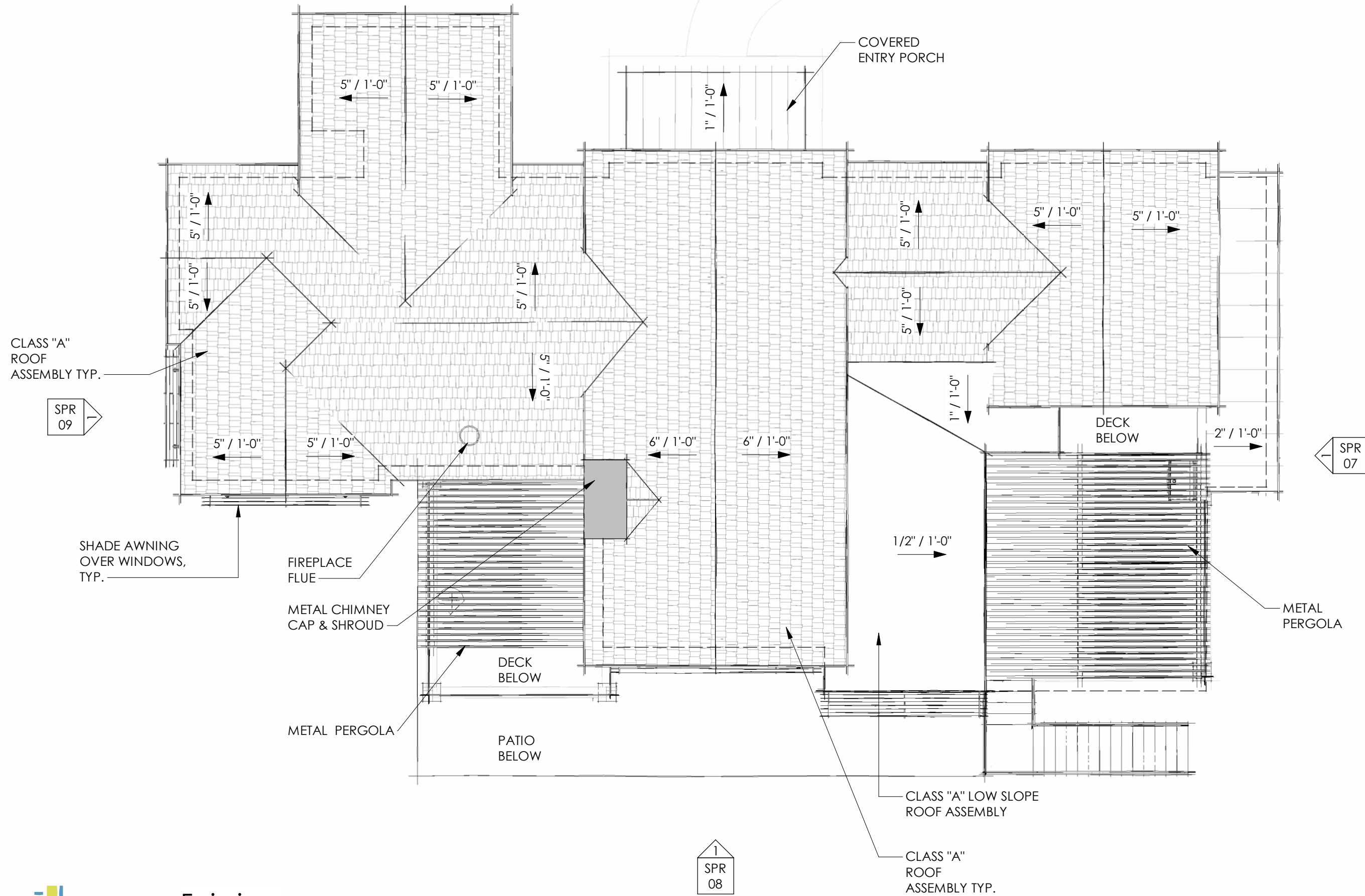
Drawing Scale:
As indicated

SPR 01

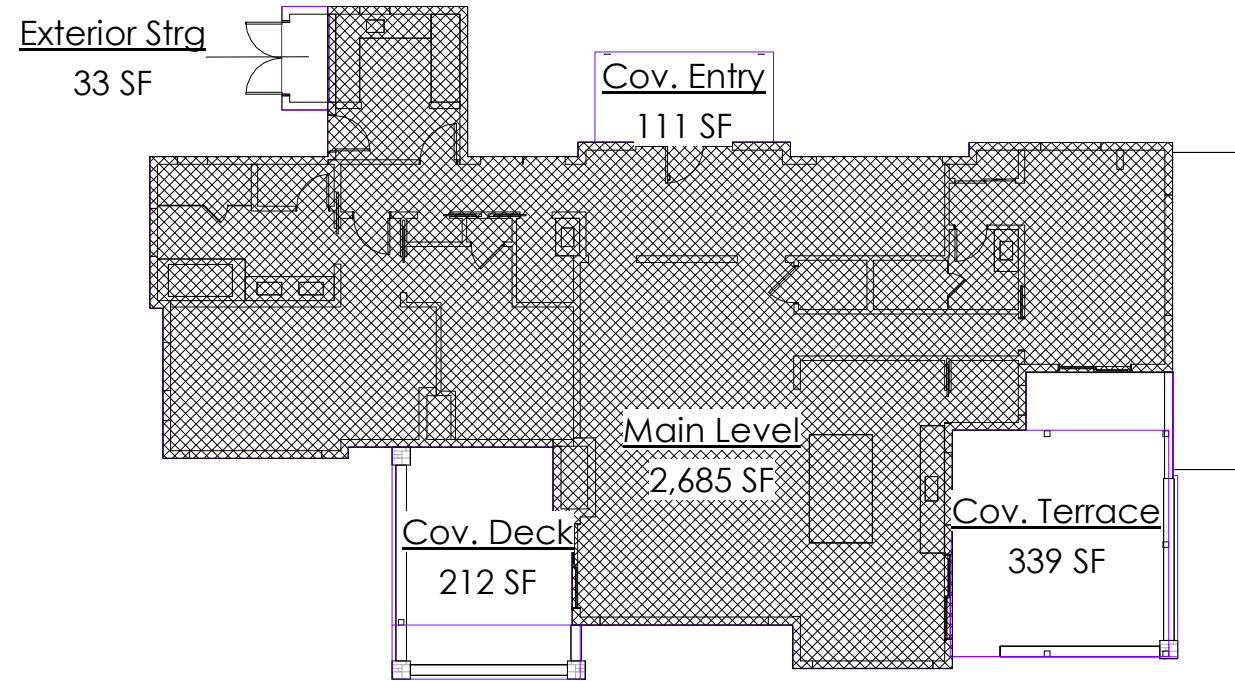








MAIN FLOOR AREA PLAN:



HOUSE GROSS FLOOR AREA BY LEVEL	
Name	Area
Main Level	2,685 SF
Lower Level	1,866 SF
Garage	622 SF
	5,172 SF

Presumptive Size Max. 4,530 SF
Median Res. Floor Area 5,387 SF

Total Covered Porch Area
Per BoCo Land Use Code 18-131A

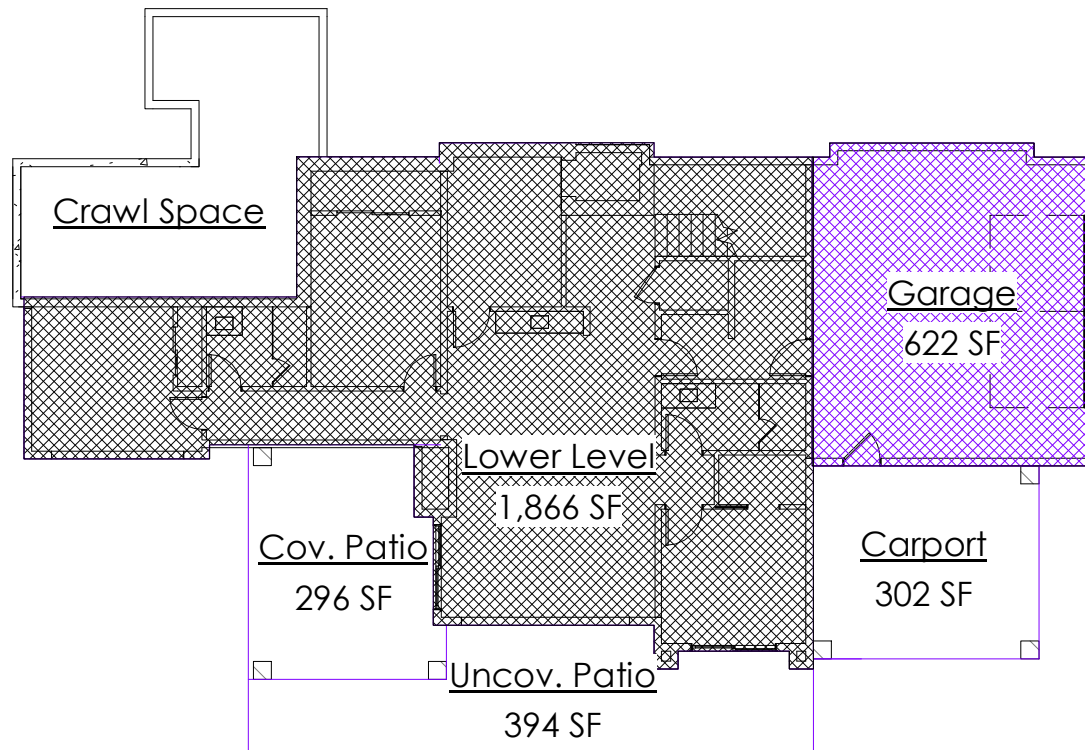
Main Level 662 SF
Lower Level 296 SF

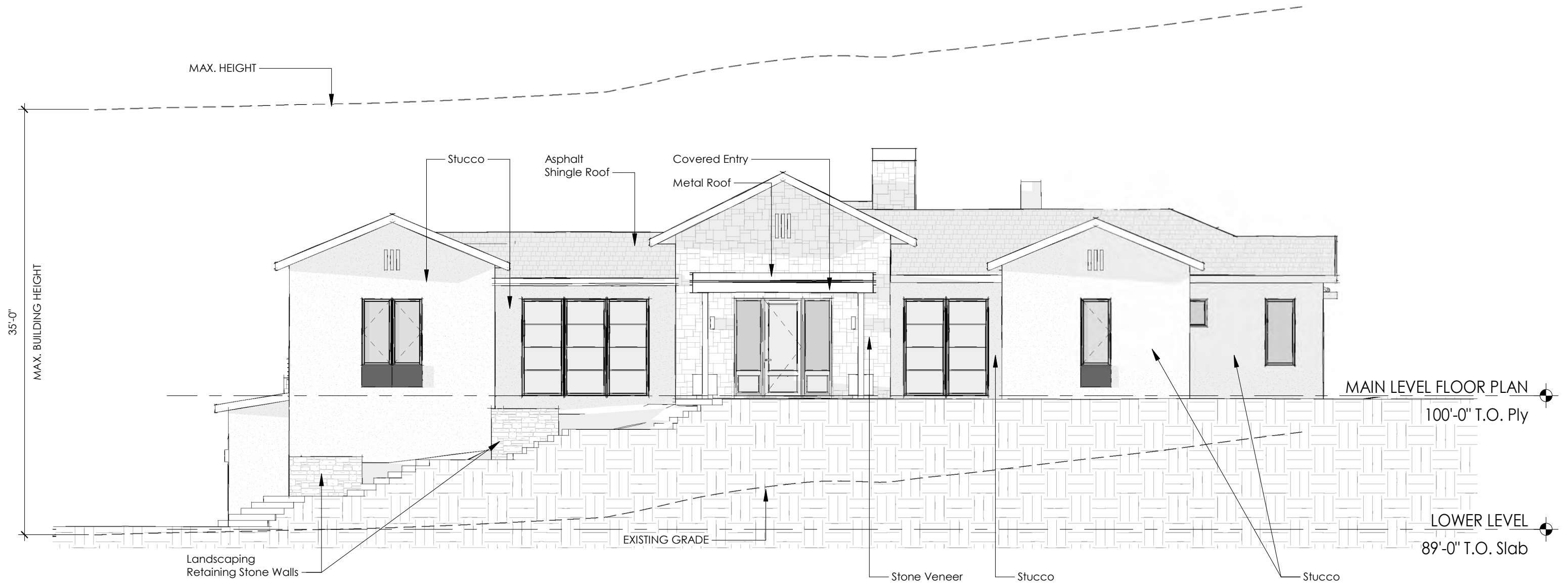
Total 958 SF

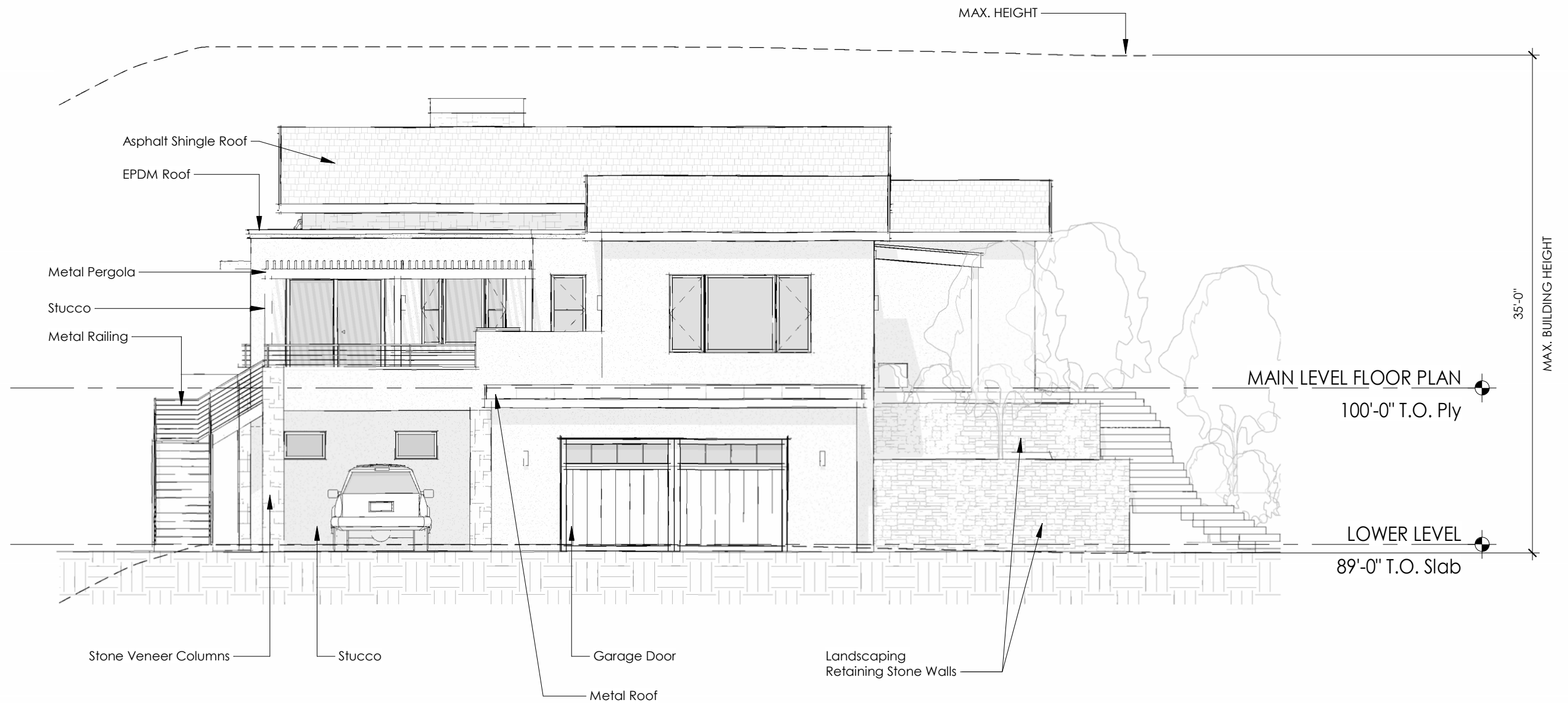
Total Exempt Carport Area
Per BoCo Land Use Code 18-189D and
Docket DC-12-0001

