



Community Planning & Permitting

Courthouse Annex • 2045 13th Street • Boulder, Colorado 80302 • Tel: 303.441.3930 • Fax: 303.441.4856
Mailing Address: P.O. Box 471 • Boulder, Colorado 80306 • www.bouldercounty.gov

BOULDER COUNTY BOARD OF ADJUSTMENT

AGENDA ITEM

Wednesday February 7, 2024 4:00 P.M.

PUBLIC HEARING

STAFF PLANNER: Amber Knotts, Planner I

RECOMMENDATION: Staff recommends approval of the variance request with conditions.

Docket VAR-23-0005: Schaefer Variance

Request: Variance request to reduce the side-yard setback for the south property line from 25 feet (required) to 12.5 feet (proposed) for the construction of a retaining wall and entry stairs that will replace an existing retaining wall and entry stairs that currently encroach 13.4 feet into the side-yard setback on an approximately 5.61-acre parcel.

Location: 238 Cedar Brook Drive, Parcel no. 146123009004, located approximately 0.2 miles south of the intersection of South Cedar Brook Road and Linden Drive, Section 23, Township 1N, Range 71W.

Zoning: Forestry (F) Zoning District

Agent: Larry Skye

Applicants / Property Owner: Alexander Schaefer

PACKET CONTENTS

Item	Pages
o Staff Recommendation	1 – 6
o Application Materials (Attachment A)	A1 – A24
o 1975 Variance files (Attachment B)	B1 – B9
o Referral Responses (Attachment C)	C1 – C9

SUMMARY

The applicants request a 12.5-foot reduction from the required 25-foot setback from the side-yard (southern) property line to facilitate the construction of a retaining wall and entry stairs (BP-24-0040) that will replace an existing retaining wall and entry stairs that currently encroach approximately 13.4

feet and 12.1 feet into the side-yard setback. The property is in the Forestry (F) zoning district where the minimum setbacks are 15 feet from the front lot line, 25 feet from the side lot line, and 15 feet from the rear lot line.

Staff recommends approval of the variance request with conditions, based on staff's finding that all of the review criteria in Article 4-1202.B.2 are met.

DISCUSSION

The subject parcel is located approximately 0.2 miles south of the intersection of South Cedar Brook Road and Linden Drive in the Pine Brook Hills subdivision. The property is a platted lot that is approximately 5.61 acres in size. Access to the parcel is off South Cedar Brook Road.

The Forestry zoning district requires a 25-foot setback from the side lot line per Article 18-175.C of the Code. A Variance approving a 20-foot setback from the south lot line was granted in 1975 for the existing residence. The building permit (BP-75-20227) for the existing residence shows that it meets these approved setbacks; however, current building permit plans show that the residence, retaining wall, and entry stairs all encroach into the setback as illustrated in Figure 1 below and do not actually comply with the reduced setback granted in 1975.

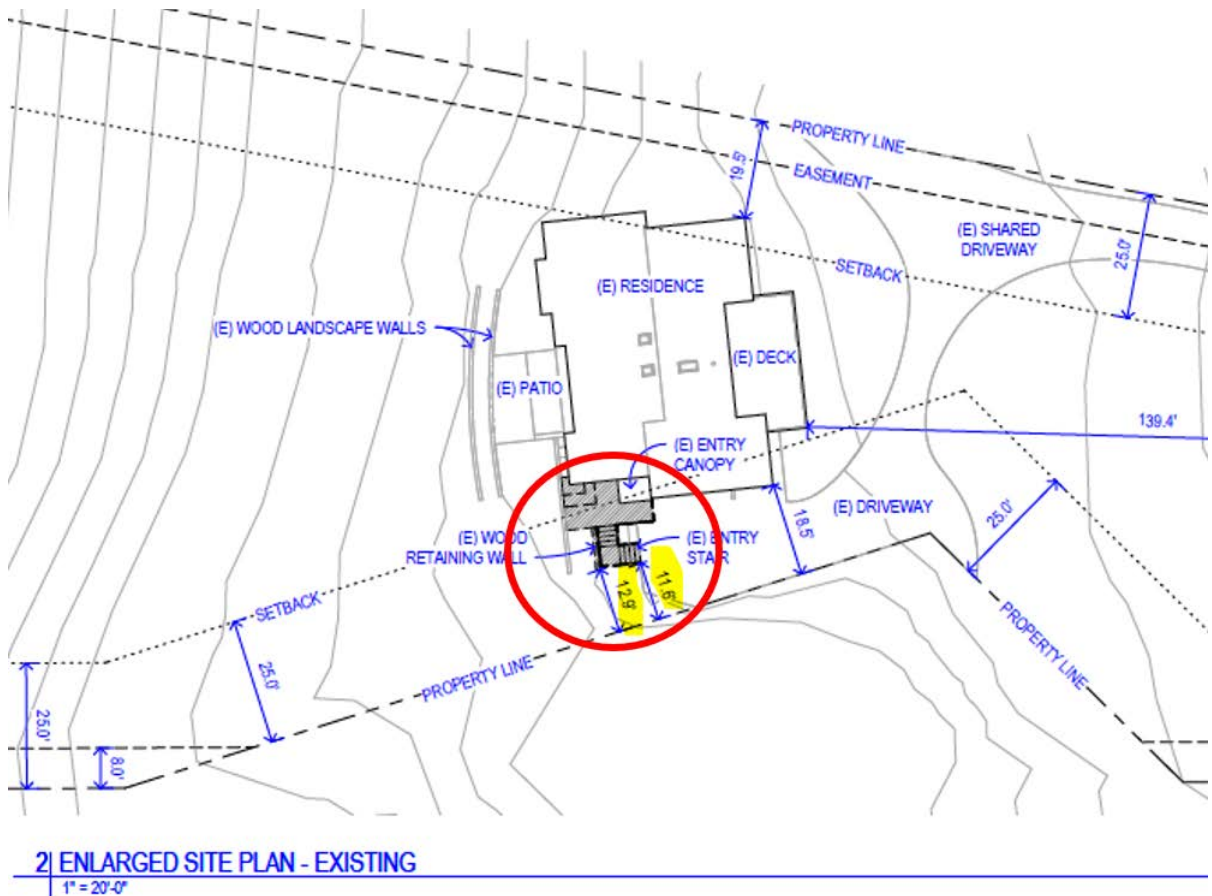


Figure 1: Site plans depicting the existing retaining wall and entry stairs that currently encroach into the side-yard setback (circled in red) that are proposed to be demoed and replaced.

The applicant requests a 12.5-foot variance from the required 25-foot side-yard setback to allow for the replacement of the existing retaining wall and entry stairs, which the applicant states currently pose a health concern and potential future safety concerns. Figure 2 below illustrates the proposed improvements to these existing structures.

The applicant notes that rodents take shelter under the enclosed stairs and the retaining wall provides structural support to the abutting hill side. The proposed replacement entry stairs would be open as to not act as a shelter for animals and the 49-year-old retaining wall would be reconstructed for increased stability.

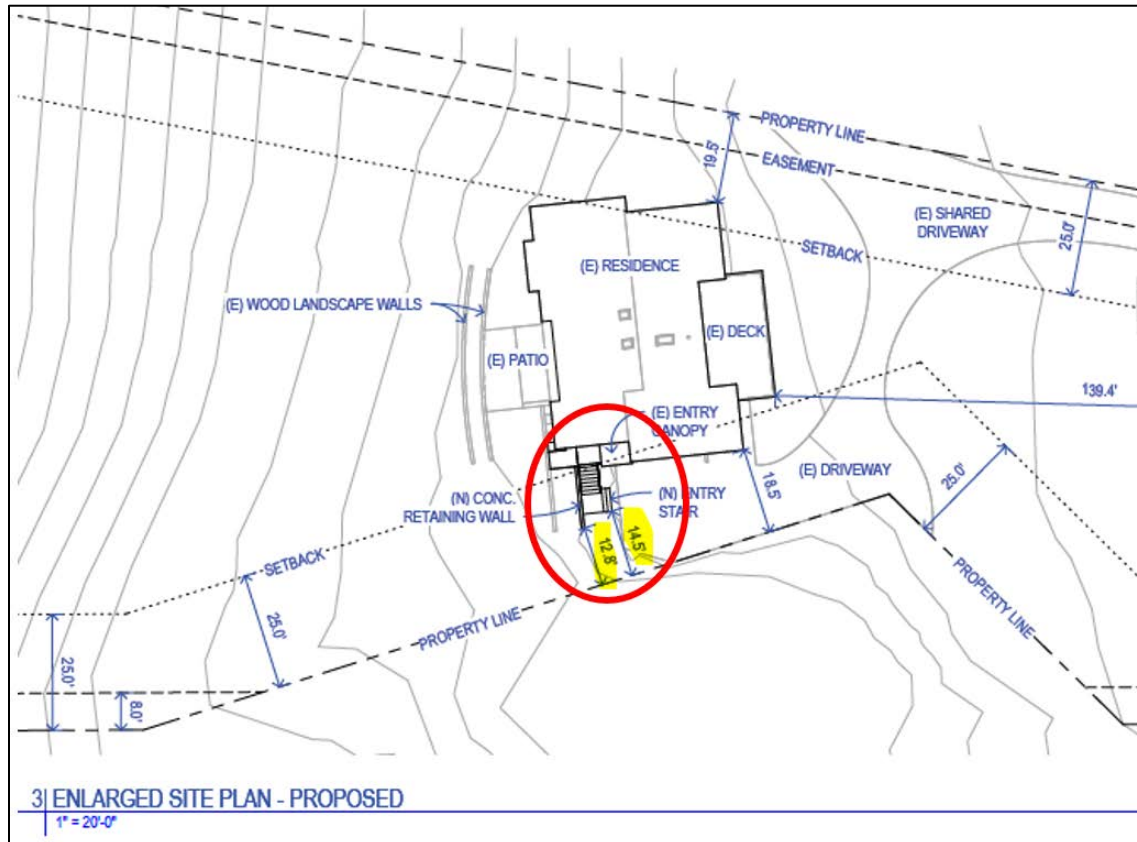


Figure 2: Site Plan showing proposed improvements of the retaining wall and entry stairs (circled in red). The plans indicate the proposed replacement of the retaining wall and entry stairs will reduce the encroachment of both structures from what currently exists.

Prior to the construction of the residence in 1975, the subject parcel was granted a variance, (VAR-75-0332). The 1975 variance granted a reduction to the side-yard setbacks, where the required 25-foot setback was reduced to 20 feet from the south lot line and 21 feet from the north lot line. The existing entry stairs and retaining wall currently encroach into the setback 13.4 feet (11.6 feet from the lot line) and 12.1 feet (12.9 feet from the lot line) respectively. The replacement entry stairs are proposed to be 14.5 feet from the south lot line, and the retaining wall is proposed to be no more than 12.5 feet from the south lot line.

REFERRALS

The variance request information was sent to property owners within 1,500 feet of the subject parcel, as well as all applicable referral agencies. Responses received by staff are attached to this staff recommendation (Attachment C) and summarized below.

Boulder County Access & Engineering Review: Section J108 of the 2015 IBC prohibits grading within 2 feet of all property lines and historic drainage flow must be maintained at the property lines.

Boulder County Wildfire Mitigation: The Wildfire team referral response noted that increased ignition resistant materials are required for the construction of the retaining wall and entry stairs due to a lack of defensible space from structures to the property line.

Agencies indicating no conflicts: Boulder County Public Health, Boulder County Building Safety & Inspection Services Team, Boulder County Parks & Open Space, Boulder County Historic Preservation, City of Boulder Open Space and Mountain Parks, Colorado Geological Survey, and Xcel Energy.

Agencies that did not respond: Boulder County Long Range Planning, Boulder County Assessor, Boulder County Surveyor, Northern Colorado Water Conservancy District, Pine Brook Water District, City of Boulder Planning and Development Services, Boulder Valley & Longmont Conservation District, History Colorado, Boulder Mountain Fire Protection District, and Pine Brook Hills Architectural Review Committee.

Adjacent Property Owners – 113 referrals were sent to nearby property owners, and staff has not received any responses.

CRITERIA ANALYSIS

Per Article 3-100.A.18 of the Code the Board of Adjustment (BOA) may approve a variance from the terms of the Code as set forth in Article 4-1200. To grant a variance, the BOA must find that all the following criteria in **Article 4-1202(B)(2)** of the Code have been satisfied:

- (a) There exist exceptional or extraordinary physical circumstances of the subject property such as irregularity, narrowness, shallowness, or slope;*

The subject parcel is long (approx. 1,246 feet) and starts off narrow (approx. 100 feet), and widens gradually towards the center of the lot. It is approximately 5.61 acres in size. The topography is moderately sloped on the narrower eastern portion where the residence is located on the hillside, but becomes very steep and rocky. This topography creates construction challenges as you move west along the parcel (see Figure 3 below). Given the subject parcel's steep slopes and narrow configuration in the buildable area staff finds that there are extraordinary and exceptional physical characteristics.

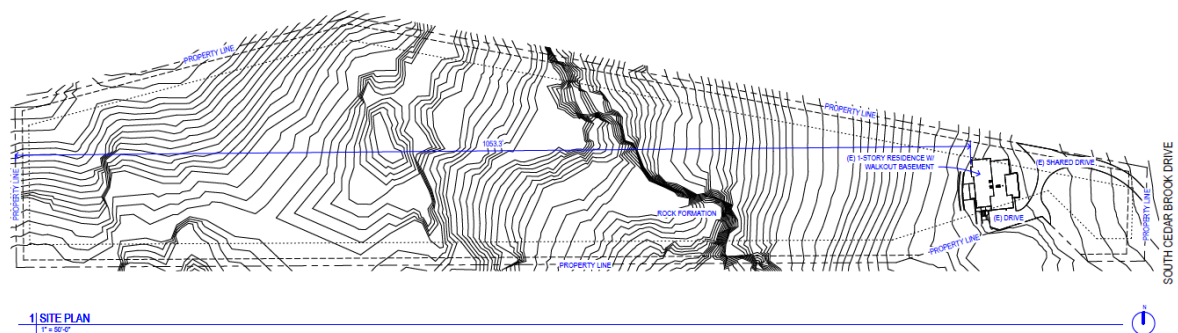


Figure 3: Site plan depicting the narrowness and existing topography on the subject parcel, with the existing residence located on the eastern portion.

Therefore, staff finds this criterion is met.

- (b) Because of these physical circumstances, the strict application of the Code creates an exceptional or undue hardship upon the property owner;*

The 25-foot side-yard setback from the south lot line and the steeply sloping rear portion of the property effectively remove any developable area west of the existing residence. To relocate the

existing entry stairs and retaining wall elsewhere than on the south end of the residence where they exist, would require an entirely new design and entry to the existing structure. The 1975 variance granted reduced side-yard setbacks of 20-feet and 21-feet from the south and north lot lines respectively for construction of the residence, although it appears that the existing entry stairs and retaining wall do not comply with that approval.

The site's steep topography does not provide the ability to relocate the existing structures elsewhere on the subject parcel while still providing access to the main door, strict application of the Code would require that this residence never be altered in any way that would allow for the improvements of these existing structures. Staff finds these physical circumstances create an undue hardship upon the property owner.

Therefore, staff finds this criterion is met.

(c) The hardship is not self-imposed;

The existing retaining wall and entry stairs were constructed with the residence in 1975. The residence was designed in a way that make the entry stairs and supporting retaining wall necessary for safe access to the main door of the residence. There is not an alternative location where rebuilding the entry stairs could access the main entry of the residence and be compliant with setbacks. This variance would allow for the retaining wall and entry stairs that were previously constructed to be rebuilt in the same approximate location.

Therefore, staff finds the hardship is not self-imposed and this criterion is met.

(d) The variance, if granted, will not adversely affect the uses of adjacent property as permitted under this code;

The variance, if granted, would allow for rebuilding of an existing retaining wall and existing entry stairway. They are on the south side of the residence and building them into the setback at the requested locations would not affect the residential uses of adjacent properties.