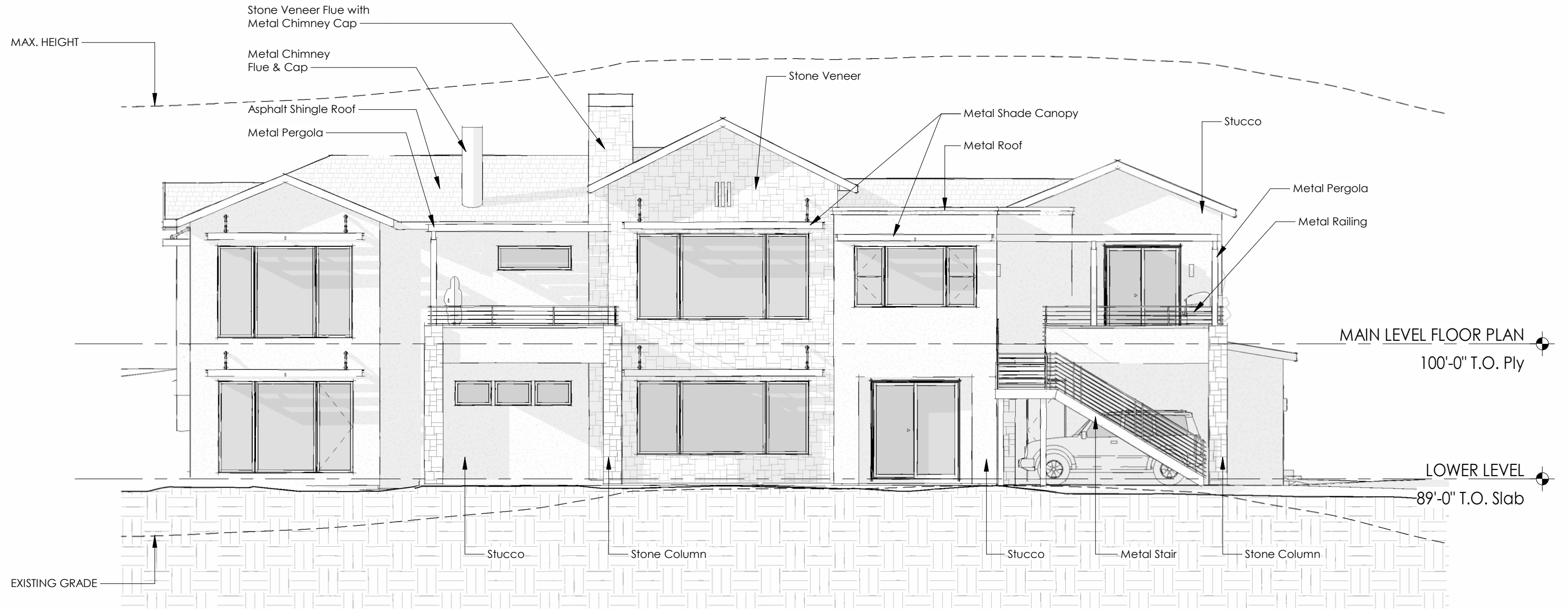
Carport 302 SF

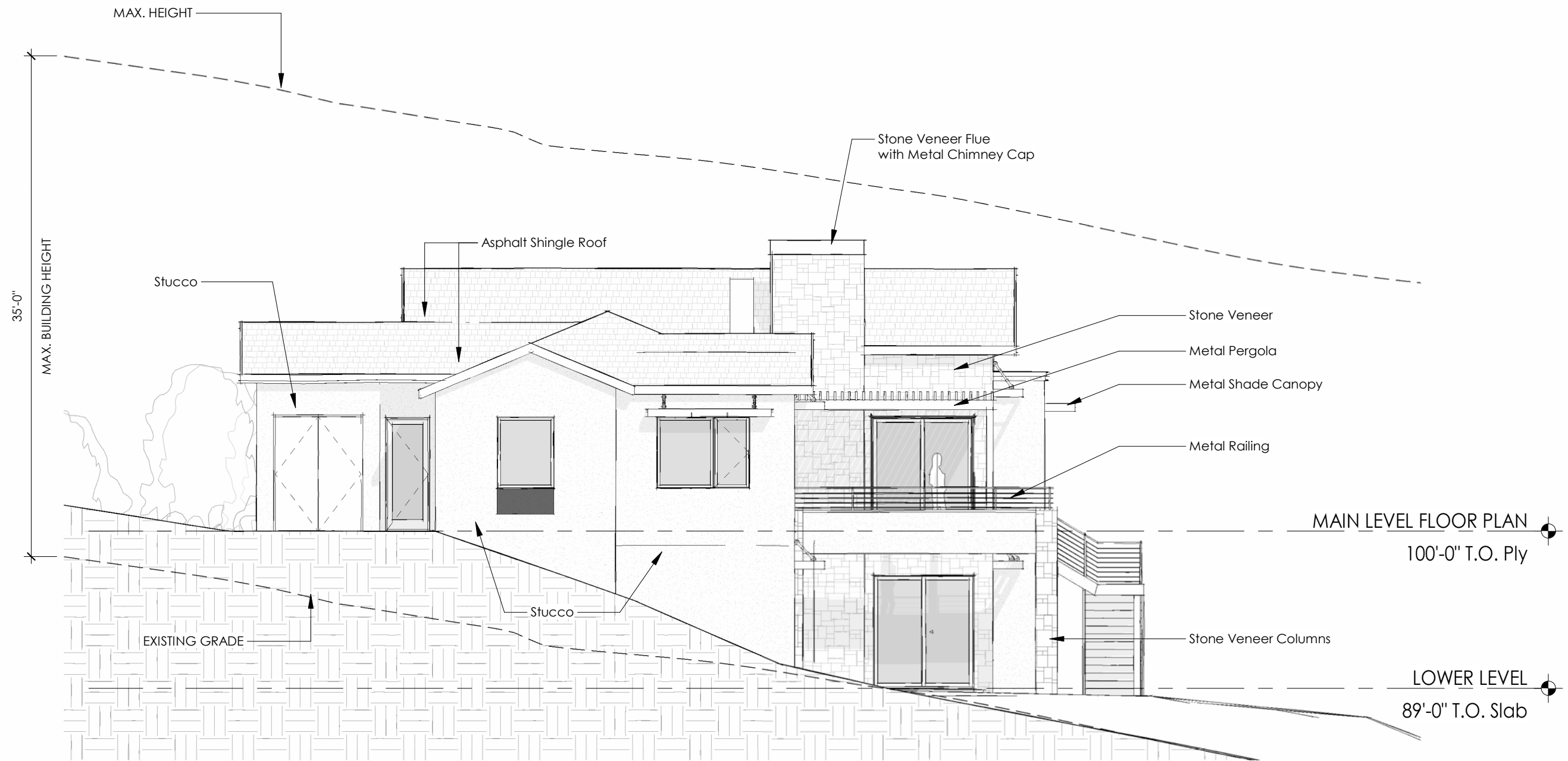
LOWER LEVEL AREA PLAN:











EXTERIOR MATERIALS



STONE VENEER:
Grey & Beige



STUCCO:
Light Beige



ROOF:
Dark Asphalt



WINDOWS & ACCENTS:
Dark Grey Metal



FLAT ROOF:
EPDM



ROOF ACCENTS:
Dark Grey Metal

GRAVANTE RESIDENCE

6650 FAIRVIEW DRIVE
BOULDER, COLORADO 80303

SITE GRADING, REVEGETATION AND EROSION CONTROL PLANS

SHEET INDEX

C0.0	COVER SHEET
C1.0	GRADING, REVEGETATION & EROSION CONTROL PLAN
C1.1	DRIVEWAY PROFILE & SECTIONS
C1.2	SITE DETAILS

GENERAL NOTES:

- ALL MATERIALS AND WORKMANSHIP SHALL BE IN CONFORMANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF THE BOULDER COUNTY, COLORADO DEPARTMENT OF TRANSPORTATION, LOCAL FIRE AUTHORITY, AND APPLICABLE STATE AND LOCAL STANDARDS AND SPECIFICATIONS, INCLUDING BOULDER VALLEY SCHOOL DISTRICT TECHNICAL SPECIFICATIONS. THE CONTRACTOR SHALL HAVE IN POSSESSION AT THE JOB SITE AT ALL TIMES ONE (1) SIGNED COPY OF APPROVED PLANS, STANDARDS AND SPECIFICATIONS. CONTRACTOR SHALL CONSTRUCT AND MAINTAIN EMERGENCY ACCESS ROUTES TO THE SITE AND STRUCTURE AT ALL TIMES PER THE APPLICABLE FIRE DISTRICT REQUIREMENTS. THE CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FOR ANY VARIANCE TO THE ABOVE DOCUMENTS. NOTIFY ENGINEER OF ANY CONFLICTING STANDARDS OR SPECIFICATIONS. IN THE EVENT OF ANY CONFLICTING STANDARD OR SPECIFICATION, THE MORE STRINGENT OR HIGHER QUALITY STANDARD, DETAIL OR SPECIFICATION SHALL APPLY.
- THE CONTRACTOR SHALL OBTAIN, AT HIS OWN EXPENSE, ALL APPLICABLE CODES, LICENSES, STANDARD SPECIFICATIONS, PERMITS, BONDS, ETC., WHICH ARE NECESSARY TO PERFORM THE PROPOSED WORK, INCLUDING, BUT NOT LIMITED TO A LOCAL AND STATE GROUNDWATER DISCHARGE AND COLORADO DEPARTMENT OF HEALTH AND ENVIRONMENT (CDPHE) STORMWATER DISCHARGE PERMIT ASSOCIATED WITH CONSTRUCTION ACTIVITY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE REQUIRED PARTY (OWNER, OWNER'S REPRESENTATIVE, MUNICIPAL/DISTRICT INSPECTOR, GEOTECHNICAL ENGINEER, ENGINEER AND/OR UTILITY OWNER) AT LEAST 48 HOURS PRIOR TO START OF ANY CONSTRUCTION. PRIOR TO BACKFILLING, AND AS REQUIRED BY JURISDICTIONAL AUTHORITY AND/OR PROJECT SPECIFICATIONS, THE CONTRACTOR SHALL CONTINUE WITH NOTIFICATIONS THROUGHOUT THE PROJECT AS REQUIRED BY THE STANDARDS AND SPECIFICATIONS.
- THE LOCATIONS OF EXISTING UTILITIES ARE SHOWN IN THE APPROXIMATE LOCATION BASED ON INFORMATION BY OTHERS. NOT ALL UTILITIES MAY BE SHOWN. THE CONTRACTOR SHALL DETERMINE THE EXACT SIZE, LOCATION AND TYPE OF ALL EXISTING UTILITIES WHETHER SHOWN OR NOT BEFORE COMMENCING WORK. THE CONTRACTOR SHALL BE FULLY AND SOLELY RESPONSIBLE FOR ANY AND ALL DAMAGES AND COSTS WHICH MIGHT OCCUR BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES. THE CONTRACTOR SHALL NOTIFY ALL PUBLIC AND PRIVATE UTILITY COMPANIES AND DETERMINE THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO PROCEEDING WITH GRADING AND CONSTRUCTION. ALL WORK PERFORMED IN THE AREA OF UTILITIES SHALL BE PERFORMED AND INSPECTED ACCORDING TO THE REQUIREMENTS OF THE UTILITY OWNER. LIKEWISE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND MAPPING ANY EXISTING UTILITY (INCLUDING DEPTH) WHICH MAY CONFLICT WITH THE PROPOSED CONSTRUCTION, AND FOR RELOCATING ENCOUNTERED UTILITIES AS DIRECTED BY THE ENGINEER. CONTRACTOR SHALL CONTACT AND RECEIVE APPROVAL FROM TOWN OF ERIE, UTILITY OWNER AND ENGINEER BEFORE RELOCATING ANY ENCOUNTERED UTILITIES. CONTRACTOR RESPONSIBLE FOR SERVICE CONNECTIONS, AND RELOCATING AND RECONNECTING AFFECTED UTILITIES AS COORDINATED WITH UTILITY OWNER AND/OR ENGINEER, INCLUDING NON-MUNICIPAL UTILITIES (TELEPHONE, GAS, CABLE, ETC., WHICH SHALL BE COORDINATED WITH THE UTILITY OWNER). THE CONTRACTOR SHALL IMMEDIATELY CONTACT ENGINEER UPON DISCOVERY OF A UTILITY DISCREPANCY OR CONFLICT. AT LEAST 48 HOURS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE UTILITY NOTIFICATION CENTER OF COLORADO (1-800-922-1987, WWW.UNCC.ORG).
- THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS AT AND ADJACENT TO THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING THE PERFORMANCE OF THE WORK. THE CONTRACTOR SHALL PREPARE A TRAFFIC CONTROL PLAN FOR OWNER AND/OR TOWN APPROVAL AND PROVIDE ALL LIGHTS, SIGNS, BARRICADES, FENCING, FLAGMEN OR OTHER DEVICES NECESSARY TO PROVIDE FOR PUBLIC SAFETY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR AGREES TO COMPLY WITH THE PROVISIONS OF THE TRAFFIC CONTROL PLAN AND THE LATEST EDITION OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES," PART VI, FOR CONSTRUCTION SIGNAGE AND TRAFFIC CONTROL. ALL TEMPORARY AND PERMANENT TRAFFIC SIGNS SHALL COMPLY TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) WITH REGARD TO SIGN SHAPE, COLOR, SIZE, LETTERING, ETC. UNLESS OTHERWISE SPECIFIED. IF APPLICABLE, PART NUMBERS ON SIGNAGE DETAILS REFER TO MUTCD SIGN NUMBERS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ANY GROUNDWATER ENCOUNTERED DURING THE CONSTRUCTION OF ANY PORTION OF THIS PROJECT. GROUNDWATER SHALL BE PUMPED, PIPED, REMOVED AND DISPOSED OF IN A MANNER WHICH DOES NOT CAUSE FLOODING OF EXISTING STREETS NOR EROSION ON ABUTTING PROPERTIES IN ORDER TO CONSTRUCT THE IMPROVEMENTS SHOWN ON THESE PLANS. CONTINUOUS AND POINT DISCHARGE OF STORM FLOWS AND GROUNDWATER TO NEIGHBORING PROPERTIES ARE NOT PERMITTED.
- RIM AND GRATE ELEVATIONS SHOWN ON PLANS ARE APPROXIMATE ONLY AND ARE NOT TO BE TAKEN AS FINAL ELEVATIONS. THE CONTRACTOR SHALL ADJUST RIMS AND OTHER IMPROVEMENTS TO MATCH FINAL PAVEMENT AND FINISHED GRADE ELEVATIONS.
- THE EXISTING AND PROPOSED ELEVATIONS OF FLATWORK, SIDEWALKS, CURBS, PAVING, ETC. AS SHOWN HEREON ARE BASED ON EXTRAPOLATION OF FIELD SURVEY DATA AND EXISTING CONDITIONS. AT CRITICAL AREAS AND SITE FEATURES, CONTRACTOR SHALL HAVE FORMWORK INSPECTED AND APPROVED BY OWNER, OWNER'S REPRESENTATIVE, OR ENGINEER PRIOR TO PLACING CONCRETE. MINOR ADJUSTMENTS, AS APPROVED, TO PROPOSED GRADES, INVERTS, ETC. MAY BE REQUIRED TO PREVENT PONDING OR SLOPE NOT IN CONFORMANCE WITH MUNICIPAL STANDARDS. ALL FLATWORK MUST PREVENT PONDING AND PROVIDE POSITIVE DRAINAGE AWAY FROM EXISTING AND PROPOSED BUILDINGS, WALLS, ROOF DRAIN OUTFALLS, ACROSS DRIVES AND WALKS, ETC., TOWARDS THE PROPOSED INTENDED DRAINAGE FEATURES AND CONVEYANCES.
- FINAL LIMITS OF REQUIRED ASPHALT SAWCUTTING AND PATCHING MAY VARY FROM LIMITS SHOWN ON PLANS. CONTRACTOR TO PROVIDE SAWCUT AND PATCH WORK TO ACHIEVE POSITIVE DRAINAGE AND A SMOOTH TRANSITION TO EXISTING ASPHALT WITHIN SLOPES ACCEPTABLE TO THE ENGINEER AND WITHIN MUNICIPAL STANDARDS. CONTRACTOR SHALL PROVIDE ADDITIONAL SAWCUTTING AND PATCHING AT UTILITY WORK, CONNECTION POINTS TO EXISTING PAVEMENT AND FEATURES, ETC. THAT MAY NOT BE DELINEATED ON PLANS.

- ANY EXISTING MONITORING WELLS, CLEANOUTS, VALVE BOXES, ETC. TO BE PROTECTED AND TO REMAIN IN SERVICE. IF FEATURES EXIST, EXTEND OR LOWER TO FINAL SURFACE WITH LIKE KIND CAP WITH STANDARD CAST ACCESS LID WITH SAME MARKINGS. IN LANDSCAPED AREAS PROVIDE A CONCRETE COLLAR (18"x18"x6" THICK) AT ALL EXISTING AND PROPOSED MONITORING WELLS, CLEANOUTS, VALVE BOXES, ETC.
- OWNER TO APPROVE ALL CONCRETE FINISHING, JOINT PATTERNS AND COLORING REQUIREMENTS PRIOR TO CONSTRUCTION. SUBMIT JOINT LAYOUT PLAN TO OWNER FOR APPROVAL PRIOR TO CONSTRUCTION.
- PIPE LENGTHS AND HORIZONTAL CONTROL POINTS SHOWN ARE FROM CENTER OF STRUCTURES, END OF FLARED END SECTIONS, ETC. SEE STRUCTURE DETAILS FOR EXACT HORIZONTAL CONTROL LOCATION. CONTRACTOR IS RESPONSIBLE FOR ADJUSTING ACTUAL PIPE LENGTHS TO ACCOUNT FOR STRUCTURES AND LENGTH OF FLARED END SECTIONS.
- ALL SURPLUS MATERIALS, TOOLS, AND TEMPORARY STRUCTURES, FURNISHED BY THE CONTRACTOR, SHALL BE REMOVED FROM THE PROJECT SITE BY THE CONTRACTOR. ALL DEBRIS AND RUBBISH CAUSED BY THE OPERATIONS OF THE CONTRACTOR SHALL BE REMOVED, AND THE AREA OCCUPIED DURING CONSTRUCTION ACTIVITIES SHALL BE RESTORED TO ITS ORIGINAL CONDITION, WITHIN 48 HOURS OF PROJECT COMPLETION, UNLESS OTHERWISE DIRECTED BY THE MUNICIPALITY OR OWNER'S REPRESENTATIVE.
- THE CONTRACTOR IS REQUIRED TO PROVIDE AND MAINTAIN EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH THE LOCAL JURISDICTION, THE STATE OF COLORADO, URBAN DRAINAGE AND FLOOD CONTROL DISTRICT "URBAN STORM DRAINAGE CRITERIA MANUAL VOLUME 3", THE M-STANDARD PLANS OF THE COLORADO DEPARTMENT OF TRANSPORTATION, AND THE APPROVED EROSION CONTROL PLAN. JURISDICTIONAL AUTHORITY MAY REQUIRE THE CONTRACTOR TO PROVIDE ADDITIONAL EROSION CONTROL MEASURES AT THE CONTRACTOR'S EXPENSE DUE TO UNFORESEEN EROSION PROBLEMS OR IF THE PLANS DO NOT FUNCTION AS INTENDED. THE CONTRACTOR IS RESPONSIBLE FOR PROHIBITING SILT AND DEBRIS LAIDEN RUNOFF FROM LEAVING THE SITE, AND FOR KEEPING ALL PUBLIC AREAS FREE OF MUD AND DEBRIS. THE CONTRACTOR IS RESPONSIBLE FOR RE-ESTABLISHING FINAL GRADES AND FOR REMOVING ACCUMULATED SEDIMENTATION FROM ALL AREAS INCLUDING SWALES AND DETENTION/WATER QUALITY AREAS. CONTRACTOR SHALL REMOVE TEMPORARY EROSION CONTROL MEASURES AND REPAIR AREAS AS REQUIRED AFTER VEGETATION IS AT LEAST 80% ESTABLISHED AND ACCEPTED BY OWNER AND MUNICIPALITY. COORDINATE WITH ENGINEER PLACEMENT OF PERMANENT, APPROPRIATELY-SIZED ROCK AT ALL PIPE OUTFALLS TO DISSIPATE FLOW ENERGY, REDUCE EROSION AND SPREAD FLOWS TO PROVIDE A WIDE, NATURAL SHEETFLOW TO PROPERTY OUTFALL.
- ADA COMPLIANCE: THE CROSS-SLOPE OF ALL WALKS MUST BE 2.0% MAX. PERPENDICULAR TO DIRECTION OF TRAVEL. MAXIMUM GRADE OF HANDICAPPED ACCESSIBLE WALKS MUST BE 5.0% MAX. IN DIRECTION OF TRAVEL. MAXIMUM GRADE OF ALL HANDICAP RAMPS IS 8.3% OVER A MAXIMUM 6" RISE. MAXIMUM GRADE AT HANDICAP PARKING IS TYPICALLY 2.0% IN ALL DIRECTIONS. CONTRACTOR TO NOTIFY ENGINEER PRIOR TO PLACEMENT OF FLATWORK OF SITE CONDITIONS OR DISCREPANCIES WHICH PREVENT TYPICAL REQUIRED GRADES FROM BEING ACHIEVED. ALL RAMPS, STAIRS AND RAILING SHALL BE CONSTRUCTED IN ACCORDANCE WITH CURRENT ADA STANDARDS. HANDICAP RAMPS SHALL CONFORM TO CDOT M-STANDARDS (SEE DETAIL M-608-1, ETC.)
- BENCHMARK INFORMATION: PROPERTY LINE AND TOPOGRAPHIC INFORMATION WAS PROVIDED BY FLATRONS SURVEYING, INC. REFER TO SURVEY FROM OWNER/ARCHITECT FOR ALL BENCHMARK AND HORIZONTAL CONTROL INFORMATION. STAKING OF SITE FEATURES SHALL BE ACCOMPLISHED USING THE ARCHITECTURAL PLANS, COORDINATE AND VERIFY ALL VERTICAL AND HORIZONTAL DATA SHOWN IN SURVEY AND REPORT ANY IRREGULARITIES OR DISCREPANCIES TO ENGINEER PRIOR TO CONSTRUCTION.
- PROTECT ALL TREES AND VEGETATION. PLACE CONSTRUCTION FENCING AT DRIP LINE OF TREES AND PLANTS NEAR THE WORK ZONE. DEEP WATER TREES WEEKLY. HAND EXCAVATION REQUIRED AT ROOT ZONES WHERE PROPOSED PAVING OR UTILITY WORK IS WITHIN DRIPLINE OF TREES.
- THE CONTRACTOR SHALL FURNISH THE OWNER, ARCHITECT, AND ENGINEER OF RECORD A COMPLETE SET OF CONSTRUCTION RECORD DRAWINGS ("AS-BUILTS"), FOR THE CONSTRUCTED IMPROVEMENTS. THE PLANS SHALL SHOW SUFFICIENT DIMENSION TIES TO PERMANENT SURFACE FEATURES FOR ALL BURIED FACILITIES TO ALLOW FOR FUTURE LOCATING. THE PLANS SHALL SHOW FINAL PAVEMENT, FLOW LINE ELEVATIONS, CONTOURS AT POND/DRAINAGE FEATURES (AS SURVEYED AND CERTIFIED BY A COLORADO P.L.S.), MANHOLE, PIPE, AND INLET LOCATIONS, INVERTS, GRATE ELEVATIONS, SIZES OF ALL UTILITIES, AND ANY VARIATIONS FROM THE APPROVED PLAN. ENGINEER WILL PRODUCE FINAL RECORD DRAWINGS.
- THESE PLANS ARE FOR GENERAL SITE GRADING AND DRAINAGE. SITE FEATURES SHOWN HEREIN MAY NEED TO BE REVISED BASED ON FINAL ARCHITECTURE PLANS, LANDSCAPE ARCHITECTURE PLANS, ENCOUNTERED SITE CONDITIONS, ETC.. NOTIFY OWNER, ARCHITECT, LANDSCAPE ARCHITECT, AND CIVIL ENGINEER OF ANY ANY DISCREPANCIES AND PLAN REVISIONS PRIOR TO WORK. COORDINATE DOWNSPOUT CONNECTIONS AND EXTENSION WITH OWNER AND/OR ARCHITECT, WITH WATER TIGHT CONVEYANCE EXTENSION OR PIPE SYSTEM TO MINIMUM 5' FROM BUILDING OR FURTHER AS REQUIRED BY THE PROJECT GEOTECHNICAL ENGINEER. PROHIBIT DOWNSPOUT OUTFALL TO PEDESTRIAN AREAS, PARTICULARLY ON THE NORTH SIDE OF STRUCTURES WHERE FREEZING IS LIKELY. CONTACT ENGINEER FOR ADDITIONAL SITE DOWNSPOUT PIPING PLANS AS NEEDED.
- PROVIDE 8" EXPOSED FOUNDATION ABOVE EXTERIOR GRADES. PROVIDE 10% SLOPE AWAY FROM FOUNDATION FOR 10 FEET AS NOTED ON PLANS AND NO LESS THAN 5% SLOPE AWAY FROM FOUNDATION FOR 5 FEET PER GEOTECHNICAL REPORT. SELECT, PLACE AND COMPECT SOIL PER REFERENCED SPECIFICATIONS AND GEOTECHNICAL REPORT. COORDINATE ALL ALL FFES, TOP FDN ELEV., CLEARANCE UNDER DECKS, STEPS DOWN FROM THRESHOLDS, WATERPROOFING, ETC. WITH ARCHITECT PRIOR TO CONSTRUCTION
- THESE PLANS ARE FOR GRADING, DRAINAGE AND EROSION CONTROL PURPOSES ONLY AND NOT FOR UTILITIES, GROUNDWATER REMEDIATION, SHORING AND/OR WALL DESIGN/CONSTRUCTION. SEE PLANS BY OTHERS FOR LOCATION AND LAYOUT OF SITE FEATURES, UTILITIES, ETC.. WALLS ARE SHOWN FOR ALIGNMENT, GRADING, TOP OF WALL(TW)/BOTTOM OF WALL(BW) ELEVATIONS, AND BUDGETING PURPOSES ONLY. FINAL WALL DESIGN AND ALL DETAILS RELATED TO EXCAVATION, SHORING, AND PROTECTION OF EXISTING ONSITE AND OFFSITE SLOPES/STRUCTURES TO BE PROVIDED BY OTHER GEOTECHNICAL AND SHORING ENGINEERS. COORDINATE EXCAVATION, SHORING, AND SOIL PLACEMENT SPECIFICATIONS WITH PROJECT GEOTECHNICAL ENGINEER AND SHORING/WALL DESIGNER.

REVEGETATION AND EROSION CONTROL NOTES:

REVEGETATION AND PERMANENT STABILIZATION MEASURES:
PERMANENT LANDSCAPING WILL INCLUDE SEEDING, SODDING, TREES, SHRUBS, OR OTHER VEGETATIVE COVER TO OPEN AREAS. NATIVE PERENNIAL SEEDING WILL BE ESTABLISHED IN NON-IRRIGATED AREAS AND SOD OR OTHER VEGETATIVE COVER WILL BE ESTABLISHED IN IRRIGATED OPEN AREAS. ALL PERMANENT STABILIZATION MEASURES WILL BE SPECIFIED BY THE MUNICIPALITY, WITH ADDITIONAL DETAILS BY THE LANDSCAPE ARCHITECT OR OWNER.

BOULDER COUNTY REGULATION FOOTHILLS SEED MIX 5,500 FEET TO 7,000 FEET ELEVATION:

COMMON NAME	SPECIES NAME	VARIETY	% OF MIX	#PLS/ACRE
Side Oats Grama	Bouteloua curtipendula	Vaughn	10%	1.82
Blue Grama	Bouteloua gracilis	Native, Alma, or Hachita	15%	0.63
Slender Wheatgrass	Elymus trachycaulus	San Luis	20%	4.38
Junegrass	Koeleria macrantha	Native	10%	0.15
Western Wheatgrass	Pascopyrum smithii	Arriba	10%	3.17
Western Wheatgrass	Pascopyrum smithii	Native	10%	3.17
Switchgrass	Panicum virgatum	Blackwell or Nebraska 28	7%	0.63
Little Bluestem	Schizachyrium scoparium	Cimarron or Pastura	8%	1.07
Green Needlegrass	Stipa viridula	Lodorm or Native	10%	1.93
TOTALS:			100%	16.95

RATES ARE FOR BROADCAST SEEDING. IF USING A SEED DRILL, REDUCE RATES BY HALF. PLS = PURE LIVE SEED.