Therefore, staff finds this criterion is met.

(e) The variance, if granted, will not change the character of the zoning district in which the property is located, and is in keeping with the intent of the Code and the Boulder County Comprehensive Plan;

The Pine Brook Hills subdivision consists of primarily single-family residences, and much of the development is on lots with similar physical constraints. Staff does not have concerns that the variance, if granted, will change the character of the zoning district in which the subject parcel is located. The location of the proposed retaining wall and entry stairs is consistent with the existing development and in character with the Forestry zoning district. No conflicts with the Boulder County Comprehensive Plan are foreseen.

Therefore, staff finds that this criterion is met.

(f) The variance, if granted, does not adversely affect the health, safety, and welfare of the citizens of Boulder County and is in accordance with the Comprehensive Plan and any applicable intergovernmental agreement affecting land use or development.

Due to the narrowness of the subject parcel, there is not adequate defensible space surrounding the developed area. Concrete is proposed for the retaining wall and steel is proposed for the entry stairs, which meets Boulder County's ignition resistant materials requirement. This would

improve the safety of the site, replacing outdated materials that currently do not meet today's building code standards and ignition resistant ratings. The new deck materials would be required to meet current building code standards.

Therefore, staff finds this criterion is met.

RECOMMENDATION

For the reasons described above, Community Planning & Permitting staff find that the requested variance satisfies the required criteria in Art. 4-1202.B.2 and recommends that the Board of Adjustment **CONDITIONALLY APPROVE Docket VAR-23-0005: Schaefer Variance**, with the following conditions:

1. The side-yard setback is reduced from 25 feet to 12.5 feet from the south lot line, such that the retaining wall and entry stairs can be constructed as proposed in BP-24-0040.
2. To verify the retaining wall and entry stairs do not exceed the 12.5-foot side-yard setback reduction, a setback survey is required.



Boulder County Land Use Department

Courthouse Annex Building
2045 13th Street • PO Box 471 • Boulder, Colorado 80302
Phone: 303-441-3930 • Fax: 303-441-4856
Email: planner@bouldercounty.org
Web: www.bouldercounty.org/lu
Office Hours: Mon., Wed., Thurs., Fri. 8 a.m. to 4:30 p.m.
Tuesday 10 a.m. to 4:30 p.m.

Shaded Areas for Staff Only

Intake Stamp

Application Form

Project Number		Project Name	
<input type="checkbox"/> Limited Impact Special Use <input type="checkbox"/> Limited Impact Special Use Waiver <input type="checkbox"/> Modification of Special Use <input type="checkbox"/> Site Plan Review <input type="checkbox"/> Site Plan Review Waiver <input type="checkbox"/> Subdivision Exemption <input type="checkbox"/> Exemption Plat <input type="checkbox"/> 1041 State Interest Review <input type="checkbox"/> Other:		Application Deadline: First Wednesday of the Month <input checked="" type="checkbox"/> Variance <input type="checkbox"/> Appeal	
		Application Deadline: Second Wednesday of the Month <input type="checkbox"/> Sketch Plan <input type="checkbox"/> Preliminary Plan <input type="checkbox"/> Final Plat <input type="checkbox"/> Resubdivision (Replat) <input type="checkbox"/> Special Use/SSDP	
		<input type="checkbox"/> Rezoning <input type="checkbox"/> Road/Easement Vacation <input type="checkbox"/> Location and Extent <input type="checkbox"/> Road Name Change	
Location(s)/Street Address(es) 238 S Cedar Brook Rd			
Legal description: LOT 282 LESS TRI 211.10 FT X 168.5 FT X 70.77 FT ON SE COR PINE BROOK HILLS 5			
Subdivision Name Pine Brook Hills			
Lot(s) See legal description	Block(s)	Section(s)	Township(s)
Area in Acres	Existing Zoning	Existing Use of Property	Range(s)
Proposed Water Supply		Proposed Sewage Disposal Method	

Applicants:

Applicant/Property Owner Alex Schaefer (owner) Alexander Schaefer		Email Address alex.schaefer@hey.com	
Mailing Address 238 S Cedar Brook Rd			
City Boulder	State CO	Zip Code 80304	Phone Fax
Applicant/Property Owner/Agent/Consultant Larry Sykes (architect)		Email Address larry@sykesprojects.com	
Mailing Address 1057 N Emerson St Unit A			
City Denver	State CO	Zip Code 80218	Phone 720-480-2354 Fax
Agent/Consultant		Email Address	
Mailing Address			
City	State	Zip Code	Phone Fax

Certification (Please refer to the Regulations and Application Submittal Package for complete application requirements.)

I certify that I am signing this Application Form as an owner of record of the property included in the Application. I certify that the information and exhibits I have submitted are true and correct to the best of my knowledge. I understand that all materials required by Boulder County must be submitted prior to having this matter processed. I understand that public hearings or meetings may be required. I understand that I must sign an Agreement of Payment for Application processing fees, and that additional fees or materials may be required as a result of considerations which may arise in the processing of this docket. I understand that the road, school, and park dedications may be required as a condition of approval.

I understand that I am consenting to allow the County Staff involved in this application or their designees to enter onto and inspect the subject property at any reasonable time, without obtaining any prior consent.

All landowners are required to sign application. If additional space is needed, attach additional sheet signed and dated.

x	Signature of Property Owner <i>Alexander Schaefer</i>	Printed Name Alexander Schaefer	Date Dec 3, 2023
x	Signature of Property Owner	Printed Name	Date

The Land Use Director may waive the landowner signature requirement for good cause, under the applicable provisions of the Land Use Code.



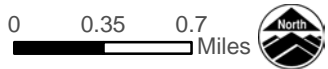
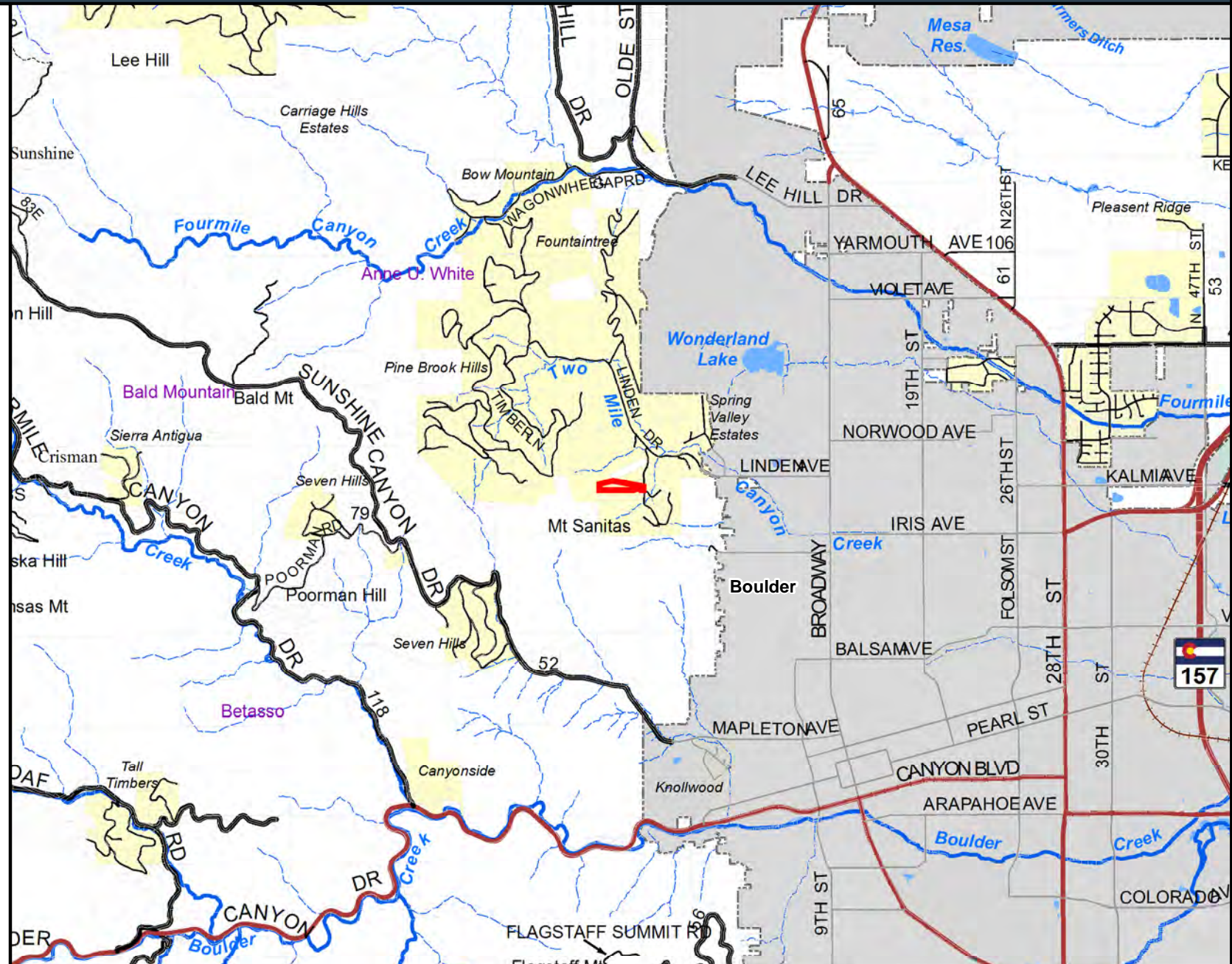
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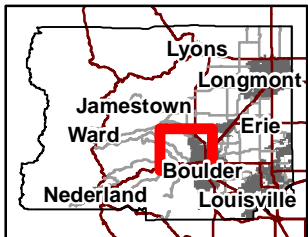
Vicinity

238 S CEDAR BROOK RD

- Subject Parcel
- Municipalities
- Subdivisions**
- Subdivisions



Area of Detail Date: 4/13/2023



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Location

238 S CEDAR BROOK RD

 Subject Parcel

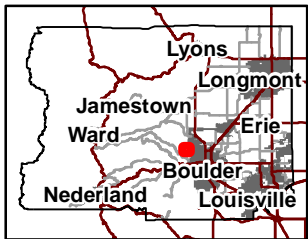
Subdivisions

 Subdivisions

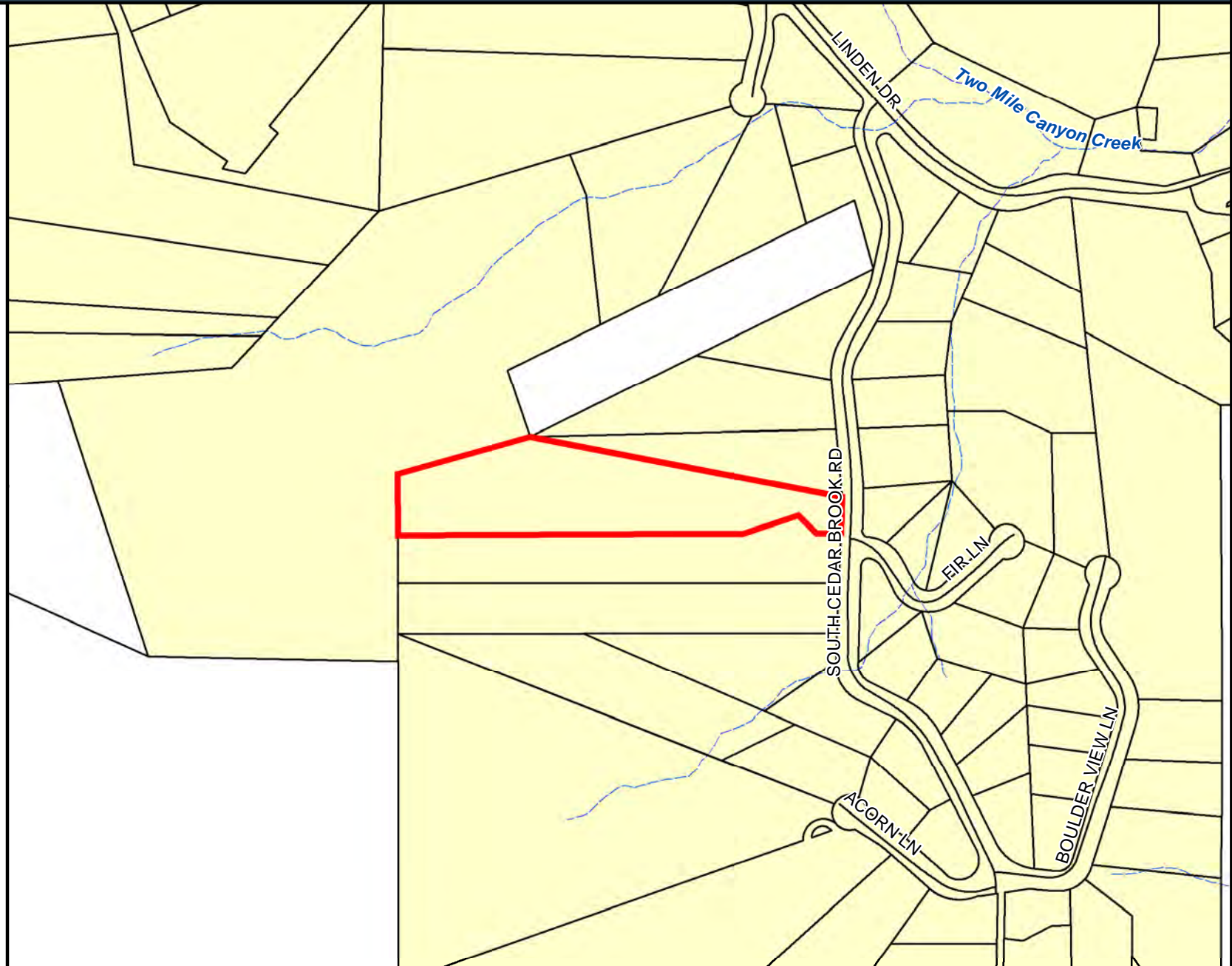
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Miles



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Aerial

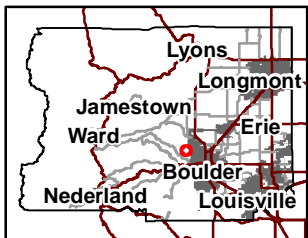
238 S CEDAR BROOK RD

 Subject Parcel

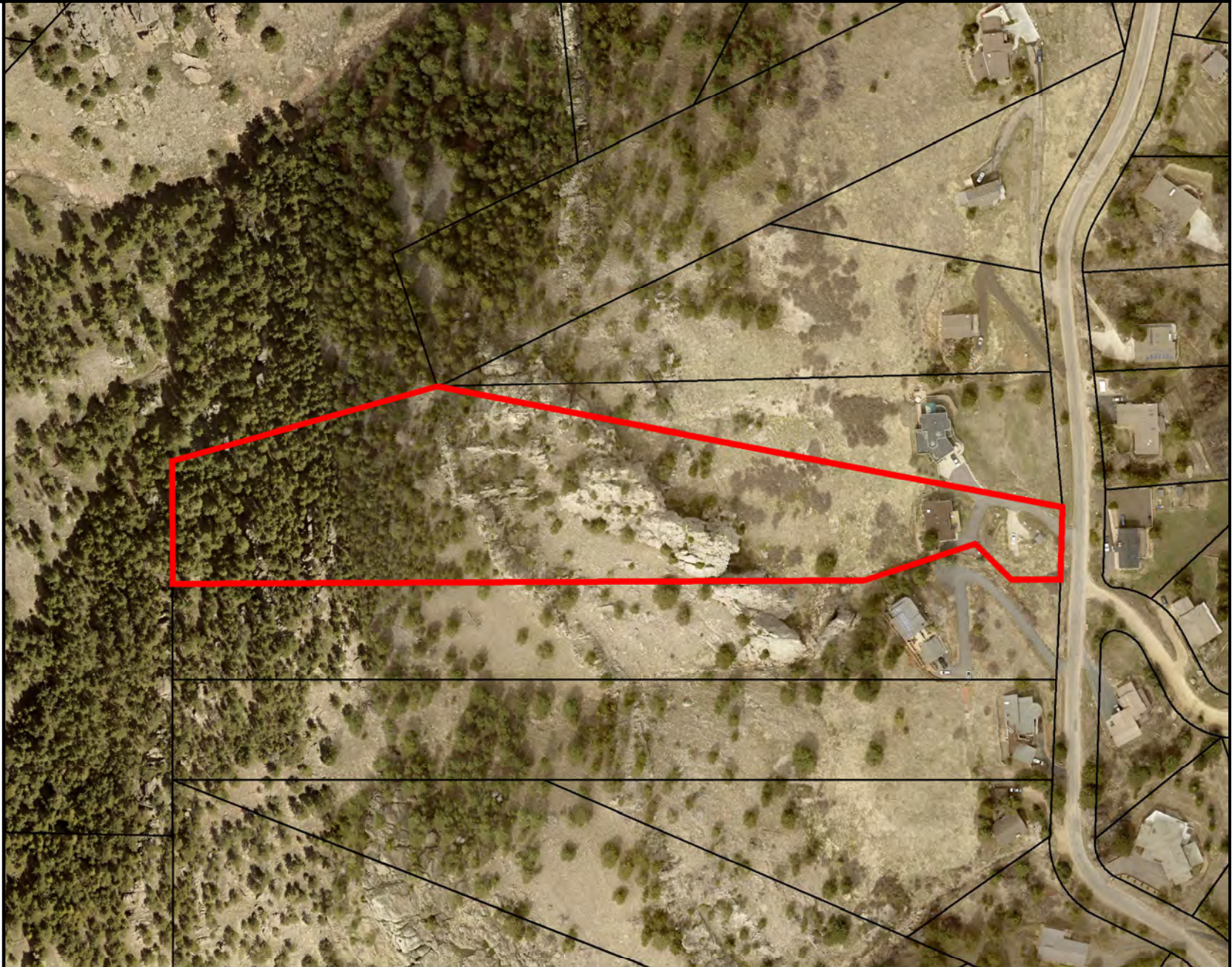
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Miles



Area of Detail Date: 4/13/2023



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Aerial

238 S CEDAR BROOK RD

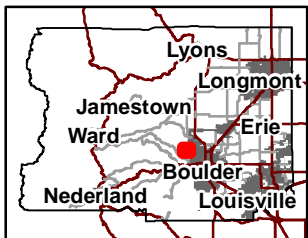
 Subject Parcel



0 0.05 0.1 Miles



Area of Detail Date: 4/13/2023



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Community Planning & Permitting


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Comprehensive Plan

238 S CEDAR BROOK RD


 Subject Parcel

Archaeologically Sensitive Areas


 Archeologically Sensitive Areas

 Significant Natural Communities

High Biodiversity Areas

 B2: Very High Biodiversity Significance

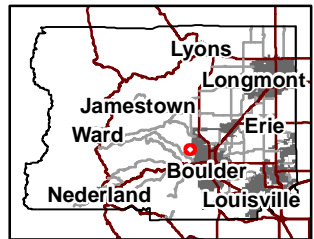
Significant Agricultural Land

 Ag of Local Importance

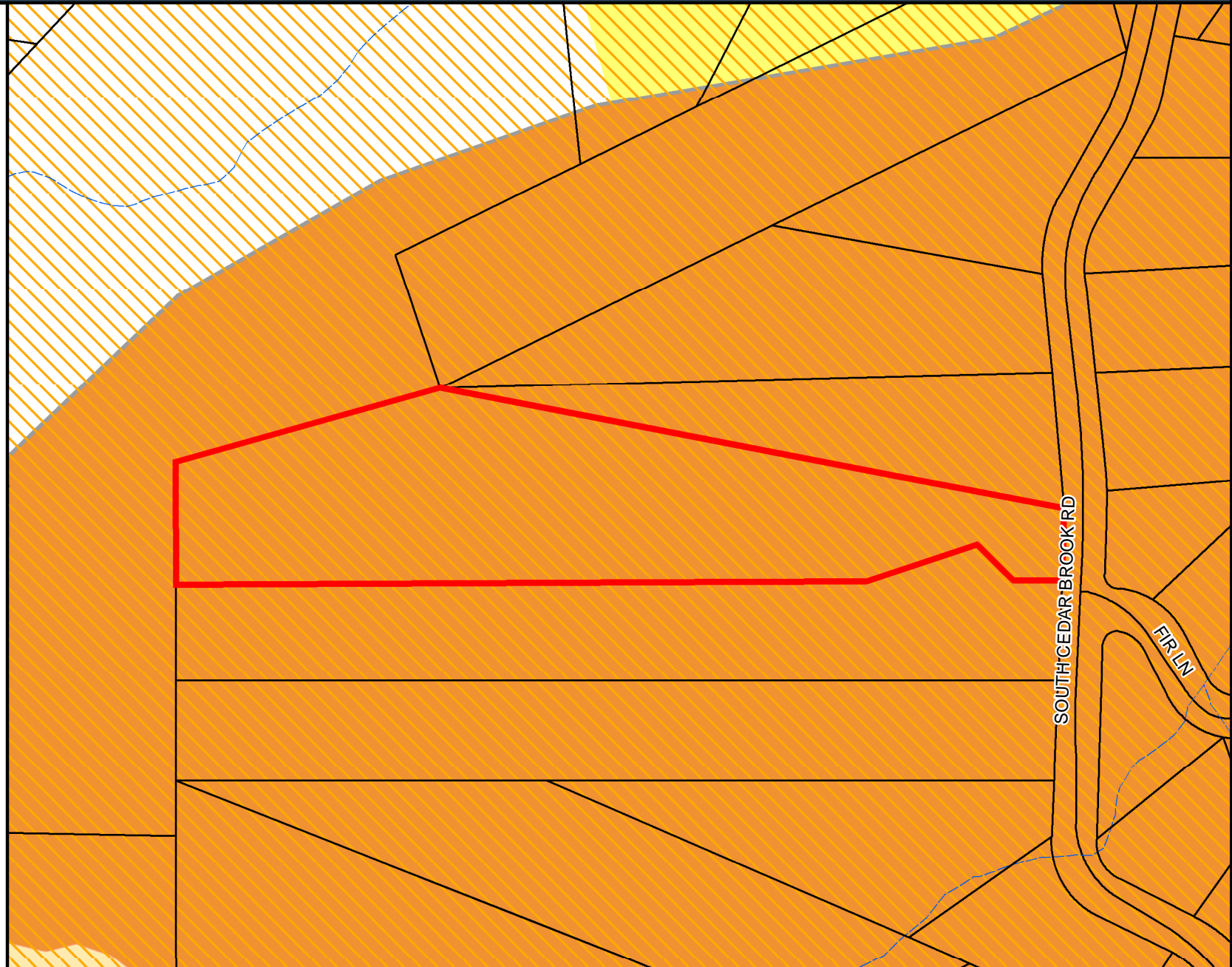
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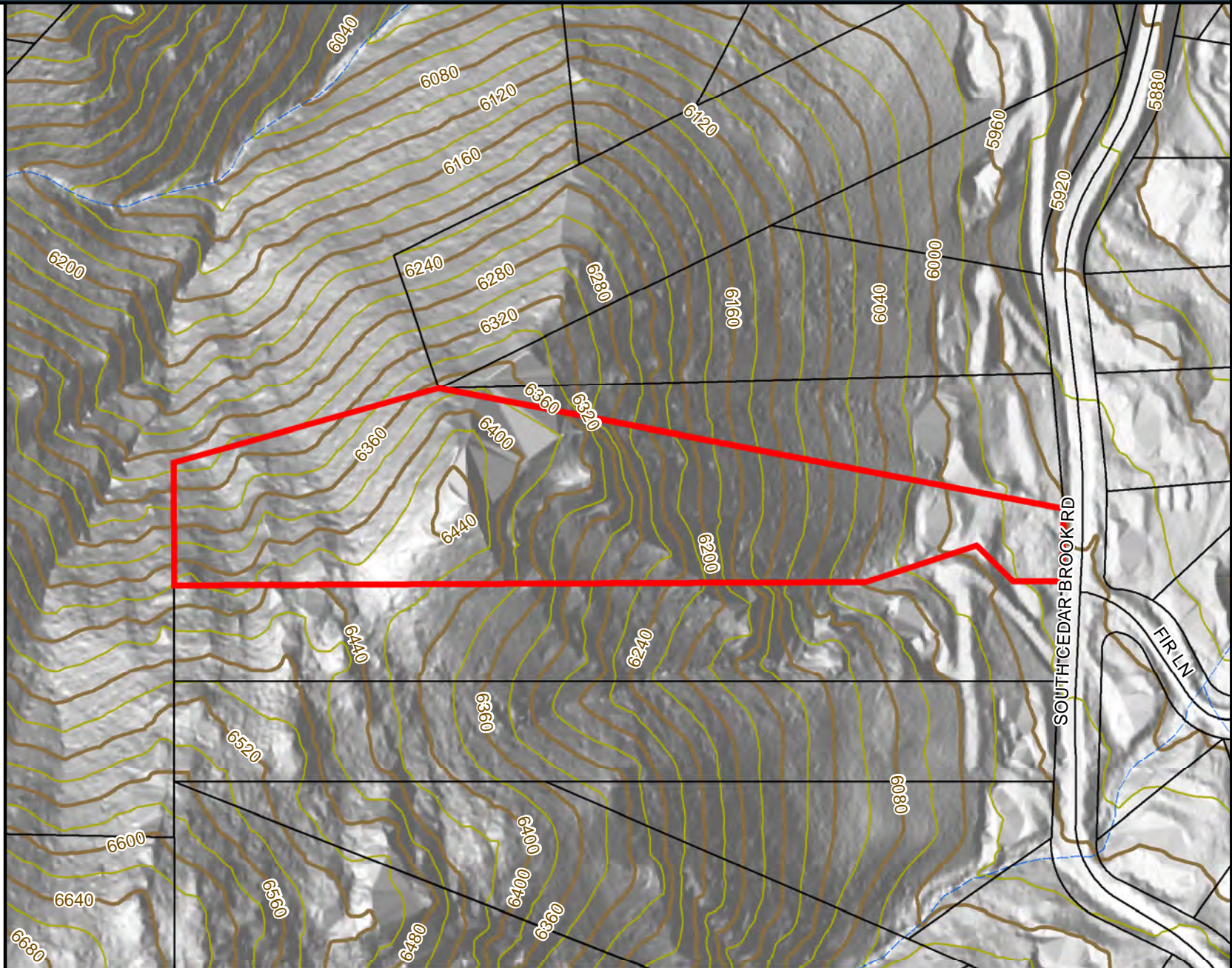
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Elevation Contours

238 S CEDAR BROOK RD

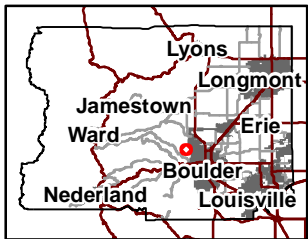
- ▭ Subject Parcel
- Contours 40'
- Contours 20'



0 0.015 0.03 Miles



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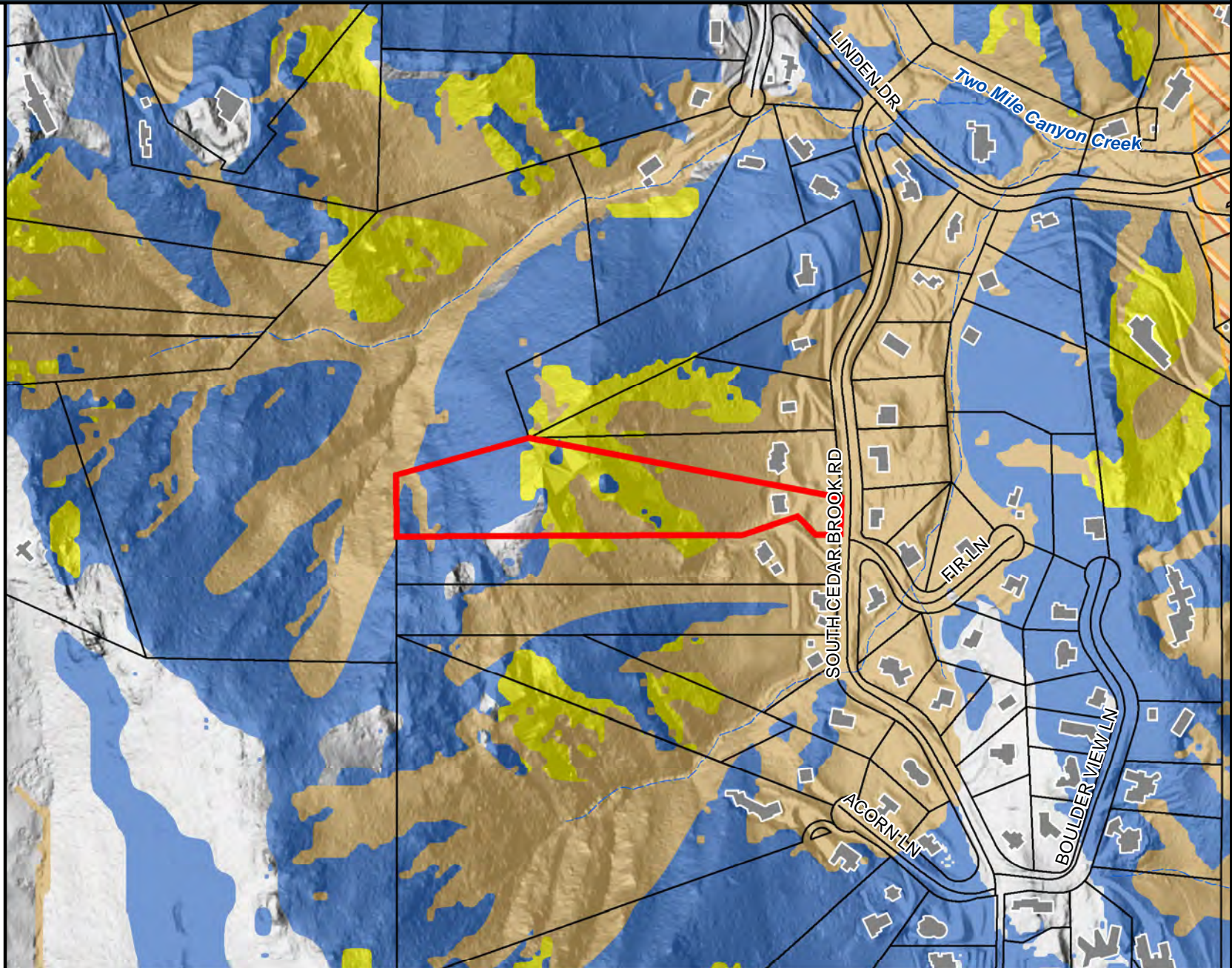
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Geologic Hazards

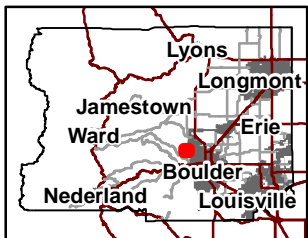
238 S CEDAR BROOK RD

-  Subject Parcel
-  Steeply Dipping, Heaving Bedrock
-  High Swelling Soil Potential
-  Moderate Swelling Soil Potential