REFER TO BOULDER COUNTY STANDARDS FOR ADDITIONAL DETAILS:
[HTTPS://BOULDERCOUNTY.GOV/PROPERTY-AND-LAND/LAND-USE/PLANNING/REVEGETATION/](https://bouldercounty.gov/property-and-land/land-use/planning/revegetation/)
[HTTPS://ASSETS.BOULDERCOUNTY.GOV/WP-CONTENT/UPLOADS/2017/03/P13-REVEGETATION.PDF](https://assets.bouldercounty.gov/wp-content/uploads/2017/03/P13-REVEGETATION.PDF)

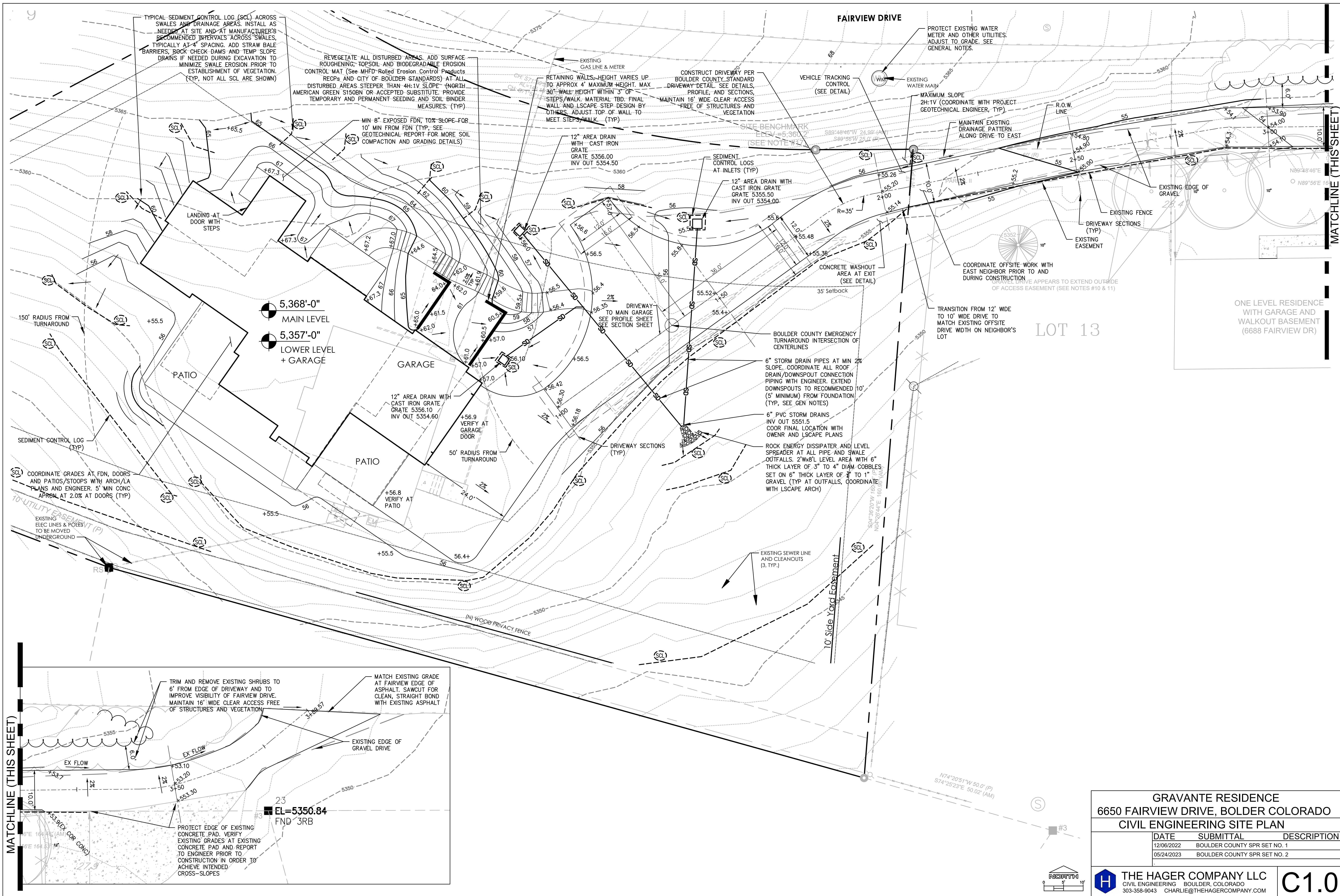
BEST MANAGEMENT PRACTICES FOR STORMWATER MANAGEMENT:
NON STRUCTURAL BMPs WILL BE IMPLEMENTED TO THE MAXIMUM EXTENT POSSIBLE. THE UTILIZATION OF NON STRUCTURAL BMPs WILL BE AN ONGOING PROCESS DIRECTED AT PREVENTING EROSION. THE NON STRUCTURAL BMPs WILL RECEIVE CONTINUOUS EMPHASIS THROUGHOUT CONSTRUCTION BECAUSE THEY MITIGATE ISSUES BEFORE THEY OCCUR AND REDUCE THE NEED FOR STRUCTURAL BMPs. NON STRUCTURAL BMPs WILL CONSIST PRIMARILY OF PRESERVATION OF EXISTING MATURE VEGETATION AND TREES, PLANNING AND SCHEDULING CONSTRUCTION ACTIVITIES AIMED AT ACHIEVING THE GOAL OF MINIMIZING EROSION. FURTHERMORE, CONSTRUCTION PERSONNEL WILL BE INSTRUCTED AND SUPERVISED IN CONSTRUCTION METHODS CONSISTENT WITH EROSION PREVENTION PRACTICES.

PLANNED STRUCTURAL BMPs FOR EROSION AND SEDIMENT CONTROL ARE SHOWN ON THE EROSION CONTROL PLAN. IMPLEMENTING, SUPPLEMENTING, AND MAINTAINING THESE MEASURES SHOULD MINIMIZE NUISANCE SILT AND SEDIMENTATION EXITING THE SITE AND PREVENT CLOGGING EXISTING STORM SEWERS AND STREET GUTTERS.

APPLICATION OF THESE BMPs FOR STORMWATER MANAGEMENT ARE FOR CONSTRUCTION PERIODS AND ARE CONSIDERED TEMPORARY. POST-DEVELOPMENT STORMWATER MANAGEMENT IS PROVIDED THROUGH VEGETATED LANDSCAPED AREAS, GRASSED SWALES AND STORM COLLECTION SYSTEM.

THE EROSION CONTROL MEASURES SHOWN HEREIN ARE FOR COORDINATION PURPOSES ONLY. GIVEN THE DYNAMIC NATURE OF A CONSTRUCTION SITE, THE CONTRACTOR MUST REVISE AND PROVIDE ADDITIONAL EROSION CONTROL MEASURES AS THE PROJECT CHANGES. COORDINATE THE NEED FOR ADDITIONAL MEASURES WITH THE LOCAL JURISDICTIONAL INSPECTOR. REFER TO WWW.MHFD.ORG FOR ADDITIONAL IMPORTANT EROSION CONTROL REQUIREMENTS, INSTALLATION/MAINTENANCE NOTES, ETC.FOR ADDITIONAL DETAILS AND REQUIREMENTS.
([HTTPS://MHFD.ORG/WP-CONTENT/UPLOADS/2021/01/CHAPTER-7-CONSTRUCTION-BMPS.PDF](https://mhfd.org/wp-content/uploads/2021/01/CHAPTER-7-CONSTRUCTION-BMPS.PDF))

GRAVANTE RESIDENCE 6650 FAIRVIEW DRIVE, BOLDER COLORADO		
COVER SHEET		
DATE	SUBMITTAL	DESCRIPTION
12/12/2022	BOULDER COUNTY SPR SET NO.1	
05/24/2023	BOULDER COUNTY SPR SET NO. 2	
		C0.0
THE HAGER COMPANY LLC CIVIL ENGINEERING BOULDER, COLORADO 303-358-9043 CHARLIE@THEHAGERCOMPANY.COM		



TYPICAL SEDIMENT CONTROL LOG (SCL) ACROSS SWALES AND DRAINAGE AREAS. INSTALL AS NEEDED AT SITE AND AT MANUFACTURER'S RECOMMENDED INTERVALS ACROSS SWALES, TYPICALLY AT 4' SPACING. ADD STRAW BALE BARRIERS, ROCK CHECK DAMS AND TEMP SLOPE DRAINS IF NEEDED DURING EXCAVATION TO MINIMIZE SWALE EROSION PRIOR TO ESTABLISHMENT OF VEGETATION. (TYP, NOT ALL SCL ARE SHOWN)

REVEGETATE ALL DISTURBED AREAS. ADD SURFACE ROUGHENING, TOPSOIL AND BIODEGRADABLE EROSION CONTROL MAT (See MHPD Rolled Erosion Control Products RECPs AND CITY OF BOULDER STANDARDS) AT ALL DISTURBED AREAS STEEPER THAN 4H:1V SLOPE (NORTH AMERICAN GREEN S150BN OR ACCEPTED SUBSTITUTE. PROVIDE TEMPORARY AND PERMANENT SEEDING AND SOIL BINDER MEASURES. (TYP)

MIN 8" EXPOSED FDN, 10% SLOPE FOR 10' MIN FROM FDN (TYP; SEE GEOTECHNICAL REPORT FOR MORE SOIL COMPACTION AND GRADING DETAILS)

RETAINING WALLS-HEIGHT VARIES UP TO APPROX 4' MAXIMUM HEIGHT. MAX 36" WALL HEIGHT WITHIN 3' OF STEPS/WALK. MATERIAL TBD. FINAL WALL AND LScape STEP DESIGN BY OTHERS. ADJUST TOP OF WALL TO MEET STEPS/WALK. (TYP)

CONSTRUCT DRIVEWAY PER BOULDER COUNTY STANDARD DRIVEWAY DETAIL. SEE DETAILS, PROFILE, AND SECTIONS. MAINTAIN 16' WIDE CLEAR ACCESS FREE OF STRUCTURES AND VEGETATION

PROTECT EXISTING WATER METER AND OTHER UTILITIES. ADJUST TO GRADE. SEE GENERAL NOTES.

MAXIMUM SLOPE 2H:1V (COORDINATE WITH PROJECT GEOTECHNICAL ENGINEER, TYP)

MAINTAIN EXISTING DRAINAGE PATTERN ALONG DRIVE TO EAST

COORDINATE OFFSITE WORK WITH EAST NEIGHBOR PRIOR TO AND DURING CONSTRUCTION. GRAVEL DRIVE APPEARS TO EXTEND OUTSIDE OF ACCESS EASEMENT (SEE NOTES #10 & 11)

ONE LEVEL RESIDENCE WITH GARAGE AND WALKOUT BASEMENT (6688 FAIRVIEW DR)