0 190 380 Feet 

Area of Detail Date: 4/13/2023



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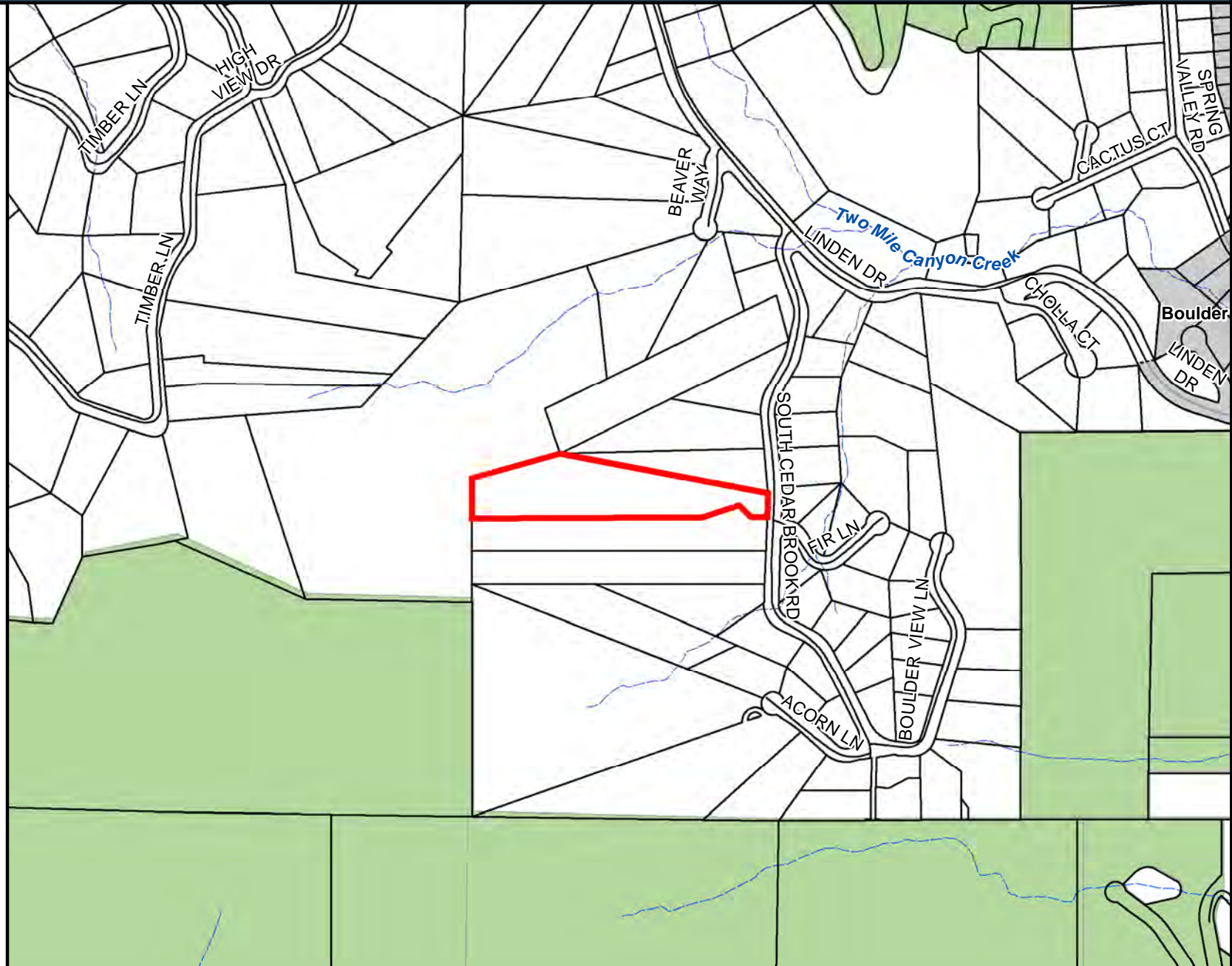
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Public Lands & CEs

238 S CEDAR BROOK RD

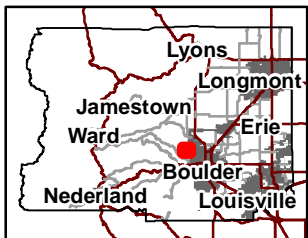
- Subject Parcel
- OSMP Properties



0 0.05 0.1 Miles



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Zoning

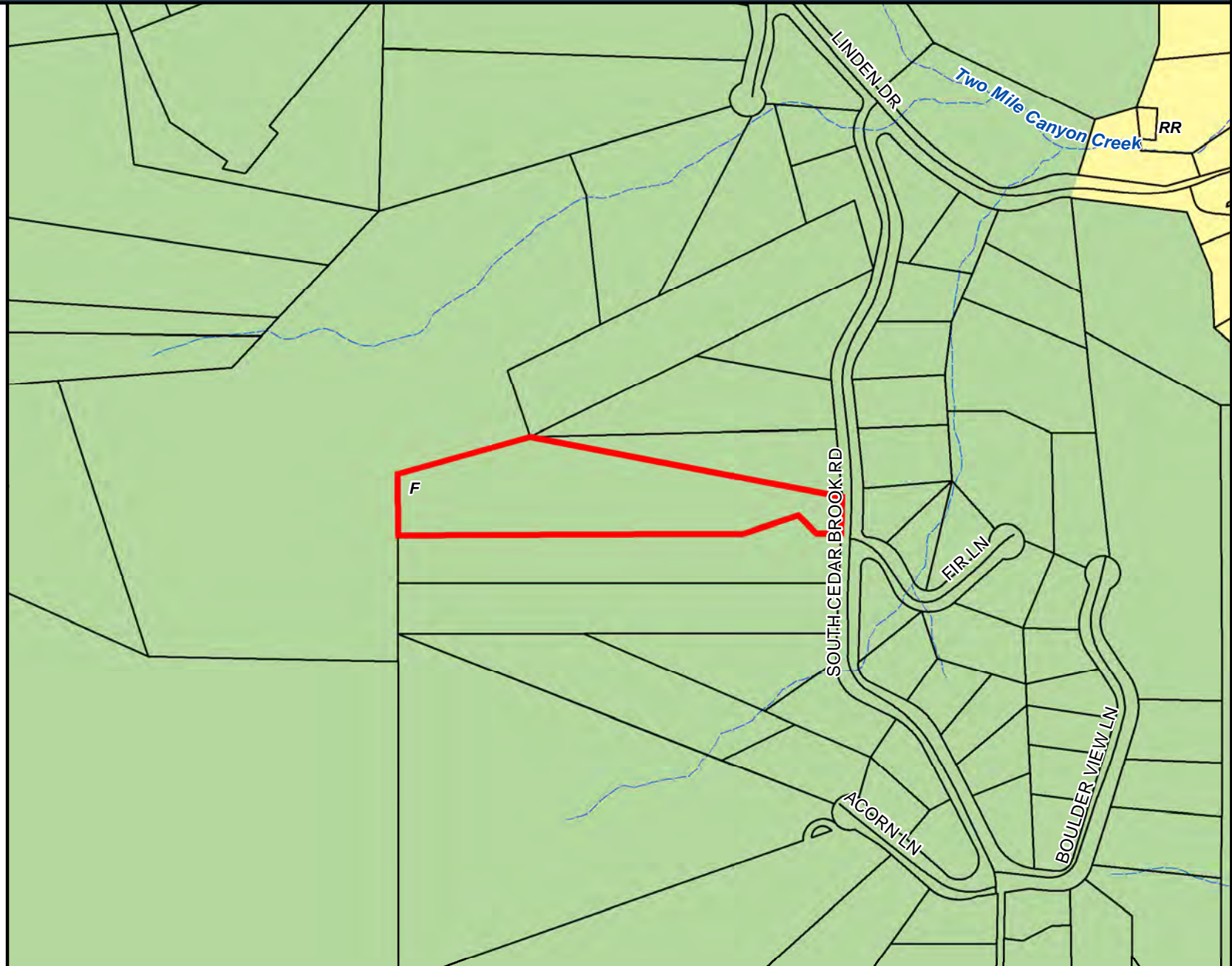
238 S CEDAR BROOK RD

 Subject Parcel

Zoning Districts

 Forestry

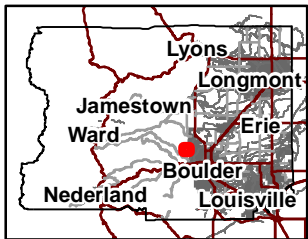
 Rural Residential



0 190 380 Feet



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sykes projects

larry sykes, aia
architect720 480 2354
sykesprojects.com**Zoning Variance Hardship Statement**

June 21, 2023

Project address:238 S. Cedar Brook Road
Boulder, CO 80304

To the Board of Adjustment:

Please see hardship statement below regarding replacement of an existing exterior stairway and associated retaining wall at 238 S Cedar Brook Road in Pine Brook Hills.

Background: An existing steel stairway and landing, and an associated timber retaining wall (clad with weathering steel sheeting) provides access to the main entrance of the existing 1975 house. This stair and retaining wall encroach approximately 13.5 feet into the 25-foot side setback. The existing stairway has enclosed storage areas built under it which have become a shelter for rodents. The proposal is to build a simplified replacement stair and landing, completely open below (so as not to provide shelter for rodents), and a concrete retaining wall to replace the timber wall.

There exists exceptional or extraordinary physical circumstances of the subject property such as irregularity, narrowness, shallowness, or slope.

The property is on a steep slope and has an irregular lot shape which is "pinched" into a narrow width precisely where the existing 1975 house was constructed. The location of the existing entrance makes it impossible to locate an access stairway from the existing driveway without encroaching into the side setback (see site plan). The existing stair, landing and retaining wall encroach into the setback, and the proposed replacement would do so in a similar, slightly reduced manner, with the retaining wall encroaching approximately 12 feet and the stairway 11 feet.

Because of these physical circumstances, the strict application of this Code would create an exceptional or undue hardship up the property owner.

The location of the existing main entrance relative to the setback line prevents the owners from addressing problems associated with the existing stairway including rodents and potential degradation of the aging timber retaining wall. The existing house is sited in such a way that re-orienting the main entrance to provide access within the setbacks is not feasible.

sykes projects

larry sykes, aia
architect720 480 2354
sykesprojects.com

The hardship is not self-imposed.

The current owners purchased the house in 2021, with the existing house and exterior stair configured such that they encroach into the setback.

The variance, if granted, will not adversely affect the use of adjacent property as permitted under this Code.

The proposed exterior stair replacement is in roughly the same location as the existing stair. No changes to any existing shared access is proposed, nor any changes to the topography that would impact drainage or other use of adjacent properties.

That the variance, if granted, will not change the character of the zoning district in which the property is located, and is in keeping with the intent of this Code and the Boulder County Comprehensive Plan; and,

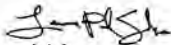
Because the proposed exterior stair replacement is in roughly the same location as the existing stair, the character of the zoning district will remain unchanged.

That the variance, if granted, does not adversely affect the health, safety, and welfare of the citizens of Boulder County.

No significant changes to topography or drainage are proposed, and the proposed stair replacement would improve the longevity of the retaining wall as well as eliminate an existing artificial shelter for rodents, so we do not believe issuing a variance would adversely affect the health, safety and welfare of Boulder County citizens.

Thank you for your time reviewing this project.

Sincerely,



Larry Sykes, AIA

larry@sykesprojects.com

1057 N. Emerson St. Unit A

Denver, CO 80218

Digitally signed by Lawrence Paul Sykes Jr.

Date: 2023.06.21 12:50:20 -06'00'

CEDAR BROOK ENTRY STAIR CONSTRUCTION DOCUMENTS

238 S. CEDAR BROOK ROAD
BOULDER, COLORADO 80304

PROJECT INFO

PROJECT DESCRIPTION
EXTERIOR ENTRY STAIR REPLACEMENT FOR EXISTING 1-STORY RESIDENCE WITH WALKOUT BASEMENT.

OWNER
ALEX SCHAEFER

ARCHITECT
LARRY SYKES, AIA
larry@sykesprojects.com
720.480.2354

STRUCTURAL ENGINEER
PETTER HAGEMARK, PE
PH STRUCTURE
ph@phstructure.com
303.473.9088

AUTHORITY HAVING JURISDICTION
BOULDER COUNTY

APPLICABLE CODES
2015 ICC CODES
2020 NATIONAL ELECTRICAL CODE

ZONE DISTRICT
F (FORESTRY)

WILDFIRE ZONE
ZONE 1 (MOUNTAINS)

ARCHITECTURAL CONTROL COMMITTEE / HOA
PINE BROOK HILLS ARC

LOT SIZE
244,174 SF

FLOOR AREA	
EXISTING BASEMENT LEVEL	2146 SF
EXISTING MAIN LEVEL	1852 SF
TOTAL	3998 SF
(NO FLOOR AREA ADDED)	

INDEX OF DRAWINGS

A0.1	GENERAL INFORMATION
A0.2	SITE PLAN
A0.3	DEMO PLANS
A0.4	DEMO ELEVATIONS
A1.1	FLOOR PLANS
A2.1	EXTERIOR ELEVATIONS
A2.2	EXTERIOR ELEVATIONS
A6.1	DETAILS
A7.1	PERSPECTIVE VIEWS
A7.2	EXISTING CONDITION PHOTOS

STRUCTURAL

S0	GENERAL NOTES
S1	ENTRY AREA FRAMING & RETAINING WALL

ABBREVIATIONS

AFF	ABOVE FINISHED FLOOR
B.O.	BOTTOM OF
C.J.	CONTROL JOINT
CONC.	CONCRETE
CONT.	CONTINUOUS
D.S.	DOWNSPOUT
(E)	EXISTING
EQ	EQUAL
EXT.	EXTERIOR
FIN.	FINISH
FF	FINISH FLOOR
GC	GENERAL CONTRACTOR
GWB	GYPSUM WALL BOARD
HT.	HEIGHT
MAX	MAXIMUM
MIN	MINIMUM
(N)	NEW
N.I.C.	NOT IN CONTRACT
N.T.S.	NOT TO SCALE
O.C.	ON CENTER
OSB	ORIENTED STRAND BOARD
PLY	PLYWOOD
P.T.	PRESSURE-TREATED
QTY	QUANTITY
RE:	REFER TO
R.O.	ROUGH OPENING
SF	SQUARE FEET
T&G	TONGUE AND GROOVE
TBD	TO BE DETERMINED
T.O.	TOP OF
TYP	TYPICAL
V.I.F.	VERIFY IN FIELD
W/	WITH
W.I.C.	WALK IN CLOSET
WRB	WEATHER RESISTIVE BARRIER

GENERAL NOTES

- DIMENSIONS TO NEW WALLS ARE FACE OF FRAMING
- DIMENSIONS TO EXISTING WALLS ARE TO FINISH FACE OF WALL
- CONTACT ARCHITECT IF SIGNIFICANT DISCREPANCIES ARE FOUND BETWEEN DRAWINGS AND CONDITIONS IN FIELD.

REVISIONS

No.	Description	Date

CEDAR BROOK ENTRY STAIR CONSTRUCTION DOCUMENTS

GENERAL INFORMATION

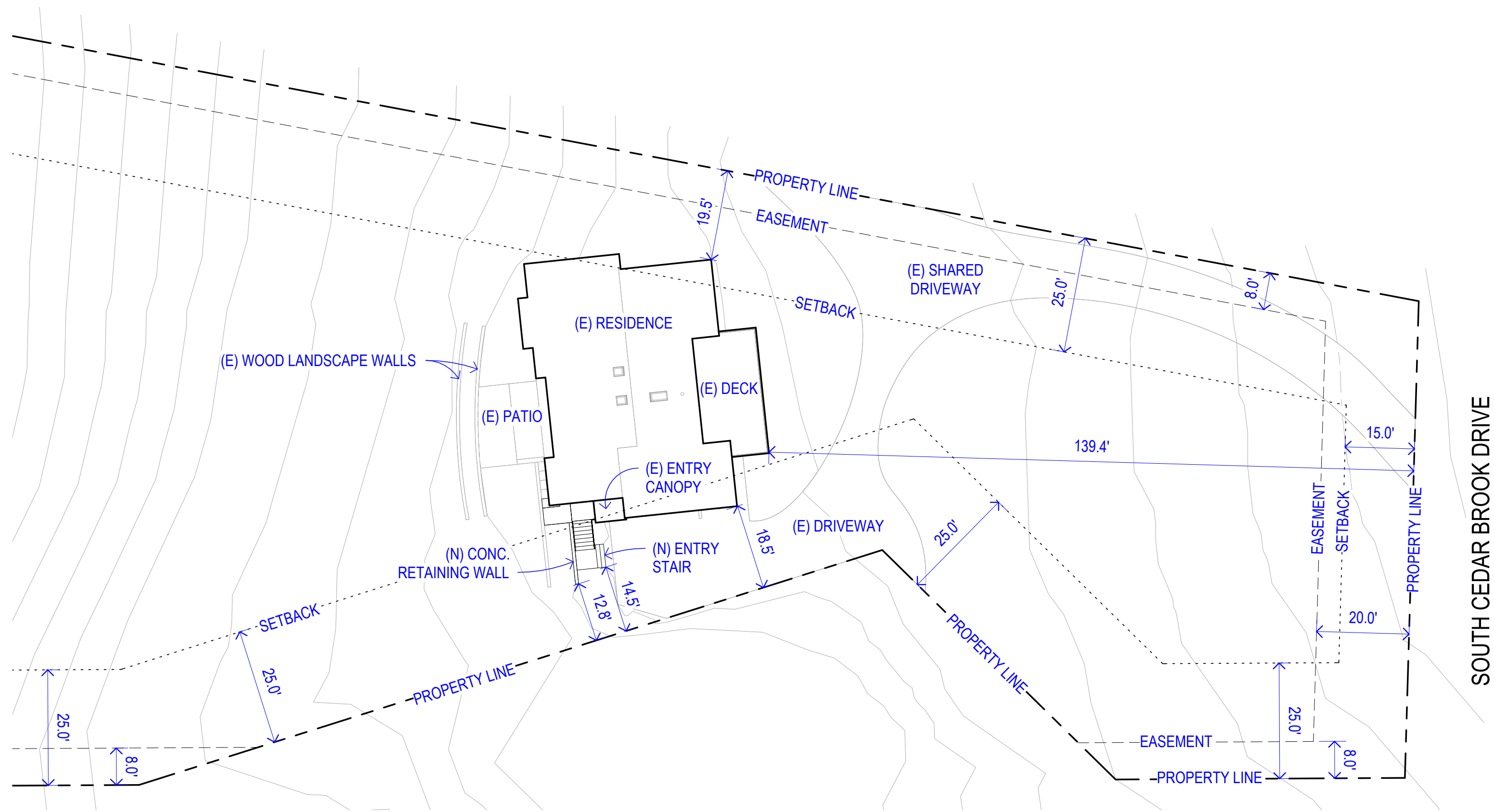
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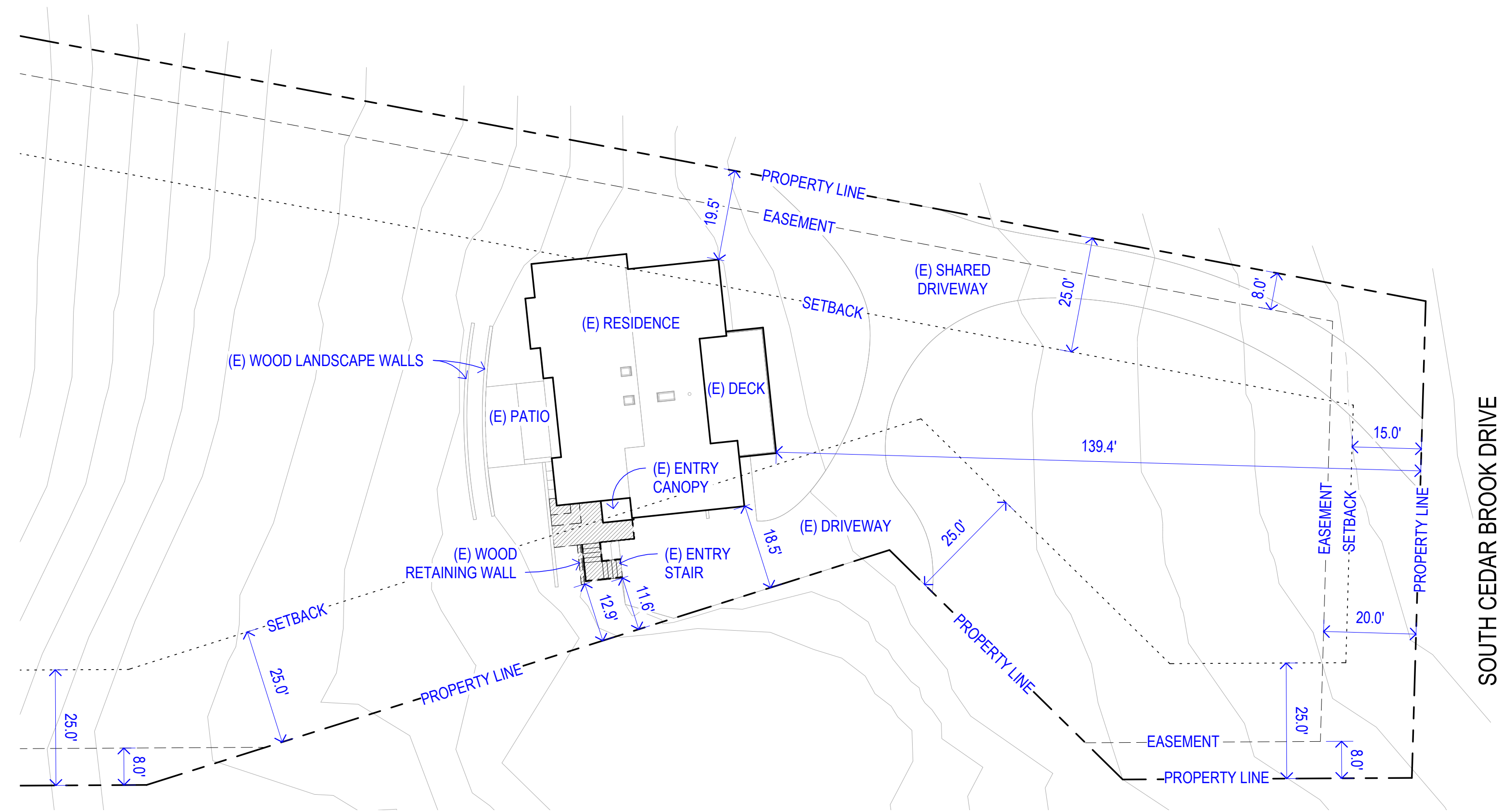
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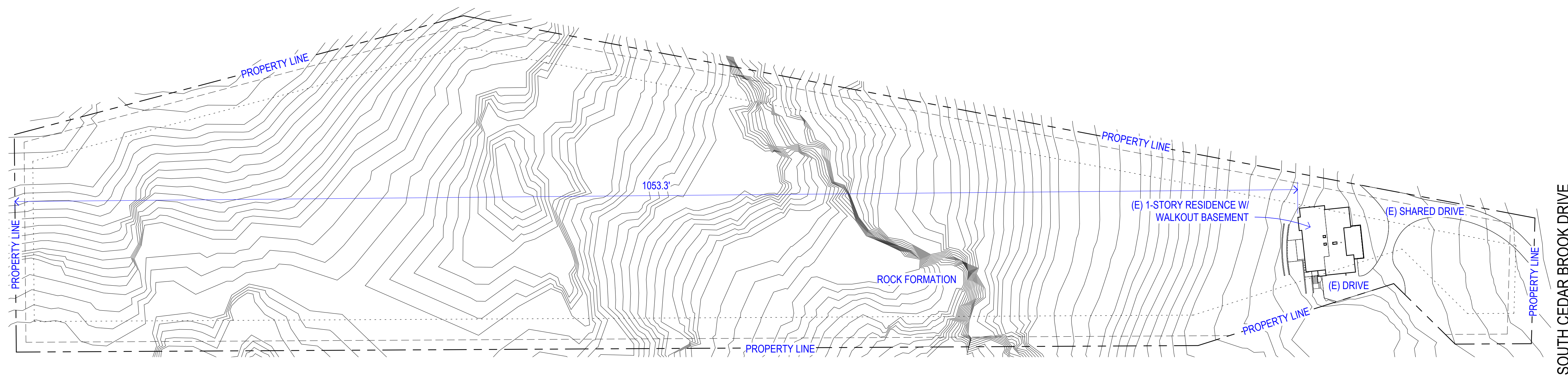
3 ENLARGED SITE PLAN - PROPOSED

1" = 20'-0"



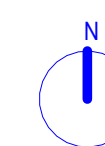
2 ENLARGED SITE PLAN - EXISTING

1" = 20'-0"



1 SITE PLAN

1" = 50'-0"



REVISIONS

No.	Description	Date

CEDAR BROOK ENTRY STAIR
CONSTRUCTION DOCUMENTS

SITE PLAN

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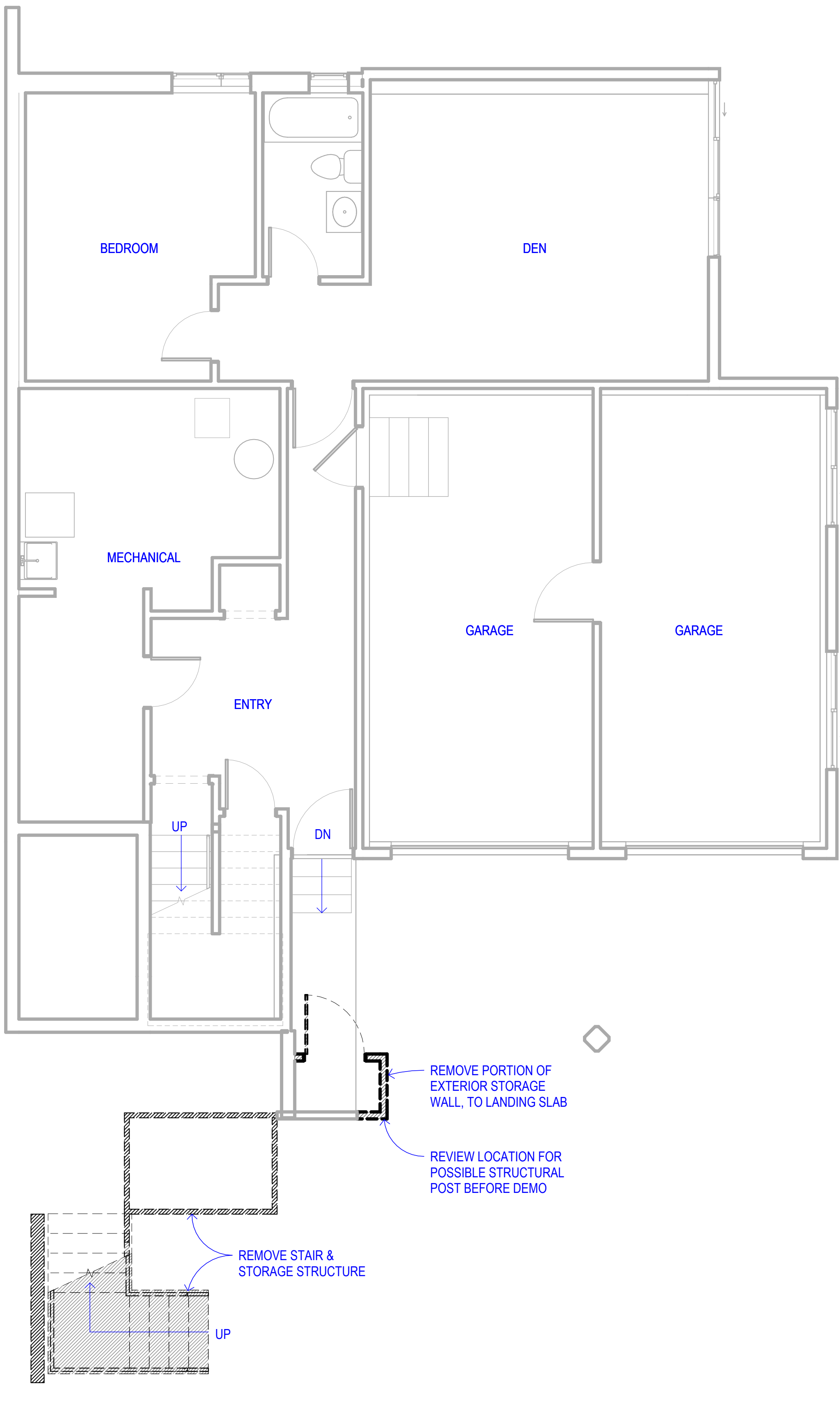
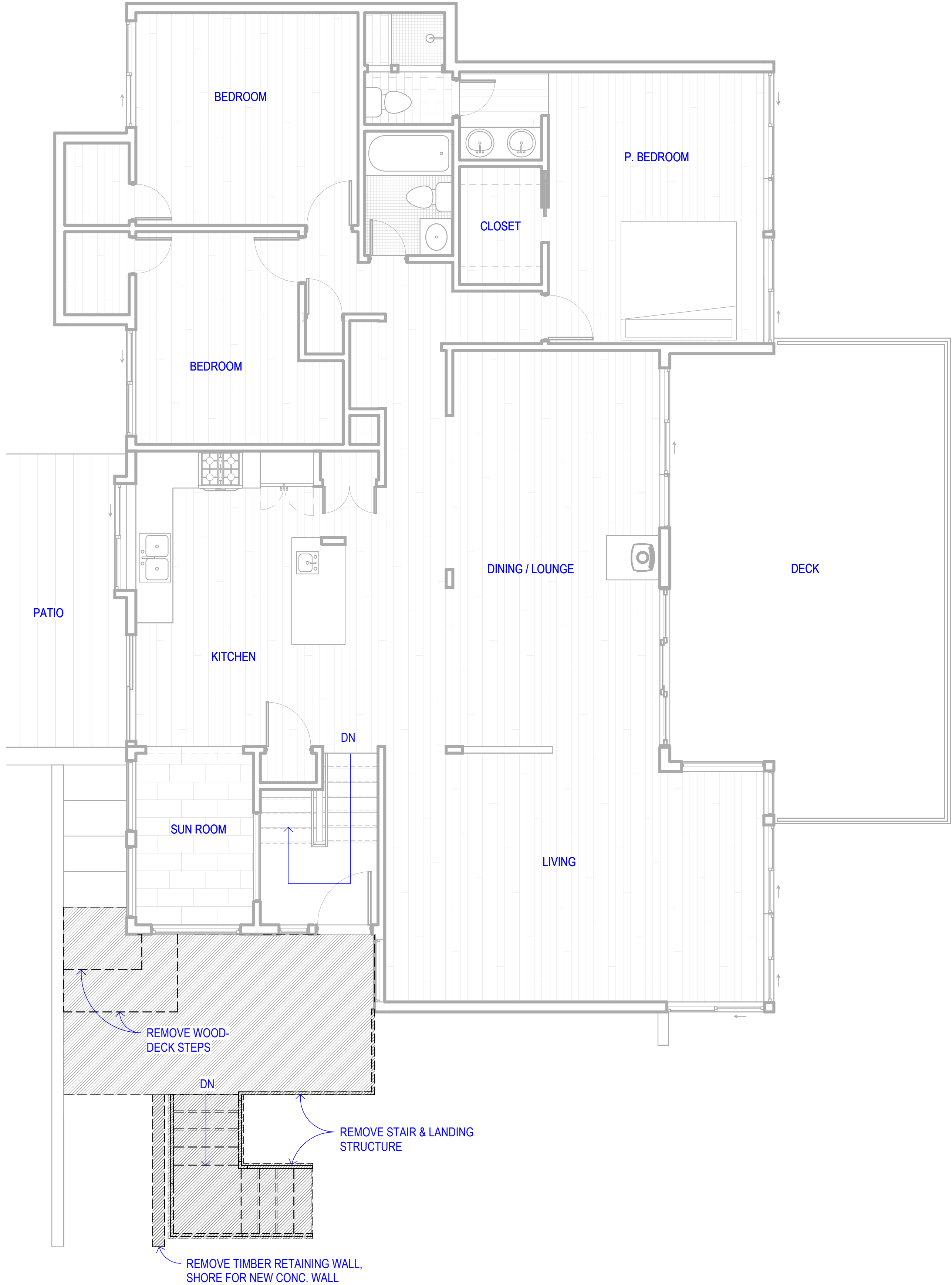
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DEMO NOTES