5,368'-0"
MAIN LEVEL
5,357'-0"
LOWER LEVEL
+ GARAGE

LOT 13

GRAVANTE RESIDENCE
6650 FAIRVIEW DRIVE, BOLDER COLORADO
CIVIL ENGINEERING SITE PLAN

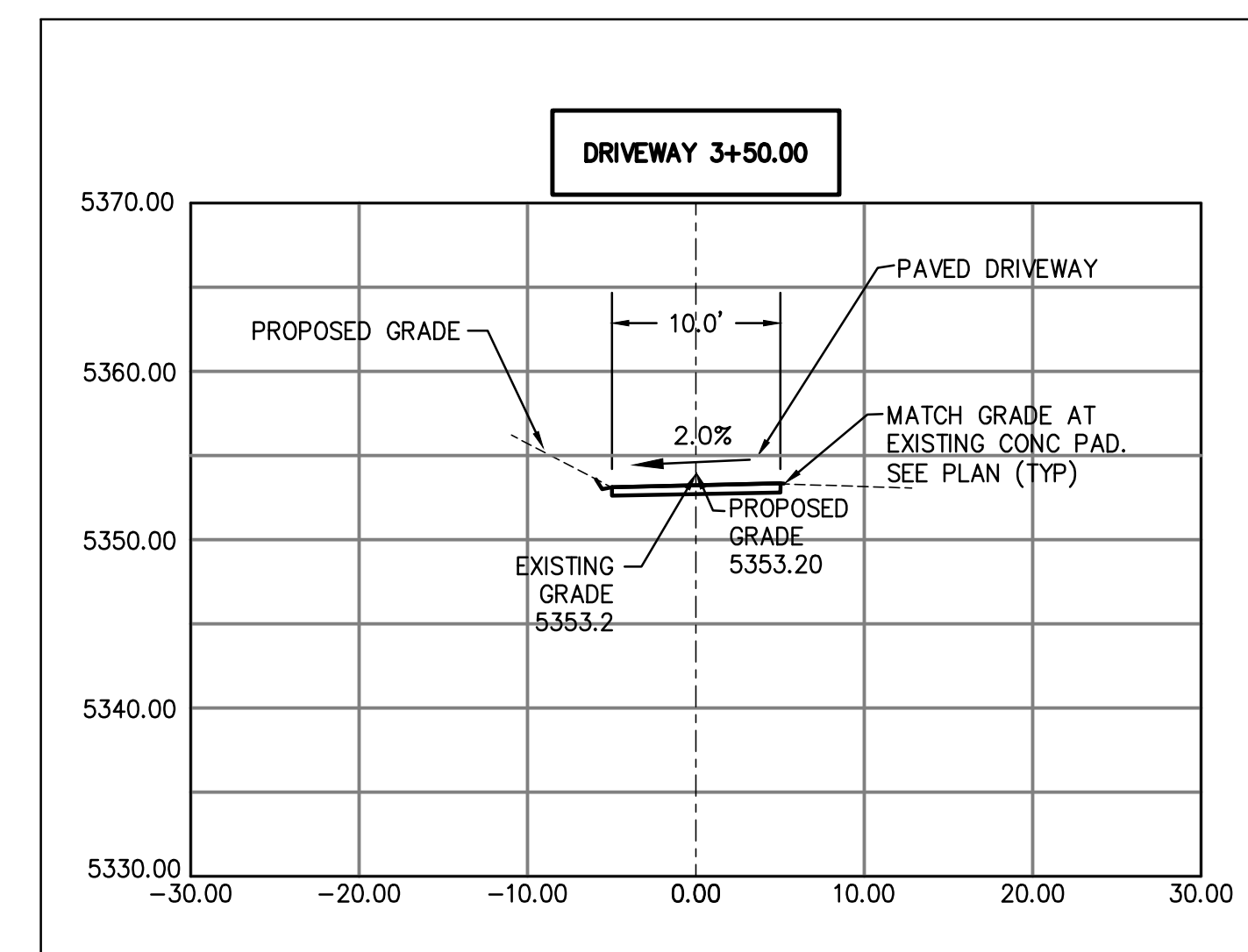
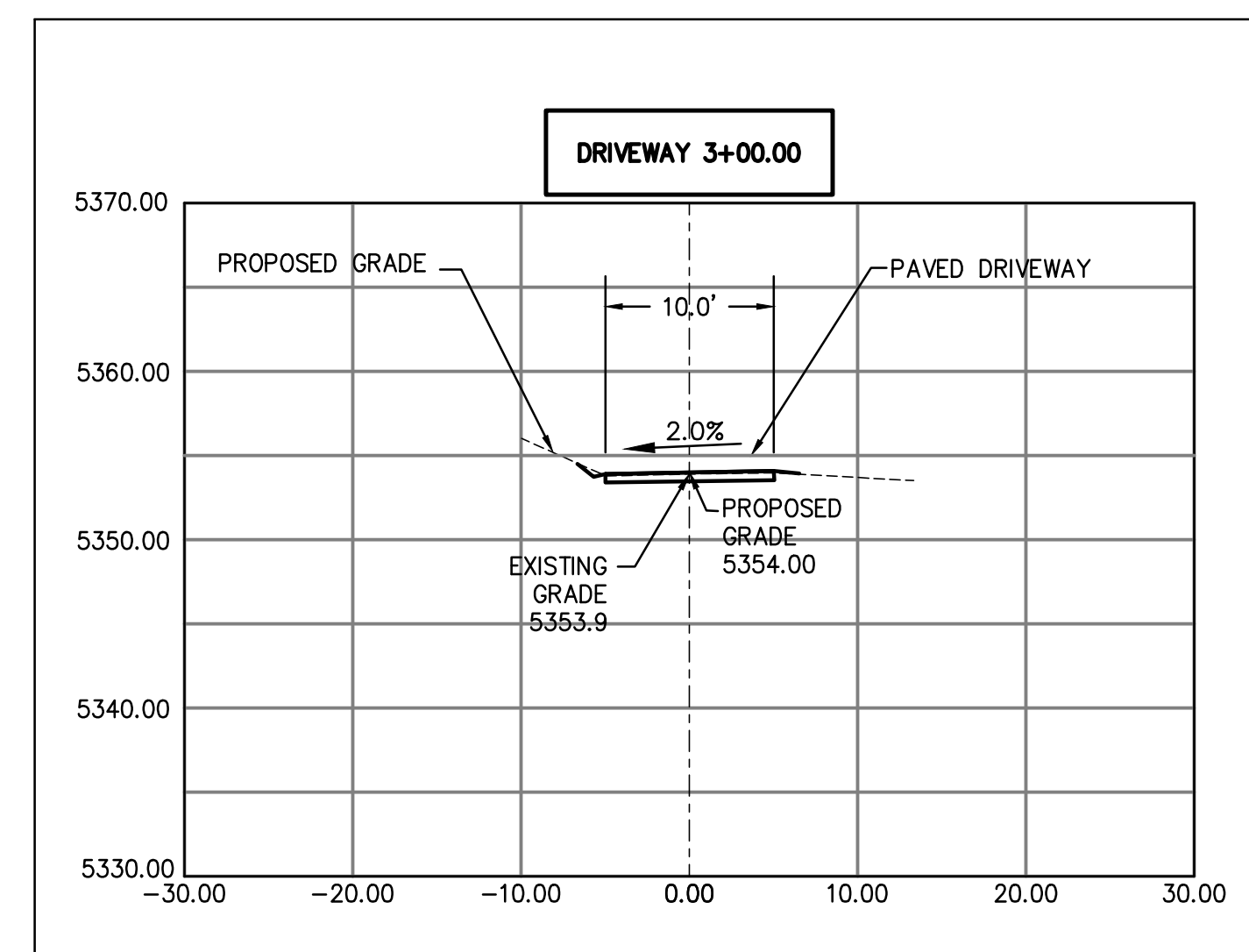
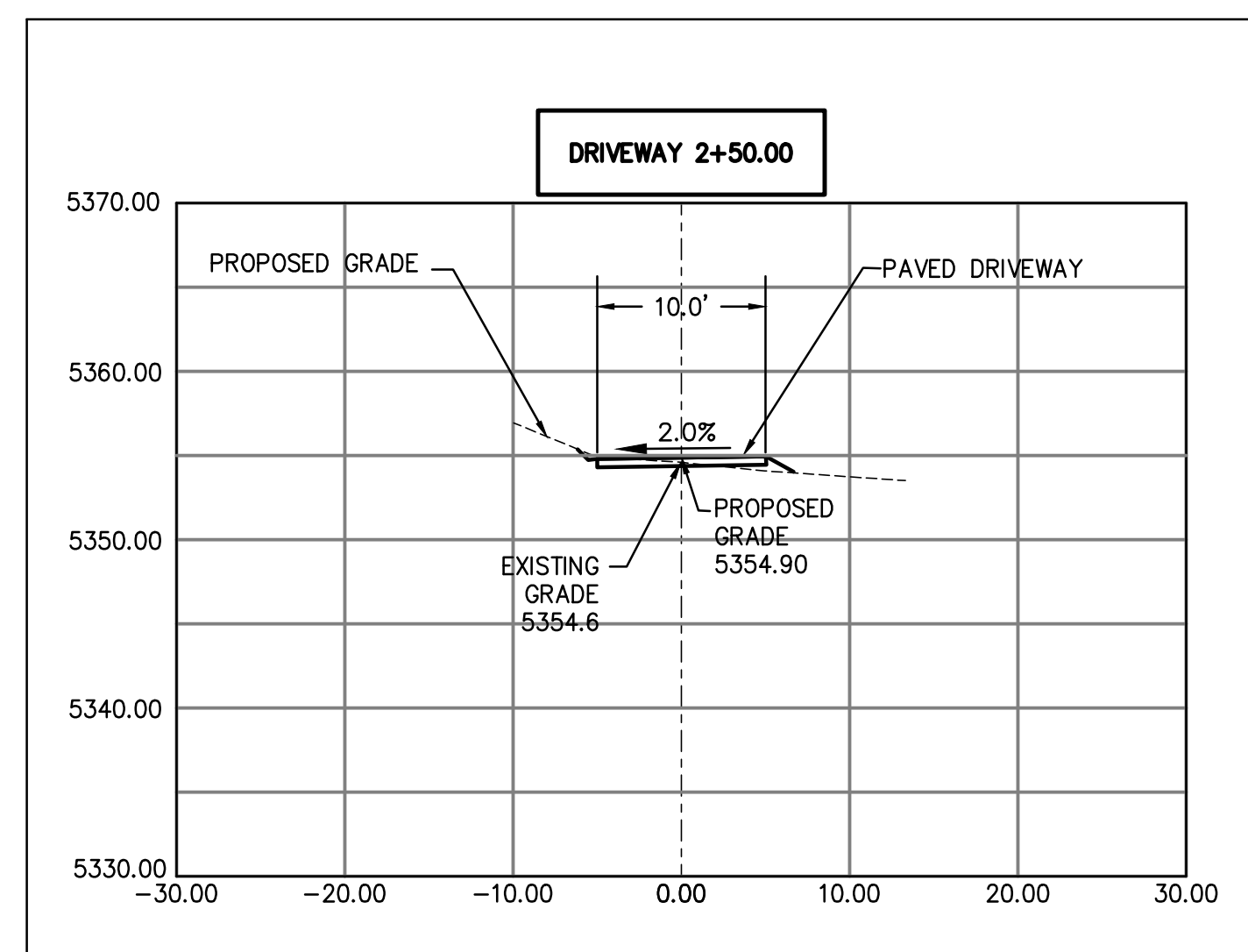
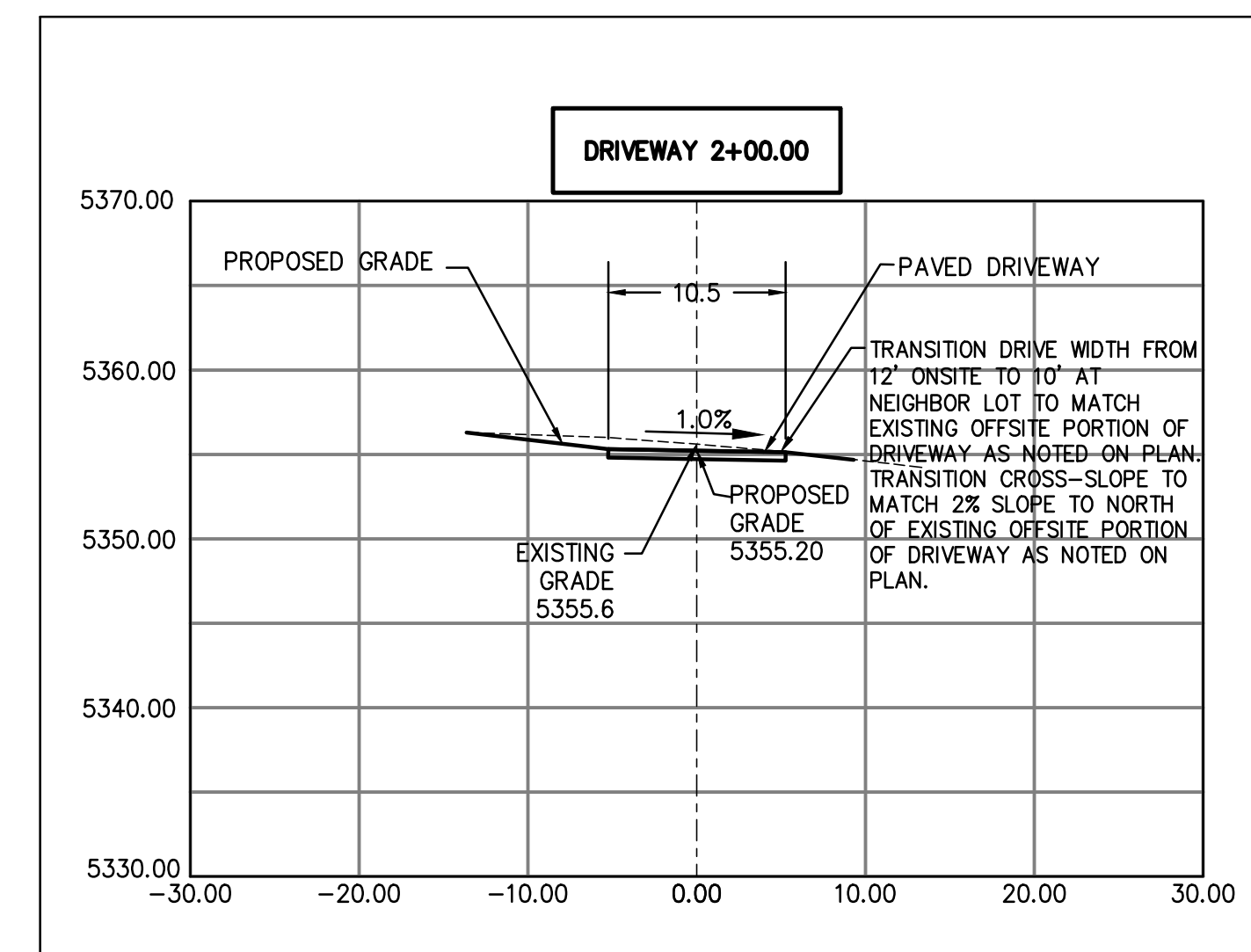
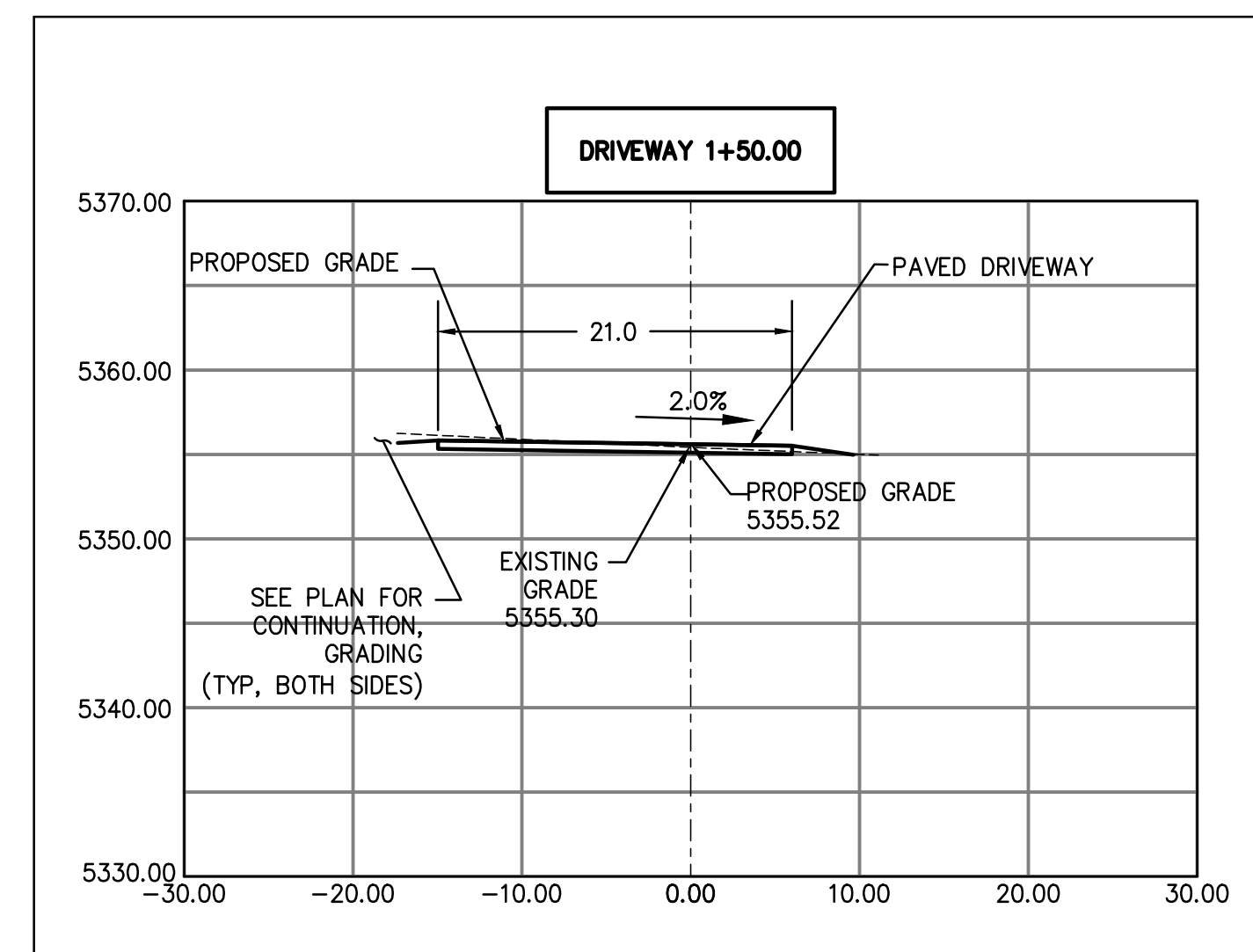
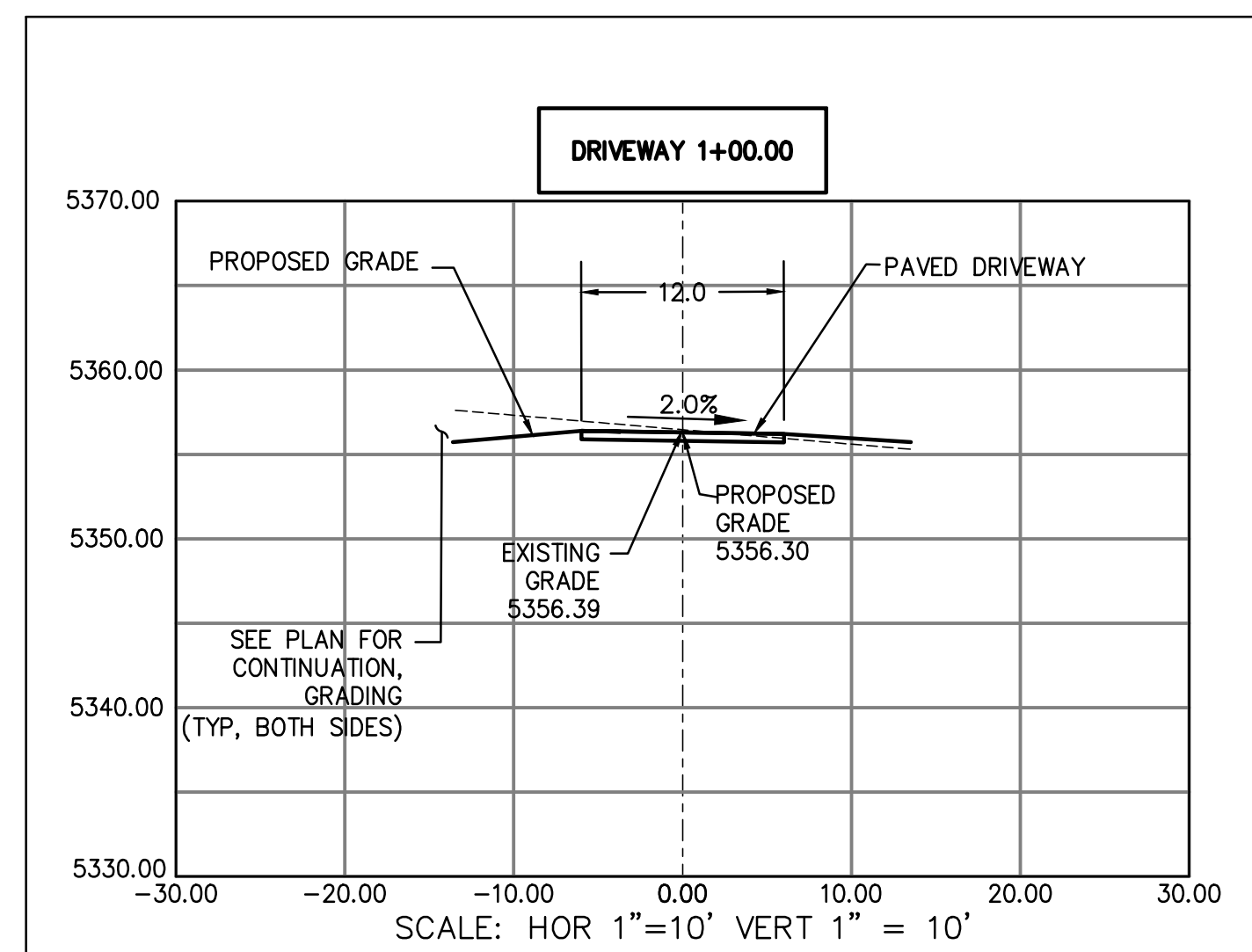
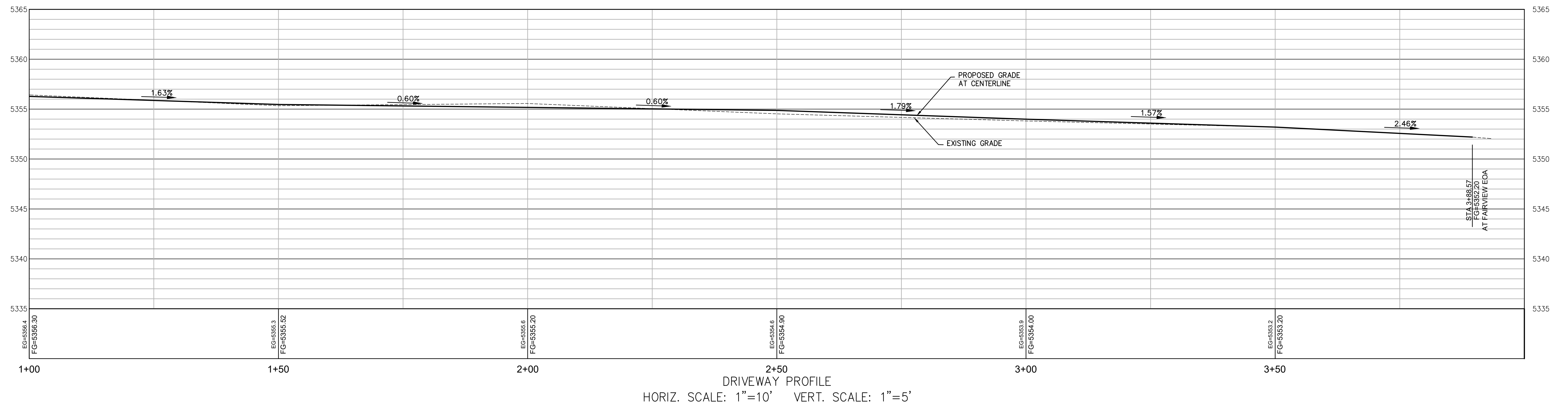
DATE	SUBMITTAL	DESCRIPTION
12/06/2022	BOULDER COUNTY SPR SET NO. 1	
05/24/2023	BOULDER COUNTY SPR SET NO. 2	