- PROTECT EXISTING FINISHES TO BE RETAINED



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CEDAR BROOK ENTRY STAIR
CONSTRUCTION DOCUMENTS

DEMO PLANS

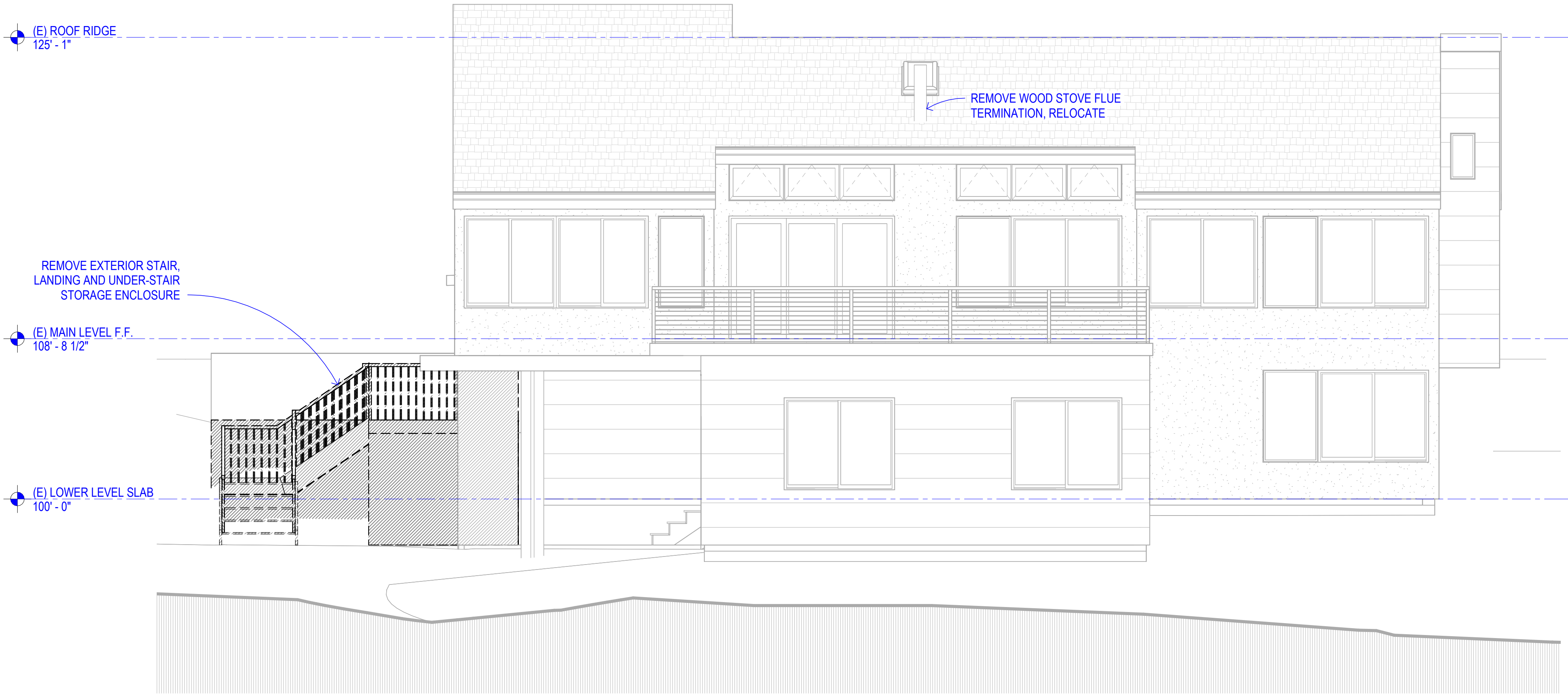
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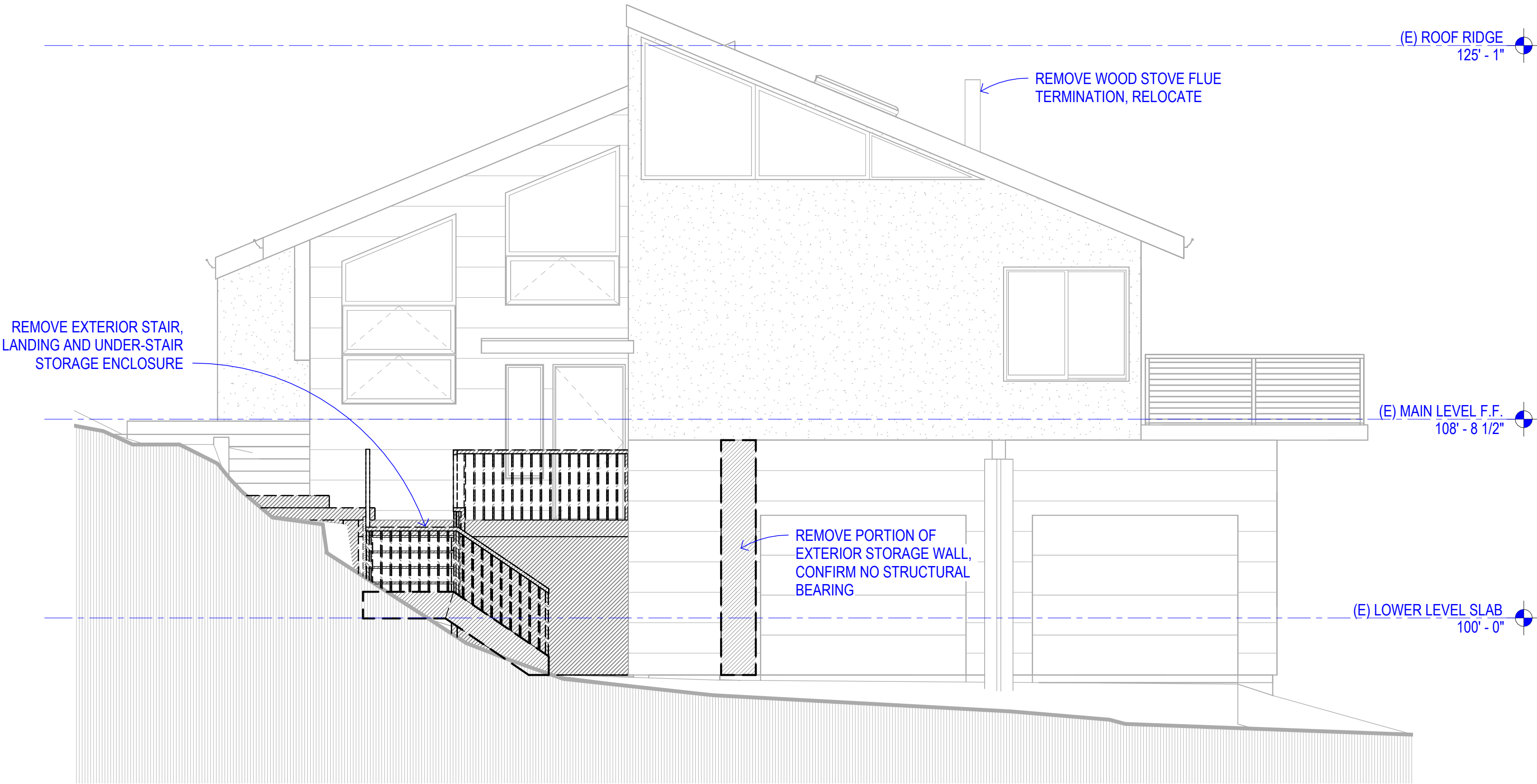
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A0.3



2 EAST DEMO ELEVATION
1/4" = 1'-0"



1 SOUTH DEMO ELEVATION
1/4" = 1'-0"

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No.	Description	Date

CEDAR BROOK ENTRY STAIR
CONSTRUCTION DOCUMENTS

DEMO ELEVATIONS

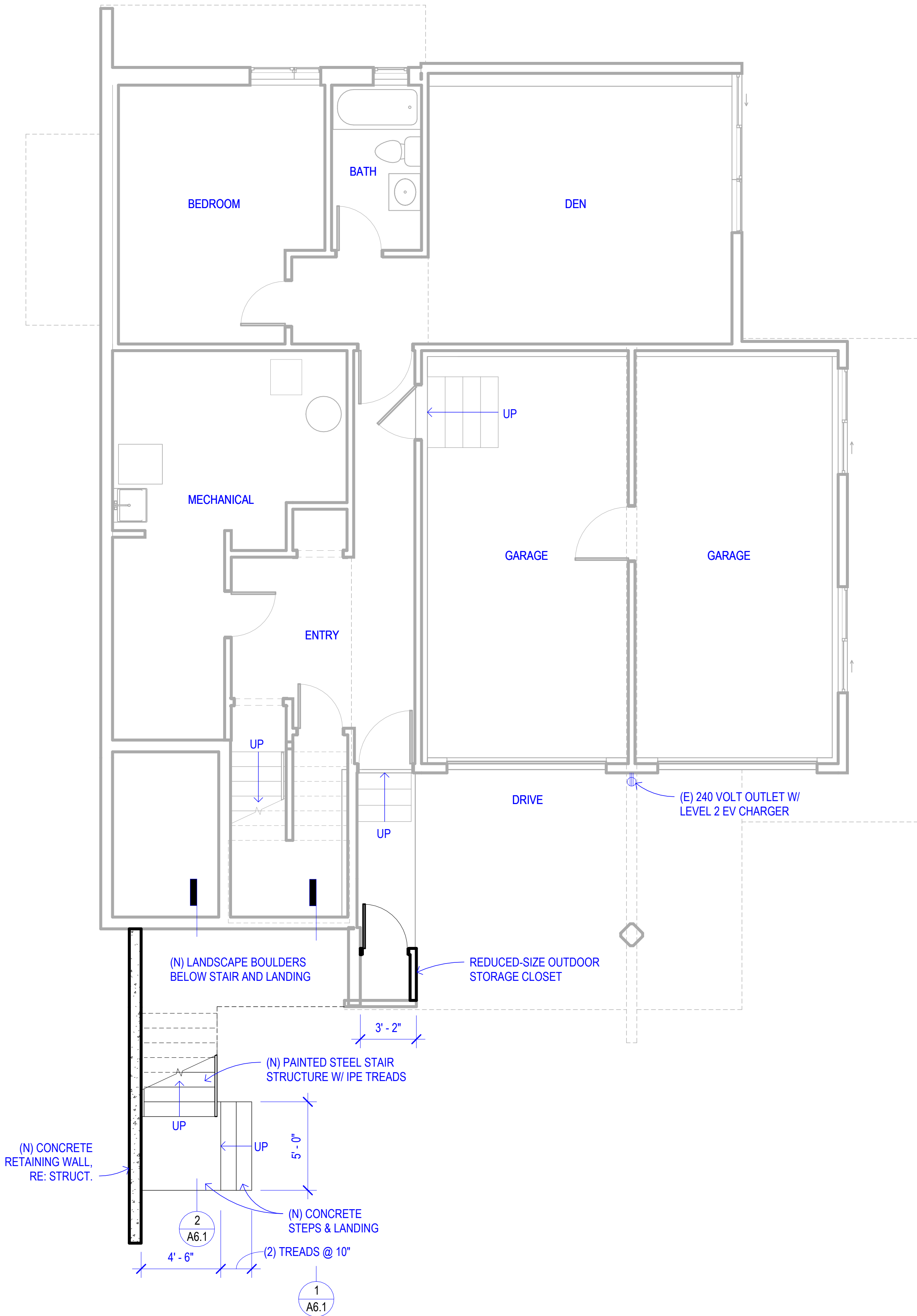
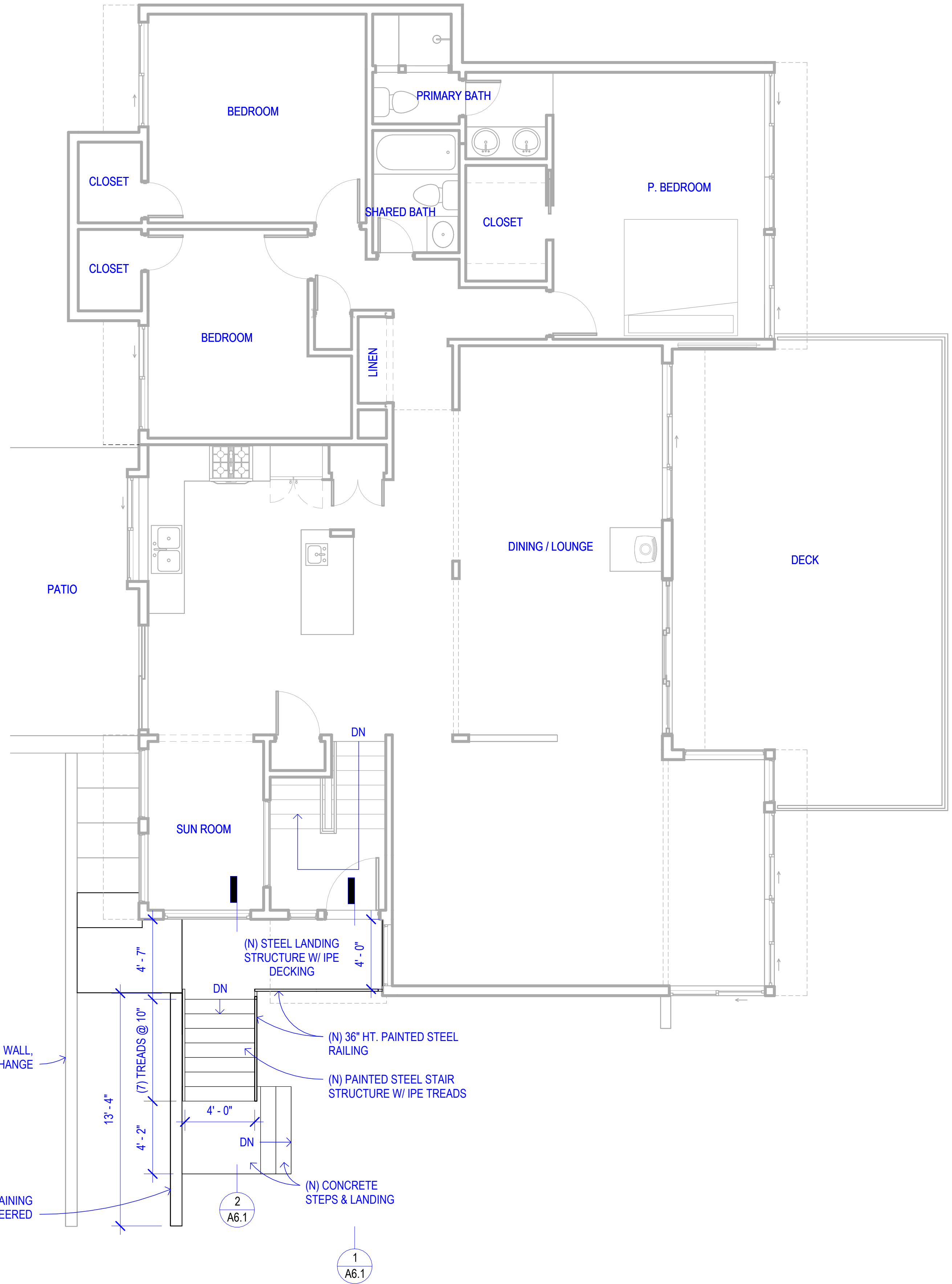
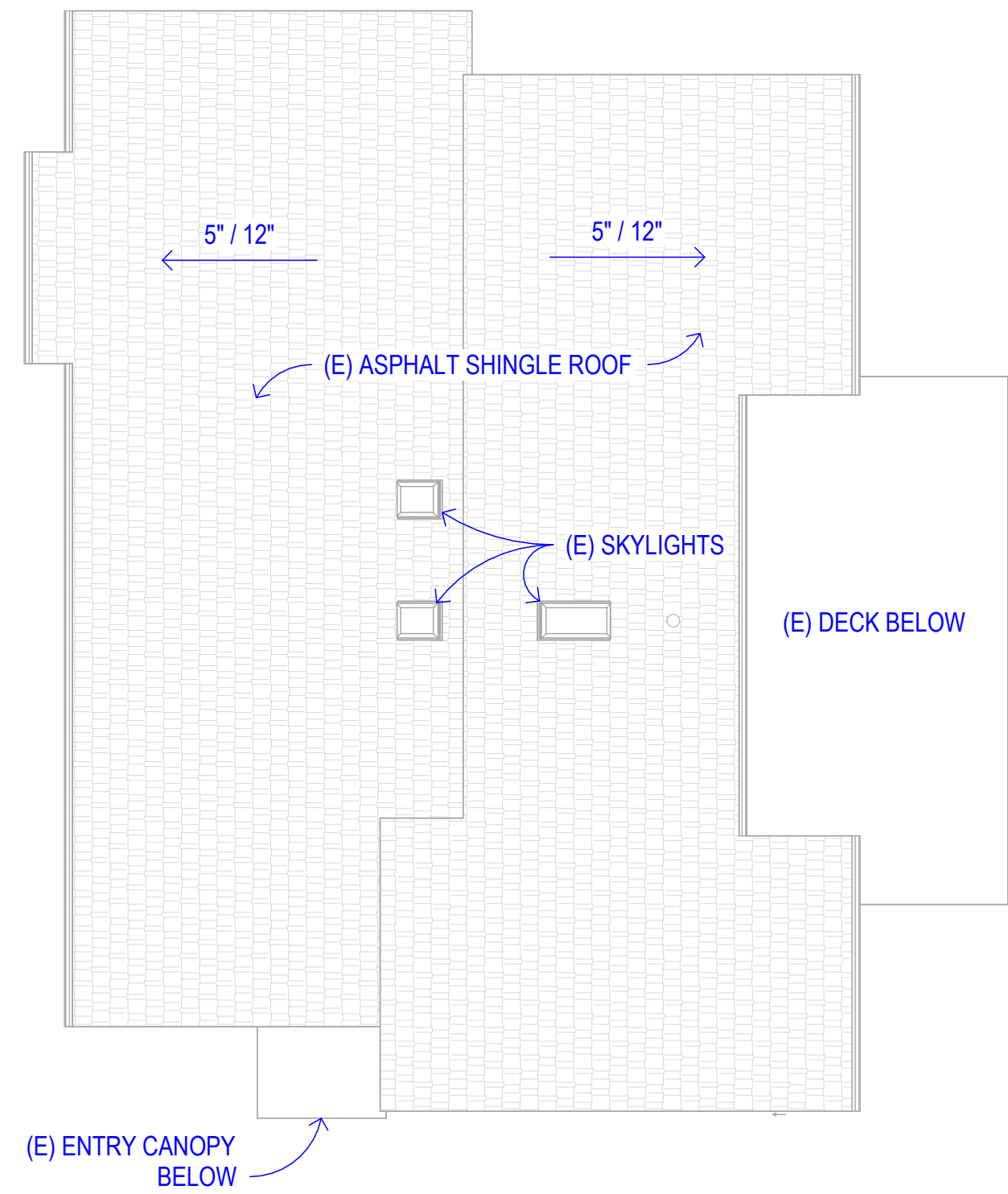
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PLAN LEGEND	
	EXISTING
	NEW