THE HAGER COMPANY LLC
CIVIL ENGINEERING BOULDER, COLORADO
303-358-9043 CHARLIE@THEHAGERCOMPANY.COM

C1.0

MATCHLINE (THIS SHEET)

MATCHLINE (THIS SHEET)



GRAVANTE RESIDENCE
6650 FAIRVIEW DRIVE, BOLDER COLORADO
DRIVEWAY PROFILE & SECTIONS

DATE	SUBMITTAL	DESCRIPTION
12/12/2022	BOULDER COUNTY SPR SET NO. 1	
05/24/2023	BOULDER COUNTY SPR SET NO. 2	

THE HAGER COMPANY LLC
CIVIL ENGINEERING BOULDER, COLORADO
303-358-9043 CHARLIE@THEHAGERCOMPANY.COM

C1.1



MEMORANDUM

To: Boulder County Community Planning and Permitting
From: Mosaic Architects & Interiors
Project: 6650 Fairview Drive, Boulder, CO 80303
Parcel No.: 146335316011
Date: May 24, 2023

Re: Fairview Drive Single Family Residential Home – Site Plan Review

On Behalf of Anne and Gary Gravante, we thank you for the opportunity to submit this project for Site Plan Review. Our proposal aims to create a new ground-up residence that utilizes the full potential of the site while at the same time remaining harmonious with the character of the neighborhood and surrounding landscape. This 0.91-acre parcel has an existing 1957 1-story ranch sited within it. The existing house is 1,249 SF at the main level with a 1,249 SF basement.

BACKGROUND & HISTORY

Gary and Anne Gravante are longtime residents of the Boulder County area and have both worked for companies in Boulder. Unfortunately, Anne & Gary's home in Louisville was destroyed in the 2021 Marshall Fire. After the fire, they learned there would be extensive delays to rebuild on their Louisville lot based on community owned portions of their lot needing repair first. They used this as an opportunity to find a new property within Boulder County where they could envision spending the rest of their lives watching the sunrise and sunset over the reservoir and foothills. They purchased the property at 6650 Fairview Drive in early 2022 and began making plans for their new residence shortly thereafter.

The existing house located on the property has the smallest above grade square footage in the neighborhood and is the fourth smallest house overall. It does not comply with the latest fire codes, nor does it exhibit any strong character-defining architectural features. Due to these factors, The Gravantes propose to remove the existing structure and create a new design that better aligns with the developing character of the neighborhood.

SITE & ACCESS

The property sits just north of Baseline Road and Baseline Reservoir and is zoned Estate Residential "ER". It is part of the "Baseline Heights" subdivision which was established in 1954 and includes 24 properties on Lakeview Drive and a small stretch of both Fairview

Drive and Westview Drive. Many of the existing houses in the subdivision were built in the 1950s and 1960s and have since been extensively remodeled and/or replaced. There are four other properties within the same block as 6650 Fairview Drive that have been rebuilt since the year 2000. The lots in the neighborhood range in size from .69 acres to 1.16 acres and the square footage of the homes range from 1,872 SF to 6,212 SF.

6650 Fairview Drive is accessed from a shared drive also used to access 6688 Fairview Drive. There is an easement which allows the shared drive to pass through the northwest corner of 6688 Fairview Drive (**see exhibit 1, Expanded Site Plan**). Mountain View Fire Department and the Access & Engineering team of Boulder County have reviewed the existing driveway condition and found that it can be brought into compliance with the MMTS by adding a firetruck turnaround as well as trimming back existing vegetation to reach the width requirement. In response to Boulder County's comments during this process, the Gravantes have agreed to use the shared drive in order to minimize the site disturbance that would be required to construct a new private driveway.

DESIGN

A number of architectural methods are used to make the new house more representative of the size and scale of neighboring homes while at the same time improving the cohesion and aesthetic appeal of the property and neighborhood. The proposed house is placed as close to the footprint of the existing house as possible while at the same time improving the relationship of the building to the site's topography. The proposed lower level of the house is placed at an elevation of 5357', which maintains the same elevation as the existing house and driveway to minimize the amount of regrading and disturbance to the property. This locates the main level elevation of the proposed house approximately 7'-0" below Fairview Drive, at an elevation of 5368'. These chosen elevations allow the two story house to appear as a single story mass from the uphill side of the property and have a walk out lower level on the downhill side which mimics the siting and massing of other houses situated along the south side of Hoover Hill facing Baseline Road and Reservoir (**see exhibit 2, site section**). Terraced landscaping and steps have been introduced in order to reach the front entry of the house from the lower level driveway. The street facing massing of the house is broken up into smaller volumes with low slope roofs to assist in reducing its visual scale.

The style of the home is reminiscent of a country retreat featuring stucco, natural stone, and matte metal accents. All exterior façade materials proposed for the home are Class A fire rated and non-combustible. Material colors and textures have been selected to blend with the colors of the site. The main glazed areas are covered by deck overhangs or awnings/canopies to reduce their visual impact as seen from public right-of-ways. The proposed residence recognizes precedents for size and aesthetics set by recently constructed houses along Baseline Road and Lakeview Drive, just to the south and west of 6650 Fairview Drive (**see exhibit 3, neighborhood character diagram**).

RESPONSE TO SITE PLAN REVIEW STANDARDS 1-15 (Article 4-806 Boulder County LU Code)

1. The proposed development is part of the Baseline Heights Subdivision and maintains compliance with the Subdivision's covenant requirements as well as the Boulder County Zoning setbacks and height limitations. The design team reached out to the Baseline Heights Subdivision Architectural Committee via mail but did not receive a response so we assume that the committee is no longer active.
2. The proposed home size is compatible with the general character of the neighborhood. The design includes a single-story residence with a lower-level walk-out. The home has 4 bedrooms, 4.5 baths, and an attached garage and carport.

125% of the Neighborhood Median for establishing Presumptive Size Max (PSM) per Boulder County Preliminary Size Analysis (PSA, dated 7/27/2022) allows 4,530 square feet (SF) at this property. Neighboring lots of similar size, as concluded by the PSA, indicate square footages comparable to this proposal. This project is requesting 2,687 SF on the main level and 2,488 SF on the lower level (622 SF of which is garage), to total 5,174 SF.

In reference to criteria 2.b.i.A, the layout of the lots in the area and the slope of the existing topography create natural screening within the neighborhood. Due to the location of the property in a natural gully, and the ability to recess the house down from the road, the proposed development will be partially obstructed when viewed from every direction. In addition, the house will read as a single-story structure from the Fairview Road frontage. Locating the lower level at the same elevation as the existing house allows the proposed house to fit into the hillside with similar siting characteristics as the adjacent uphill and downhill neighboring properties (**see exhibit 2, site section diagram**).

From the south, the property is partially visible from Baseline Road, however it is setback roughly 200'. In addition, due to the staggered lots in the neighborhood, it is only visible when you are directly south of the property on Baseline Road due to screening provided by existing homes and vegetation (**see exhibit 4, photograph from Baseline Road**). Further south of the property is Baseline Reservoir and County owned Open Space. The property is minimally visible from both the Reservoir and the Open Space (**see exhibit 5, photograph from across Baseline Reservoir**).

Additionally, as we incorporate criteria 2.b.i.B, the presence of adjacent residences with larger residential floor area allows the subject parcel to overcome the presumptive size maximum of 4,530 SF. Two of these residences, 6686 Lakeview Drive @ 6,212 SF and 6610 Lakeview Drive @ 4,562 SF, create a median residential floor area of 5,387 SF, which is more than the proposed floor area of 5,353 SF. There are three other properties in the Preliminary Size Analysis that are also larger than the PSM and if considered adjacent could raise the median residential floor area even higher. Because of the existence of these larger parcels in the neighborhood, we feel our

proposal is compatible with the character of the neighborhood in not only size but also orientation and siting within the topography (**see exhibit 6, Preliminary Size Analysis Diagram**)

3. There will be modifications made to the existing city water connection and electrical lines at the site. The proposed house will utilize the existing city supplied water and sewer, but the water main on the site will be increased in diameter to accommodate additional fixtures. The existing electrical lines at the site will be moved underground with the support of the neighbors. The design team has already reached out to both Hoover Hill Water and Xcel Energy to discuss the upcoming changes and phasing of the service changes so that they will have the least amount of impact on the neighborhood.
4. Based on the BoCo **MAPS**, the only Geologic Hazard present on the site is a Landslide Susceptibility area on the west side of the site. A soils report of the site provided by CTL engineering noted the risk as low.
5. The property is in the Boulder Wildfire Zone 2. The proposed residence will have construction methods and materials in compliance with the current national standards as amended by the latest Boulder County Building Codes. New plantings and defensible space will be compliant with the Boulder County Wildfire Partners program.
6. All drainage for this project is resolved on-site. Site grading design will allow stormwater to sheetflow similar to existing conditions to the greatest extent practical. Earthwork will be performed based on the parameters provided by the project geotechnical engineer. Stormwater energy dissipation and erosion control measures will be incorporated at downspouts and other storm drain pipe outfalls. The site is not located within a mapped floodplain.
7. Per the Boulder County Comprehensive Plan (See BoCo **MAPS**) there are no significant environmental features or natural ecosystems present on this site.
8. Per the Boulder County Comprehensive Plan (See BoCo **MAPS**) there are no significant agricultural lands on this site.
9. Per the Boulder County Comprehensive Plan (See BoCo **MAPS**) there are no significant archeological lands on this site.
10. As mentioned in item #2 above, our design proposal includes methods to mitigate the visual impact of the proposed building including keeping the structure height low, choosing materials which will blend into the natural environment, covering the main glazed areas with canopies or decks, and planting trees and shrubs for additional screening. The overall height of the residence sits below the maximum 35' building height (as allowed for properties subdivided prior to 1994) by utilizing low

sloped roofs over narrow masses. The new house was also designed to utilize the previously disturbed footprint of the existing house. Due to the hilly topography of the site and surrounding neighborhood, the site is not widely visible from any public roads or open spaces. It is consistent with the massing and fenestration of similar-sized homes recently constructed along the Baseline Road view corridor (**see exhibit 3, neighborhood character diagram**). All exterior lights will be Dark Sky compliant per Boulder County requirements.

11. This proposal was designed to be compatible with the natural topography of the site by placing the structure where the site had previously been developed, utilizing the existing shared driveway, orienting the length of the structure parallel to the contour lines, and keeping the building height low. The only area where the existing driveway was altered was where a turnaround for fire truck access has been provided to meet code.

The soils report and the Boulder County Geologic Hazards map both noted the western half of this site is in a Landslide susceptibility hazard area. This is common in the Foothills and the site can be successfully developed, as demonstrated by neighboring lots and noted in the soils report. The Geotech engineer does however recommend a shallower slope (3:1) for new grading, versus the typical 2:1.

12. Changes to the site made by this proposal will not negatively affect runoff, erosion and sedimentation in the surrounding area. The plans will require erosion control measures to be installed prior to excavation and maintained during construction until vegetation is established. All disturbed areas will receive soil amendment and appropriate permanent seeding and vegetation to reduce erosion. Erosion control matting will be added at sloped areas.
13. There are no identified Natural Landmarks or Natural Areas on this property.
14. The regrading required for the new house has been reduced as much as possible by locating the new house on top of the existing footprint and utilizing the existing driveway. Instead of doing an expansive one level footprint for the house, the proposed design utilizes a second story to reduce the amount of disturbed site. The style, size, and materials of the proposed house are also more harmonious with the surrounding neighborhood than the existing house. The existing house has no defined style or character and does not blend into the surroundings. In contrast, the proposed house will have a style more suitable to the neighborhood and materials which will blend easily into the landscape (for materials see SPR drawing SPR 10).
15. This proposal is consistent and in harmony with the Boulder County Comprehensive Plan.

CLOSING

Thank you again for your consideration of our project. The Gravantes are excited to build their new home on this property and to again be living comfortably in Boulder County. We look forward to hearing your comments and to working together to help bring this project to fruition.