CEDAR BROOK ENTRY STAIR

CONSTRUCTION DOCUMENTS

FLOOR PLANS

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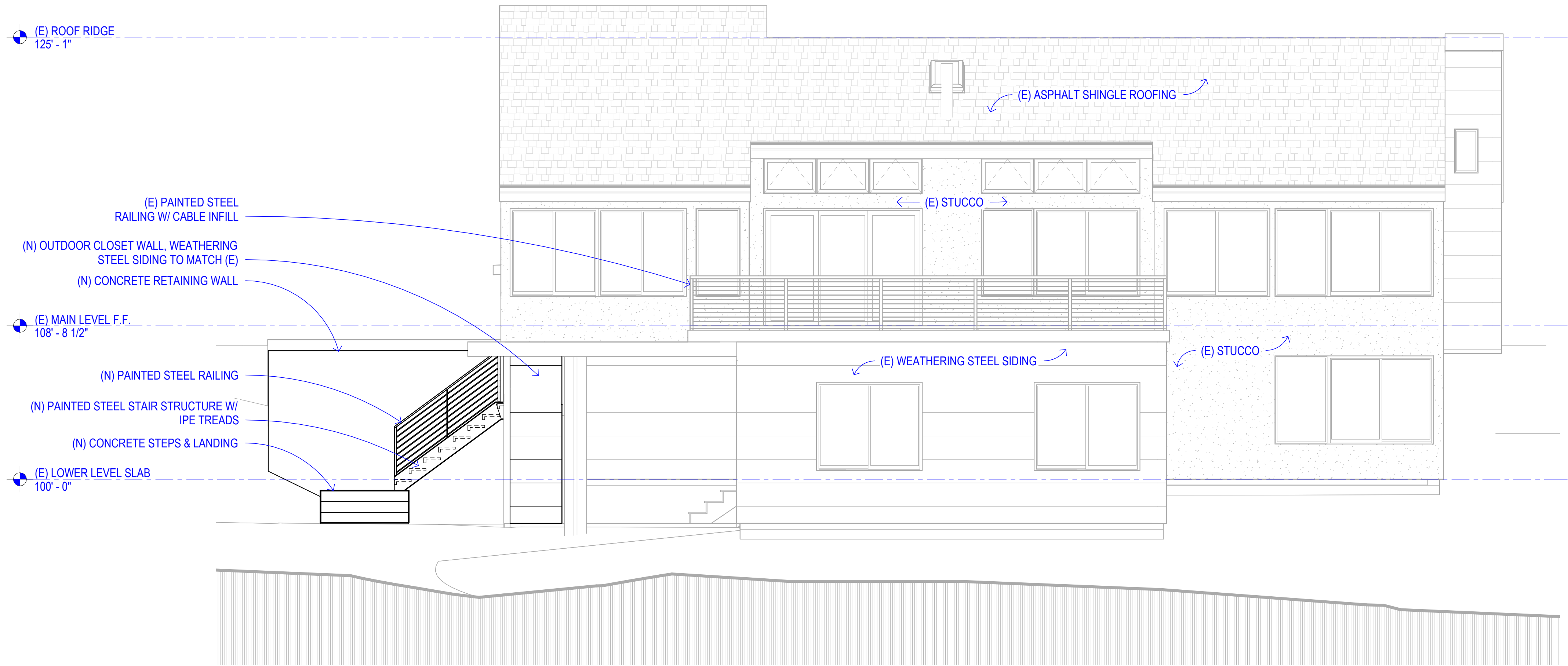
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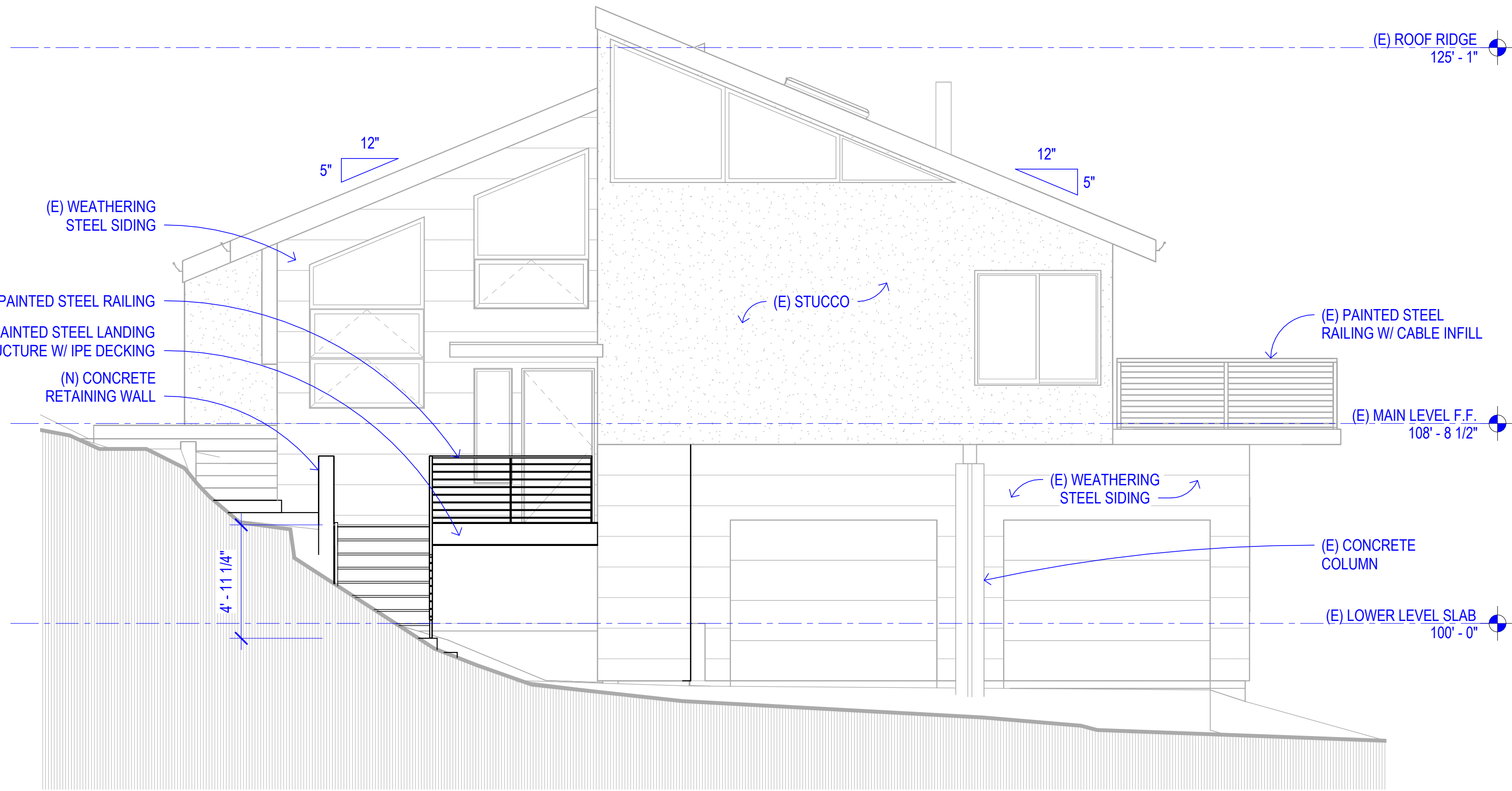
A1.1

- EXTERIOR MATERIAL NOTES:
- CONCRETE RETAINING WALL TO BE BOARD-FORM FINISH
 - NEW EXTERIOR STAIR & ENTRY LANDING STRUCTURE, AND RAILING TO BE PAINTED SAME COLOR AS EXISTING EAST DECK RAILING
 - NEW EXTERIOR STAIR TREADS AND LANDING DECKING TO BE UNFINISHED IPE, 5/4 X 6



2 EAST ELEVATION (TOWARD S. CEDAR BROOK DR.)

1/4" = 1'-0"



1 SOUTH ELEVATION

1/4" = 1'-0"