Sincerely,



Danielle Restivo, RA | Senior Architect

MOSAIC ARCHITECTS + INTERIORS

1701 15th Street Suite C | Boulder CO 80302

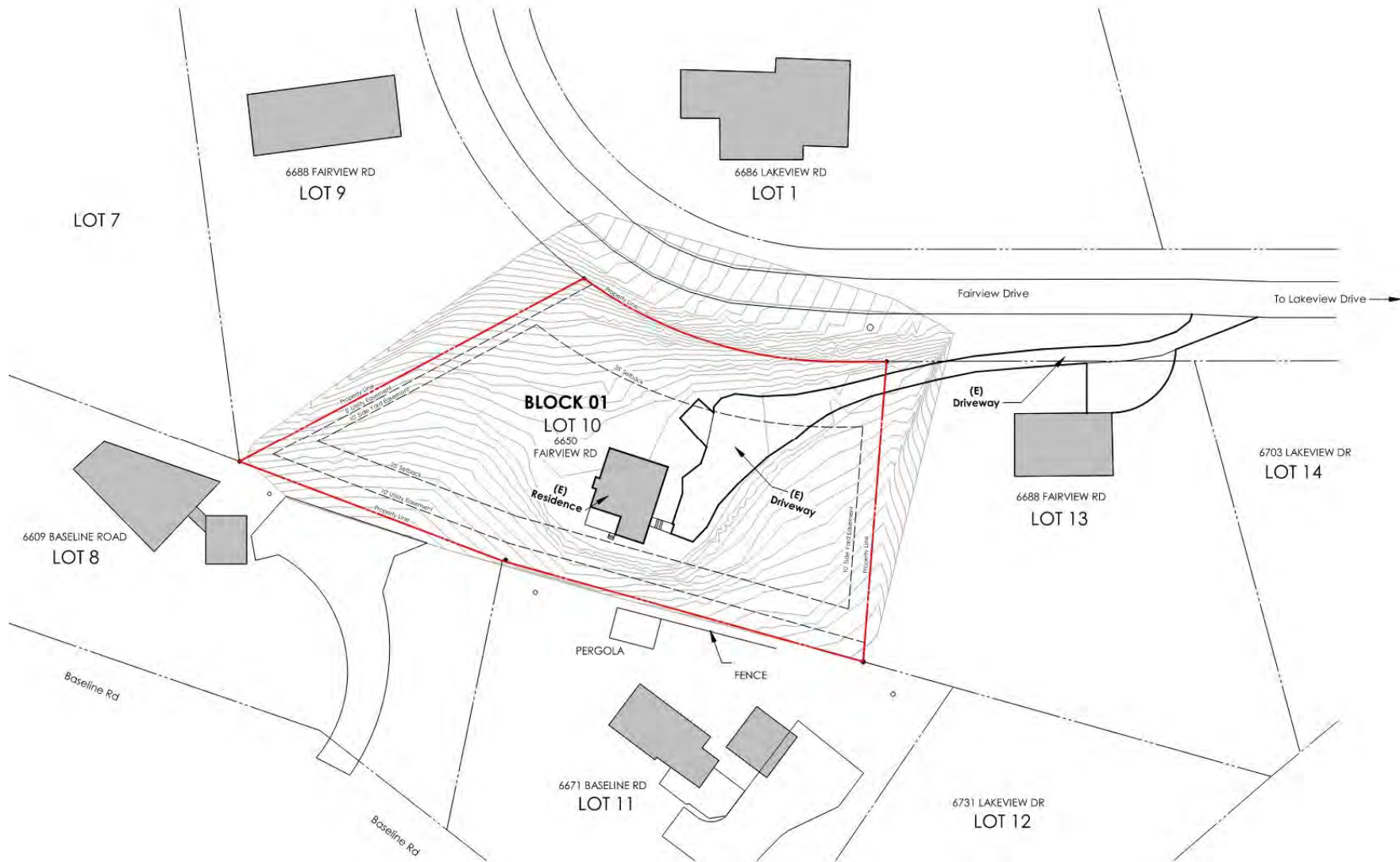
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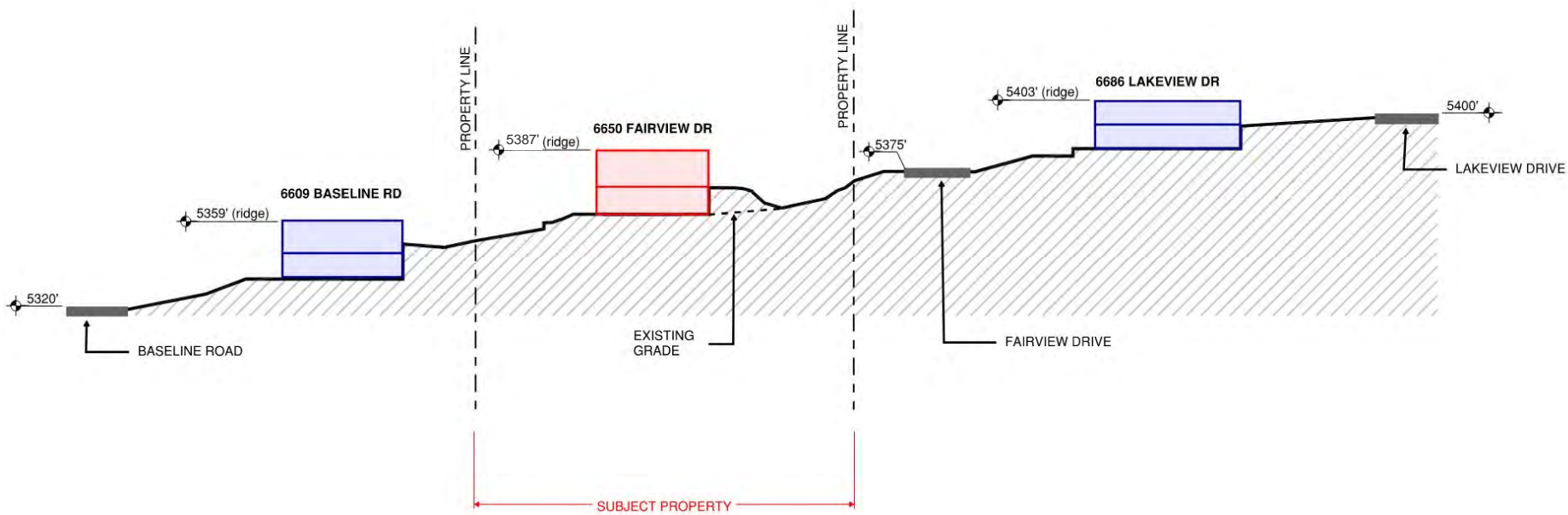
Re: Fairview Drive Single Family Residential Home – Site Plan Review

EXHIBITS INDEX

1. Expanded Site Plan showing current shared driveway condition
2. Proposed Site Section Diagram
3. Neighborhood Character Diagram showing newly constructed properties
4. View of existing house at 6650 Fairview Drive from Baseline Road looking north
5. View of existing house at 6650 Fairview Drive from the south side of Baseline Reservoir
6. Preliminary Size Analysis Diagram



1. Expanded Site Plan showing current shared driveway condition



2. Proposed Site Section Diagram



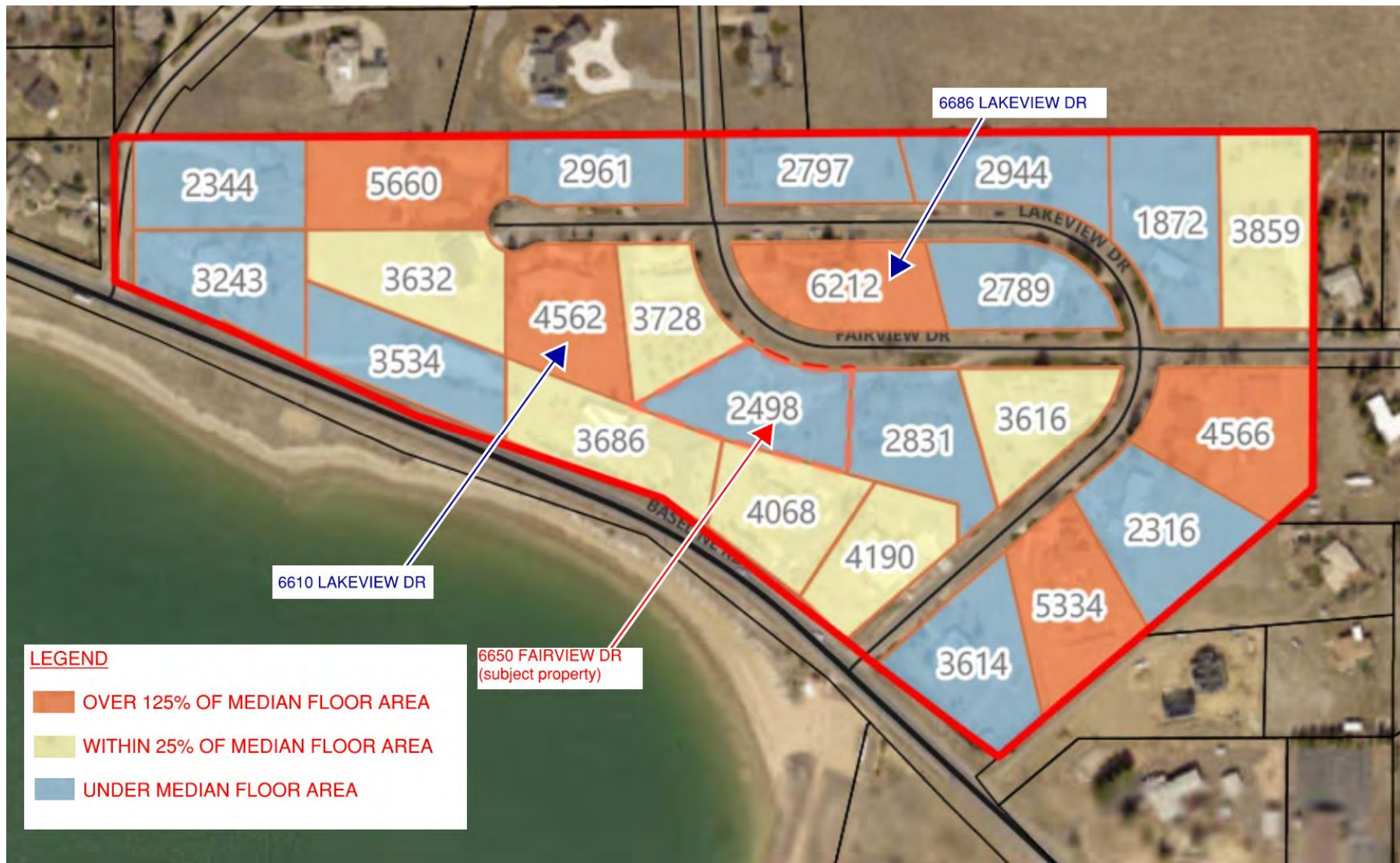
3. Neighborhood Character Diagram showing newly constructed properties



4. View of existing house at 6650 Fairview Drive from Baseline Road looking North



5. View of existing house at 6650 Fairview Drive from across Baseline Reservoir



6. Preliminary Size Analysis Diagram



Community Planning & Permitting

Courthouse Annex • 2045 13th Street • Boulder, Colorado 80302
 Mailing Address: P.O. Box 471 • Boulder, Colorado 80306
 303-441-3930 • www.BoulderCounty.gov

MEMO TO: County Health and Parks Departments, FPD
FROM: Sam Walker, Planner II
DATE: June 5, 2023
RE: Re-referral for Site Plan Review application SPR-22-0133

This application was originally referred as a combined LU/SPR (LU-22-0030/SPR-22-0133). It is being re-referred as an SPR only, with a revised plan set that reduces the proposed non-foundational earthwork below the threshold required for LU review. Also included are revised elevations, site plans, and project narrative.

Docket SPR-22-0133: Gravante Residence

Request: Site Plan Review to deconstruct the existing 2,498 sq. ft. residence before constructing a new 5,173 sq. ft. residence on a .91 acre parcel where the presumptive size maximum is 4,530 square feet
Location: 6650 Fairview Drive, Lot 10 Blk 1 Baseline Heights, approximately 0.1 miles west of the intersection of Fairview Drive and Lakeview Drive in Section 35, Township 1N, Range 70W
Zoning: Estate Residential (ER) Zoning District
Applicants/
Owners: Gary Douglas & Anne A V Gravante
Agent: Mosaic Architects & Interiors

Site Plan Review by the Boulder County Community Planning & Permitting Director is required for new building/grading/access or floodplain development permits in the plains and mountainous areas of unincorporated Boulder County. The subject review process considers potential significant impact to the ecosystem, surrounding land uses and infrastructure, and safety concerns due to natural hazards.

The Community Planning & Permitting staff values comments from individuals and referral agencies. Please check the appropriate response below or send a letter to the Community Planning & Permitting Department at P.O. Box 471, Boulder, Colorado 80306 or via email to planner@bouldercounty.org. All comments will be made part of the public record and given to the applicant. Only a portion of the submitted documents may have been enclosed; you are welcome to call the Community Planning & Permitting Department at 303-441-3930 or email planner@bouldercounty.org to request more information.

Please return responses to the above address by **June 23, 2023**.

We have reviewed the proposal and have no conflicts.
 Letter is enclosed.

Signed Name Jacob Cassidy Printed Name Jacob Cassidy
 Agency or Address City of Boulder Open Space and Mountain Parks
 Date 6/23/23

**Right of Way & Permits**

1123 West 3rd Avenue
Denver, Colorado 80223
Telephone: **303.571.3306**
Facsimile: 303. 571. 3284
donna.l.george@xcelenergy.com

June 23, 2023

Boulder County Community Planning and Permitting
PO Box 471
Boulder, CO 80306

Attn: Sam Walker

**Re: Gravante Residence and Driveway Earthwork – 2nd referral
Case # SPR-22-0133**

Public Service Company of Colorado's (PSCo) Right of Way & Permits Referral Desk has reviewed the site plan for **Gravante Residence and Driveway Earthwork**. Please be aware PSCo owns and operates existing natural gas distribution facilities within Fairview Drive and overhead electric distribution facilities along the rear property line. The property owner/developer/contractor must complete the application process for any new natural gas or electric service, or modification to existing facilities including relocation and/or removal via [xcelenergy.com/InstallAndConnect](https://www.xcelenergy.com/InstallAndConnect). It is then the responsibility of the developer to contact the Designer assigned to the project for approval of design details.

If additional easements need to be acquired by separate PSCo document, a Right-of-Way Agent will need to be contacted.

As a safety precaution, PSCo would like to remind the developer to contact Colorado 811 for utility locates prior to construction.

Donna George
Right of Way and Permits
Public Service Company of Colorado dba Xcel Energy
Office: 303-571-3306 – Email: donna.l.george@xcelenergy.com



Community Planning & Permitting

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 Tel: 303-441-3930 • www.BoulderCounty.gov

February 22, 2023

TO: Sam Walker, Planner II; Community Planning & Permitting, Development Review Team - Zoning

FROM: Anita Riley, Principal Planner; Community Planning & Permitting, Development Review Team – Access & Engineering

SUBJECT: Docket # SPR-22-0133: Gravante Residence and Driveway Earthwork Re-Referral – 6650 Fairview Drive

The Development Review Team – Access & Engineering staff has reviewed the original and revised application materials for the above referenced docket and comments have been revised as follows:

Legal Access

1. The subject property is accessed from Fairview Drive, a paved Boulder County owned and maintained right-of-way (ROW) with a Functional Classification of Local via an access easement. The access easement is noted and delineated on the plat for Baseline Heights subdivision, with Reception #90544055 and dated 8/17/1954. The property has legal Access via this access easement.

Geometric Design

2. The existing driveway must comply with [Boulder County Multimodal Transportation Standards \(the “Standards”\)](#) for residential development in the plains. The driveways shall be designed according to the Standards, including without limitation:
 - a. Table 5.5.1 – Parcel Access Design Standards (1-lane Plains Access)
 - b. Standard Drawing 11 – Private Access
 - c. Standard Drawing 14 – Access with Roadside Ditch
 - d. Standard Drawing 15 – Access Profiles Detail
 - e. Standard Drawing 16 – Access & Grade Clearance
 - f. Standard Drawing 17 – Access Pullouts
 - g. Standard Drawing 18 – Access Turnaround
 - h. Standard Drawing 19 – Typical Turnaround & Pullout Locations

Grading

3. Given the susceptibility of landslide hazard on a portion of the property, the applicants must comply with the recommendations made in the soils report provided by CTL Thompson, Inc., date August 26, 2022.

4. The grading plan provided by the Hager Company, dated 5/24/2023, indicates grading outside the access easement at approximately Station 2+25.

At building permit, provide proof of permission to grade out the access easement with an executed construction easement or other acceptable mechanism.

5. Retaining walls are proposed at various locations. Per the Standards, designs for retaining walls over 4 feet in height, as measured from the bottom of footing to the top of wall, must be signed and stamped by a qualified Colorado- licensed Professional Engineer. Calculations must be submitted for retaining walls over 6 feet in height.

Stormwater

6. The proposal has been evaluated according to Section 1200 of the Boulder County Storm Drainage Criteria Manual and, while subject to the full-spectrum detention and permanent water quality requirements, also appear to meet the exceptions for low impact development principles. No further action is required.

This concludes our comments at this time.



Community Planning & Permitting

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 Mailing Address: P.O. Box 471 • Boulder, Colorado 80306 • www.bouldercounty.gov

Building Safety & Inspection Services Team

MEMO

TO: Sam Walker, Planner II
 FROM: Michelle Huebner, Plans Examiner Supervisor
 DATE: June 20, 2023

RE: Referral Response, SPR-22-0133: Gravante Residence. Site Plan Review to deconstruct the existing 2,498 sq. ft. residence before constructing a new 5,173 sq. ft. residence on a .91 acre parcel where the presumptive size maximum is 4,530 square feet.

Location: 6650 Fairview Drive

Thank you for the referral. We have the following comments for the applicants:

1. **Building Permit.** A building permit, plan review, inspection approvals, and a Certificate of Occupancy ("C.O.") are required for the proposed residence.

Please refer to the county's [adopted 2015 editions of the International Codes and code amendments](#), which can be found via the internet under the link:

2015 Building Code Adoption & Amendments, at the following URL:
[Amendments to Boulder County Building Code effective June 6, 2022](#)

2. **Automatic Fire Sprinkler System.** Under the 2015 International Residential Code ("IRC") as adopted by Boulder County, all new one- and two-family dwellings and townhouses are required to be equipped with an automatic fire sprinkler system that is designed and installed in accordance with NFPA 13D or IRC Section P2904.
3. **BuildSmart.** Please refer to the county's adoption and amendments to Chapter 11 of the IRC, the county's "BuildSmart" program, for the applicable requirements for energy conservation and sustainability for residential additions and new residential buildings. Please be aware that there are energy related requirements of this code that may require the use of renewable energy systems (such as rooftop solar systems) that will also need to be approved by your electric utility provider. In some cases, there may be limitations on the size of on-site systems allowed by your utility provider that could constrain the project design. We strongly encourage discussions between the design team and the utility company as early in the process as possible in order to identify these constraints.

4. **Electric vehicle charging outlet.** Boulder County Building Code requires:
 - a. R329.1 Electric vehicle charging pre-wire option. In addition to the one 125-volt receptacle outlet required for each car space by NEC Section 210.52(G)(1.), every new garage or carport that is accessory to a one- or two-family dwelling or townhouse shall include at least one of the following, installed in accordance with the requirements of Article 625 of the Electrical Code:
 - i. A Level 2 (240-volt) electric vehicle charging receptacle outlet, or
 - ii. Upgraded wiring to accommodate the future installation of a Level 2 (240-volt) electric vehicle charging receptacle outlet, or
 - iii. Electrical conduit to allow ease of future installation of a Level 2 (240-volt) electric vehicle charging receptacle outlet.
5. **Design Wind and Snow Loads.** The design wind and ground snow loads for the property are 155 mph (Vult) and 40 psf, respectively.
6. **Ignition-Resistant Construction and Defensible Space.** Please refer to Section R327 of the Boulder County Building Code for wildfire hazard mitigation requirements, including ignition-resistant construction and defensible space.
7. **Plan Review.** The items listed above are a general summary of some of the county's building code requirements. A much more detailed plan review will be performed at the time of building permit application, when full details are available for review, to assure that all applicable minimum building codes requirements are to be met. Our [Residential Plan Check List](#) and other Building Safety publications can be found at: [Building Publications, Applications and Forms - Boulder County](#)

If the applicants should have questions or need additional information, we'd be happy to work with them toward solutions that meet minimum building code requirements. Please call (720) 564-2640 or contact us via e-mail at building@bouldercounty.org



Community Planning & Permitting

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 Mailing Address: P.O. Box 471 • Boulder, Colorado 80306
 303-441-3930 • www.BoulderCounty.gov

MEMO TO: Agencies and Adjacent Property Owners
FROM: Sam Walker, Planner II
DATE: January 30, 2023
RE: Docket **LU-22-0030/SPR-22-0133**

Docket LU-22-0030/SPR-22-0133: Gravante Residence and Driveway Earthwork

Request: Limited Impact Special Use Review to permit 1,992 cubic yards of driveway earthwork, and Site Plan Review to deconstruct the existing 2,498 sq. ft. residence before constructing a new 5,353 sq. ft. residence on a .91-acre parcel where the presumptive size maximum is 4,519 square feet

Location: 6650 Fairview Drive, Lot 10 Blk 1 Baseline Heights, approximately 0.1 miles west of the intersection of Fairview Drive and Lakeview Drive in Section 35, Township 1N, Range 70W

Zoning: Estate Residential (ER)

Applicants/Property Owners: Gary Douglas & Anne A V Gravante

Agent: Mosaic Architects & Interiors

Limited Impact Special Review is required of proposed uses that may have greater impacts on services, neighborhoods, or the environment than those allowed by right under the Boulder County Land Use Code. This process will review conformance of the proposed use with the Boulder County Comprehensive Plan and the Land Use Code.

Site Plan Review by the Boulder County Community Planning & Permitting Director is required for new building/grading/access or floodplain development permits in the plain and mountainous areas of unincorporated Boulder County. The Review considers potential significant impact to the ecosystem, surrounding land uses and infrastructure, and safety concerns due to natural hazards.

This process includes a public hearing before the Board of County Commissioners. Adjacent property owners and holders of liens, mortgages, easements or other rights in the subject property are notified of this hearing.

The Community Planning & Permitting staff and County Commissioners value comments from individuals and referral agencies. Please check the appropriate response below or send a letter to the Community Planning & Permitting Department at P.O. Box 471, Boulder, Colorado 80306 or via email to planner@bouldercounty.org. All comments will be made part of the public record and given to the applicant. Only a portion of the submitted documents may have been enclosed; you are welcome to call the Community Planning & Permitting Department at 303-441-3930 or email planner@bouldercounty.org to request more information. If you have any questions regarding this application, please contact me at 720-564-2738 or swalker@bouldercounty.org.

Please return responses by **February 14, 2023.**

(Please note that due to circumstances surrounding COVID-19, application timelines and deadlines may need to be modified as explained in the CPP Notice of Emergency Actions issued March 23, 2020 (see <https://boco.org/covid-19-cpp-notice-20200323>).

We have reviewed the proposal and have no conflicts.
 Letter is enclosed.

Signed  PRINTED Name Jessica Fasick

Agency or Address CP&P Historic Review

Date 1/30/23

Walker, Samuel

From: Cassidy, Jacob <CassidyJ@bouldercolorado.gov>
Sent: Tuesday, February 14, 2023 11:13 AM
To: Walker, Samuel
Cc: Collins, Bethany
Subject: [EXTERNAL] LU-22-0034/SPR-22-0133: Gravante Residence and Driveway Earthwork Comments
Attachments: OSMP_Comments_GravanteResidenceandDriveway.pdf

Hi Samuel,

Thank you for the chance to review this referral. We've looked over the application and have no further comments.

Thank you!

Jake Cassidy
Property Agent
Real Estate Services
(pronouns: he/him/his) [What's This?](#)



City of Boulder
Open Space & Mountain Parks

303-518-6431
cassidyj@bouldercolorado.gov

2520 55th Street | Boulder, CO 80301
[Office Hours and Directions](#)
www.osmp.org

**Right of Way & Permits**

1123 West 3rd Avenue
Denver, Colorado 80223
Telephone: **303.571.3306**
Facsimile: 303. 571. 3284
donna.l.george@xcelenergy.com

February 9, 2023

Boulder County Community Planning and Permitting
PO Box 471
Boulder, CO 80306

Attn: Sam Walker

**Re: Gravante Residence and Driveway Earthwork
Case #s LU-22-0030 and SPR-22-0133**

Public Service Company of Colorado's (PSCo) Right of Way & Permits Referral Desk has reviewed the site plan/limited impact special review for **Gravante Residence and Driveway Earthwork**. Please be aware PSCo owns and operates existing natural gas distribution facilities within Fairview Drive and overhead electric distribution facilities along the rear property line. The property owner/developer/contractor must complete the application process for any new natural gas or electric service, or modification to existing facilities including relocation and/or removal via xcelenergy.com/InstallAndConnect. It is then the responsibility of the developer to contact the Designer assigned to the project for approval of design details.

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As a safety precaution, PSCo would like to remind the developer to contact Colorado 811 for utility locates prior to construction.

Donna George
Right of Way and Permits
Public Service Company of Colorado dba Xcel Energy
Office: 303-571-3306 – Email: donna.l.george@xcelenergy.com



Parks & Open Space

5201 St. Vrain Road • Longmont, CO 80503
 303-678-6200 • POSinfo@bouldercounty.org
 www.BoulderCountyOpenSpace.org

TO: Sam Walker, Community Planning & Permitting Department
FROM: Ron West, Natural Resource Planner
DATE: March 7, 2023
SUBJECT: Docket LU-22-0030/SPR-22-0133, Gravante, 6650 Fairview Drive

Staff has reviewed the submitted material, and has visited the subdivision many times in the past. The southern edge of what is known as Hoover Hill has been the locale of several visually-impactful proposals, over about the last decade. These dockets were carefully reviewed for their scenic impacts since the hill overlooks Baseline Road and Reservoir as well as nearby existing houses.

The subject docket is not an exception and staff's main concern is the visual impact from the proposal. The subject lot is "perched" -- from 30 to 50 vertical feet -- above Baseline Road and the shore of Baseline Reservoir, while the lot is highly visible to the west as well, on Baseline Road.

The proposal calls for about 2800 cubic yards of fill, mostly to raise the future house and driveway. Staff considers this to be unnecessary site disturbance. Although the term is not defined, this could be called "terraforming" of the site. This would significantly raise the future house when compared to the existing house. Additionally, the proposed house is to be the maximum height of 35 feet tall. Combining these two factors, the proposed house would possibly be the most prominent in the neighborhood. Finally, the southern façade of the structure is to include a significant amount of window glazing.

The Boulder County Comprehensive Plan states that, "To the extent *possible*, the county shall avoid, minimize, or mitigate impacts on views from view protection corridors..." (OS 1.02.01; emphasis added). The visual "score" for Baseline Road and its attendant View Protection Corridor is 3.0 – a very high score for the plains portion of the county.

Further, Site Plan Review (SPR) Standard 10 states that, "The development shall not have a significant negative visual impact on the natural features or neighborhood character of the surrounding area. Development shall avoid prominent...or visually exposed portions of the property. Particular consideration shall be given to protecting views from public...rights-of-way...."

Staff therefore concludes that the proposal is not consistent with the Comprehensive Plan, nor with SPR Standards 10 and 15.

Walker, Samuel

From: Allison Farrand <allisonfarrand@me.com>
Sent: Friday, August 4, 2023 5:31 PM
To: Walker, Samuel
Cc: LU Land Use Planner
Subject: Re: [EXTERNAL] Ask a Planner

Hello Samuel and planning office,

I read through the determination letter and was unpleasantly surprised by the fact that the house has been conditionally approved by the planning office. It is neither in character with current home sizes in the neighborhood nor within the presumptive size guidelines. 1500 square feet above the average in our neighborhood....and 643 square feet above the 125% mark. The house is too large, it will sit looming above the existing houses on Baseline. The more recent constructions in this area all are within reasonable limits.

from the submittal documents:

"Median (total residential floor area) in the defined neighborhood* 3,624 square feet
 125% of the median residential floor area in the defined neighborhood 4,530 square feet
 Total existing residential floor area on the subject parcel* 2,498 square feet
 Total proposed residential floor area 5,173 square feet"

*Source: Boulder County Assessor's records, as verified by CPP staff

The information in this slide is incorrect



4. Preliminary Size Analysis Diagram

1701 15th Street Suite C., Boulder, CO 80302 | p: 303.247.1100 | f: 303.247.1101 | www.mosaicarchitects.com

I say this because my house (6731 Lakeview Dr.) is 3500 square feet but this slide says we are within the 125%. This other slide below also show that at least one other house is within/below (6609 Baseline)



Summarizing, the house at 5100+ square feet is NOT within our neighborhood's character, it is well above the average and well above presumptive size and should not be approved as currently requested.

Thanks for your attention
Allison

On 25 Feb 2023, at 11:36, Allison Farrand <allisonfarrand@me.com> wrote:

Hello Sam,

I have had a chance to review the plans and my only (but significant) concern is with the size of the home. I, once again, request that no homes above the presumptive size be approved for a few reasons. Every house which is approved above the presumptive size brings the average up. It also opens the precedent for future requests because any house approved over presumptive opens the door for others to expect that theirs should be approved as well.

If you look at this slide (SLIDE 35, Item 5 narrative)

<PastedGraphic-1.tiff>

you will notice that all the more recent constructions are within the presumptive size requirements, if they are using this slide to demonstrate neighborhood character they should also use it to manage the size of the home.

Thanks for your attention,

Allison

On 17 Feb 2023, at 14:49, Walker, Samuel <swalker@bouldercounty.org> wrote:

Good afternoon Allison,
Apologies about the sign, everything looks correct on my end but I may have inadvertently mistyped the number before I placed the sign several weeks ago. I will await your revised comments, but I'd be happy to add your original message as a comment to the project file if you'd like. Please let me know one way or the other.

If you're still having issues accessing the application materials, I'd also be happy to send you the full application packet as a PDF.

Please feel free to reach out to me directly with any questions or further comments, I'm the planner assigned to conduct the review of the application.

Sam Walker

Planner II | Boulder County Community Planning & Permitting
2045 13th Street, Boulder, CO 80302
Ph: 720-564-2738
swalker@bouldercounty.org
<image001.png>

From: ALLISON FARRAND <allisonfarrand@me.com>
Sent: Friday, February 17, 2023 11:34 AM
To: LU Land Use Planner <planner@bouldercounty.org>
Subject: [EXTERNAL] Re: Ask a Planner

Oh, after a bit more digging I found the planning documents - I will revise and send any further comments

But still believe all new construction in our area should be within or below presumptive size.

On Feb 17, 2023, at 11:15, Boulder County Ask a Planner <no-reply@wufoo.com> wrote:

Thank you for your submission. Our service hours are 8 a.m. – 4:30 p.m. Monday, Wednesday, Thursday and Friday, and 10 a.m. – 4:30 p.m. Tuesday. The Community Planning & Permitting Department's office in Boulder is open to walk-in customers (no appointment necessary) Monday, Wednesday, and Thursday from 9 a.m. – 2 p.m. and on Tuesdays by appointment only from 12:30 to 4:30 p.m.

The Community Planning & Permitting Department has jurisdiction in unincorporated Boulder County, not in cities and towns. See [Municipality Contacts Within Boulder County](#) for questions related to cities or towns in Boulder County.

Ask a Planner

**Boulder County
Property Address** 6650 Fairview Dr

**If your comments
are regarding a
specific Docket,
please enter the
Docket number** SPR-22-0133

Name * Allison Farrand

Email Address * allisonfarrand@me.com

Phone Number (720) 917-5734

Please enter your question or comment *

Hello,

I was walking in the neighborhood and saw a sign for a SPR for 6650 Fairview Dr..

First, please note that the number on the sign is incorrect. It says SPR 22-0130 but the correct reference is 22-0133.

Second, I did not find the application documents in SPR website under the address or correct docket number.

Third, the information I did find states that the presumptive size is above what is allowed for this area and I would like to know if you please do not approve any houses larger than presumptive size.

I would like to look at the application documents regardless, to see what they are proposing so that I can provide any other comments regarding this SPR.

thanks

**Public record
acknowledgement ***

- I acknowledge that this submission is considered a public record and will be available by request under the Colorado Open Records Act.

<~WRD1167.jpg>