REVISIONS

No.	Description	Date

CEDAR BROOK ENTRY STAIR
CONSTRUCTION DOCUMENTS

EXTERIOR ELEVATIONS

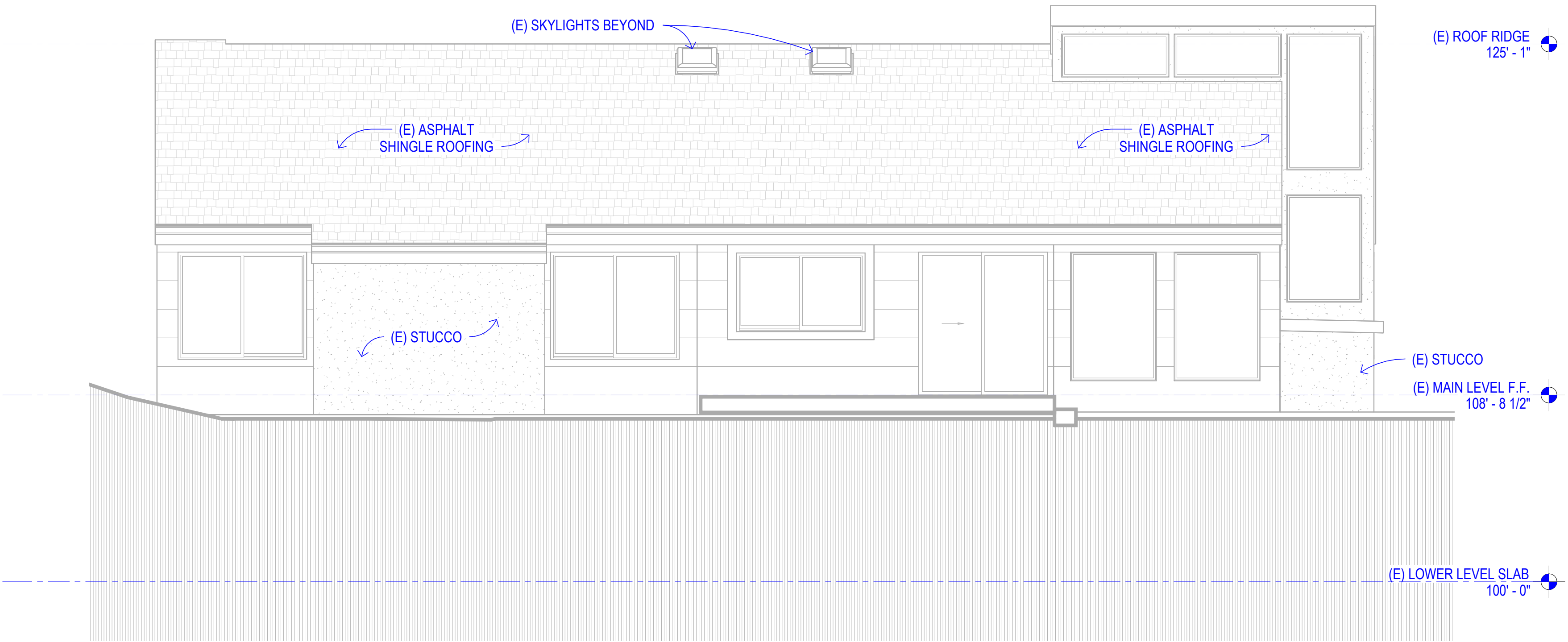
ISSUE DATE DECEMBER 4 2023

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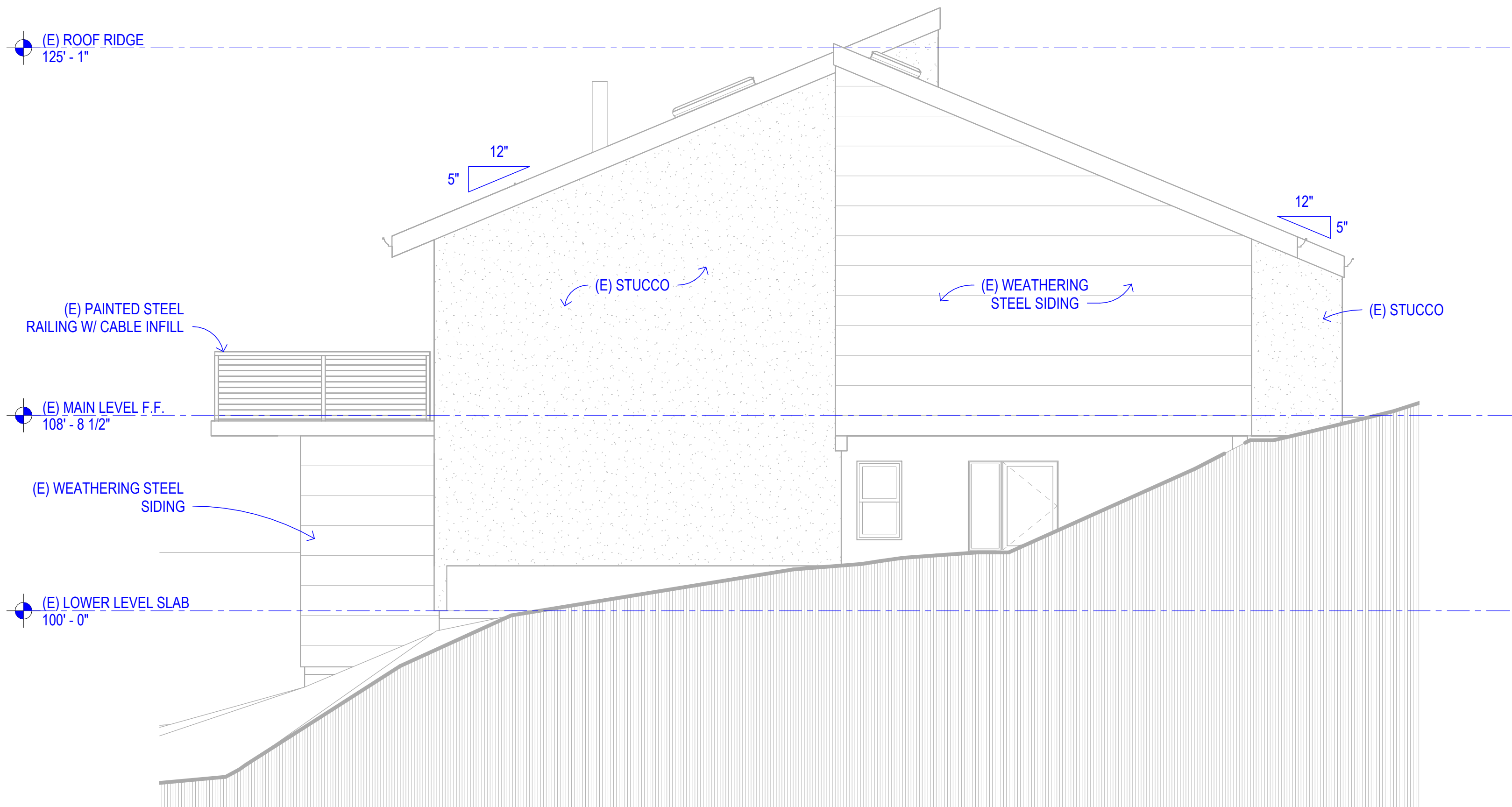
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2 WEST ELEVATION
1/4" = 1'-0"



1 NORTH ELEVATION
1/4" = 1'-0"

REVISIONS

No.	Description	Date

CEDAR BROOK ENTRY STAIR
CONSTRUCTION DOCUMENTS

EXTERIOR ELEVATIONS

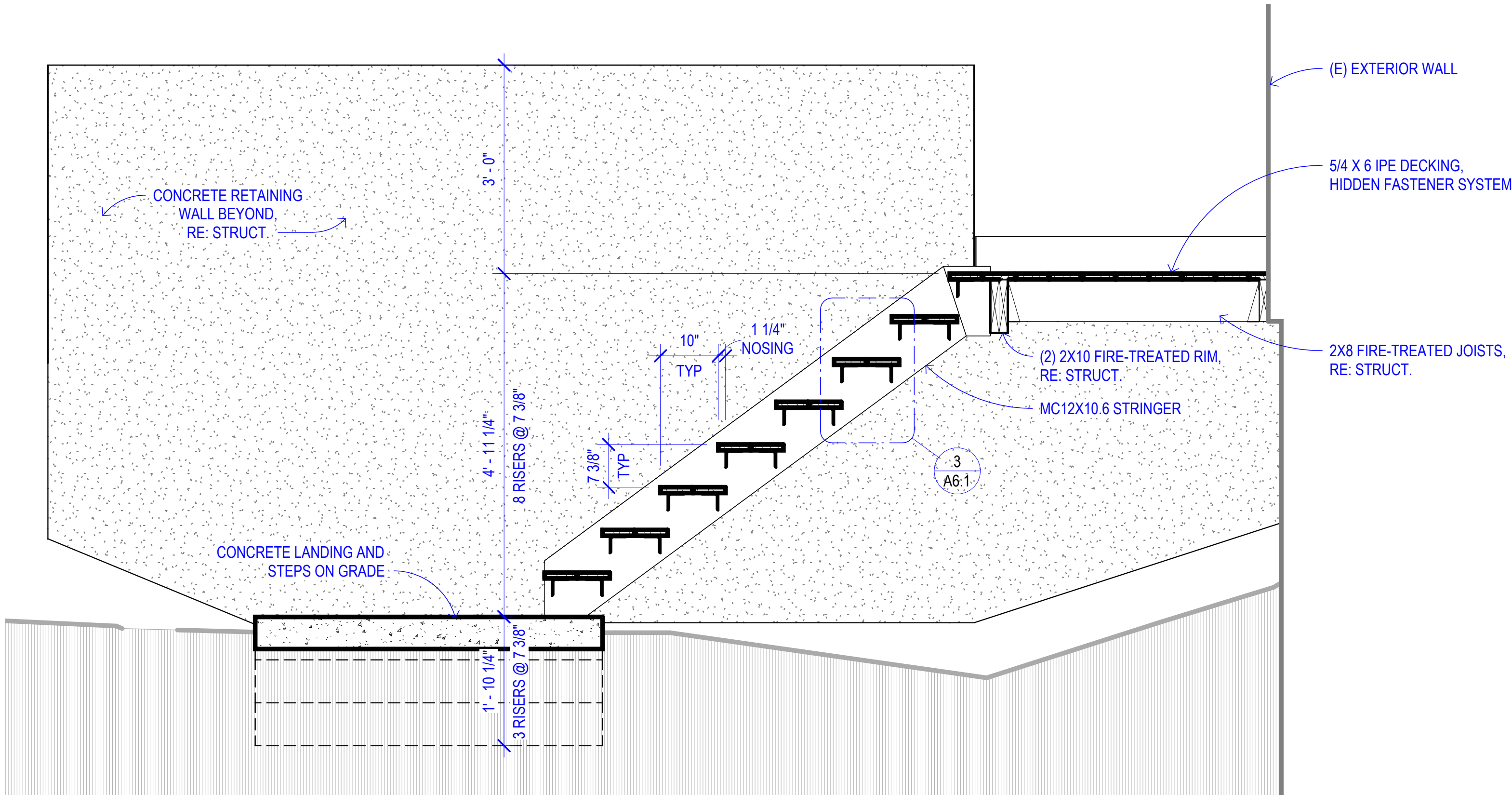
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A2.2

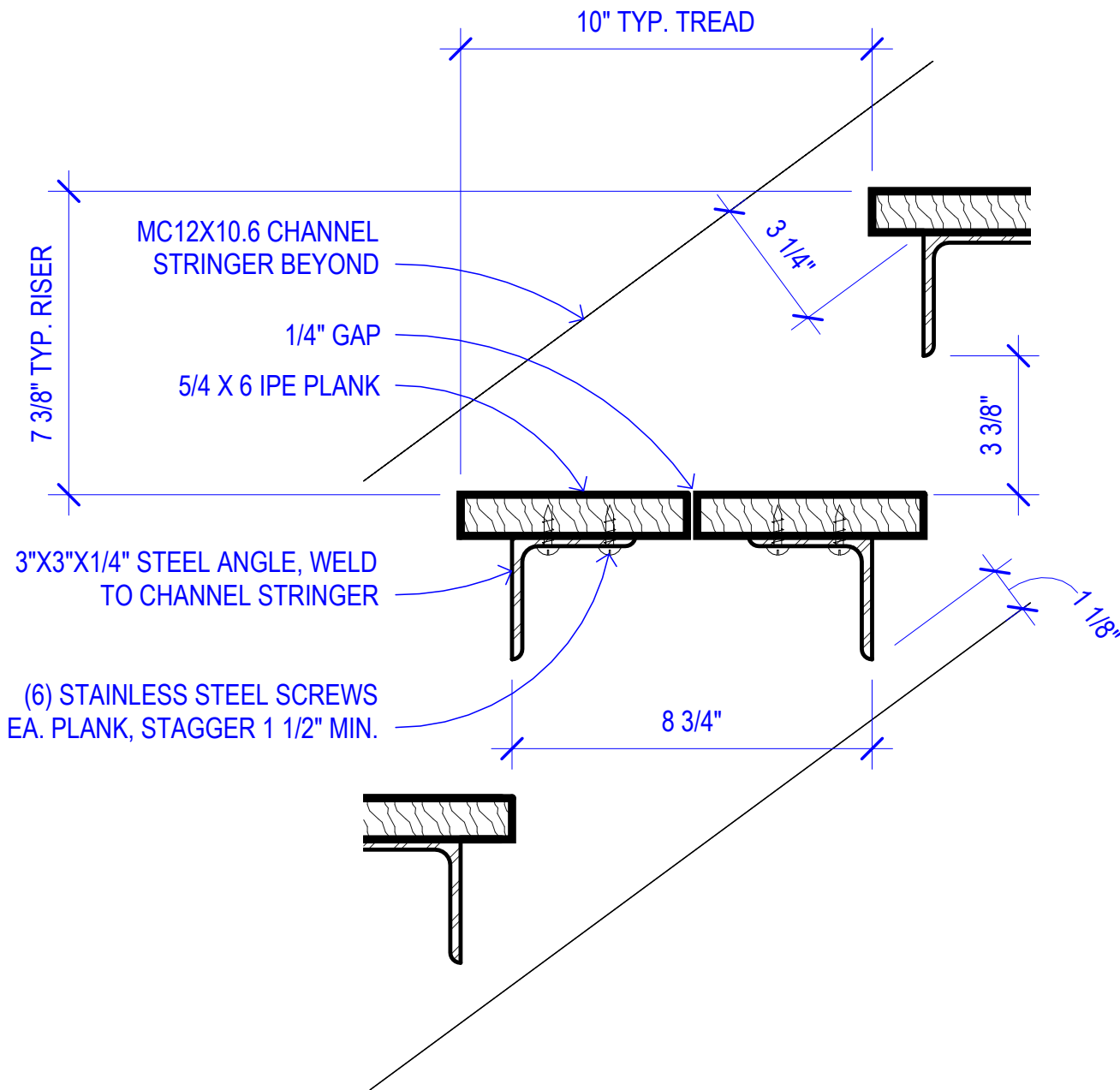
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2 EXTERIOR STAIR SECTION

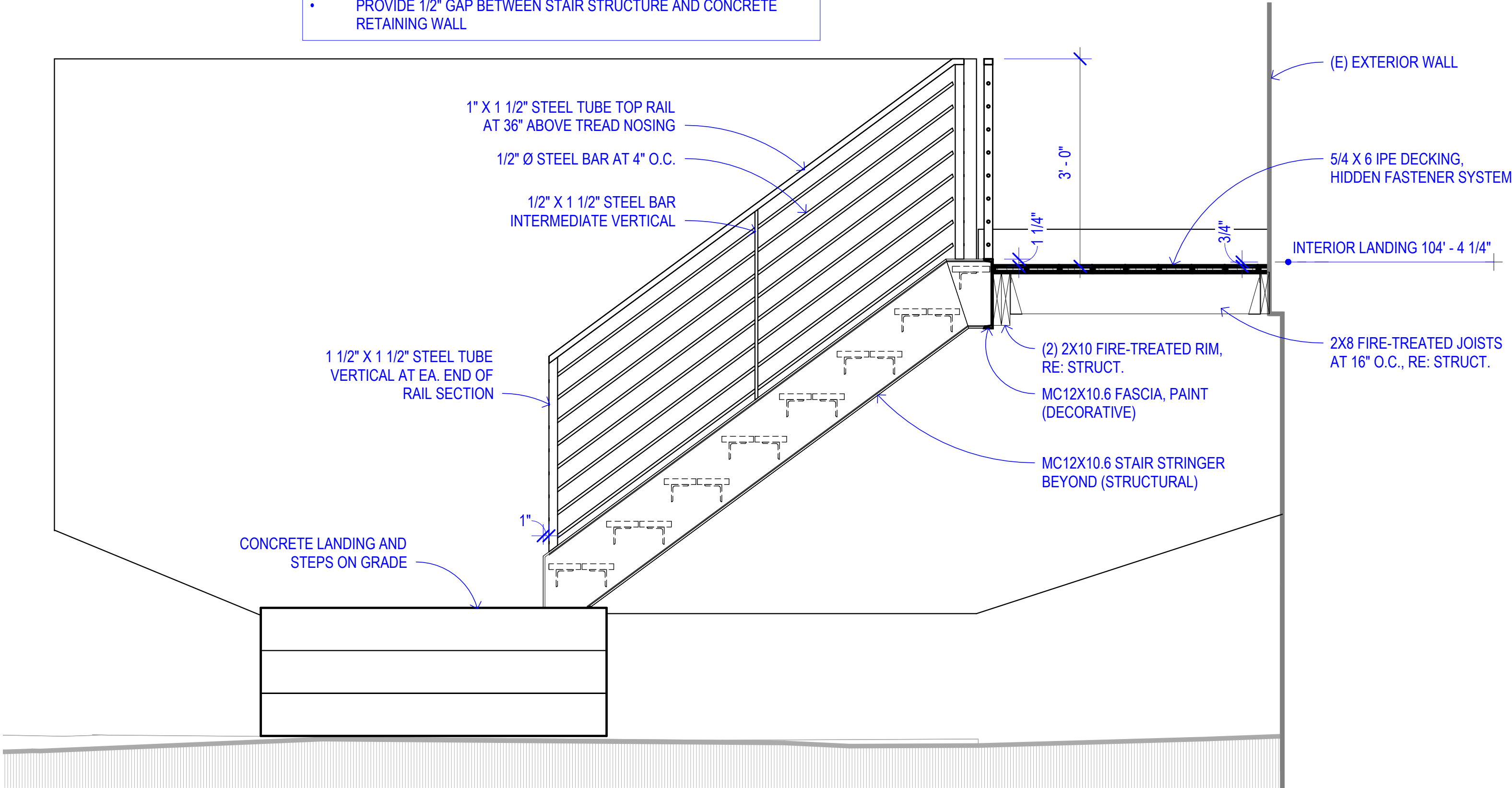
3/4" = 1'-0"

- STAIR NOTES:
- ALL STEEL TO BE FINISHED WITH DIRECT-TO-METAL PAINT, MATCH COLOR OF EXISTING EAST DECK RAILING
 - RAILING TO BE WELDED TO TOP OF MC CHANNEL STRINGER AND LANDING FASCIA
 - PROVIDE 1/2" GAP BETWEEN STAIR STRUCTURE AND CONCRETE RETAINING WALL



3 EXTERIOR STAIR TREAD DETAIL

3" = 1'-0"



1 EXTERIOR STAIR WEST ELEVATION + UPPER LANDING SECTION

3/4" = 1'-0"

REVISIONS		
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CEDAR BROOK ENTRY STAIR
CONSTRUCTION DOCUMENTS

DETAILS

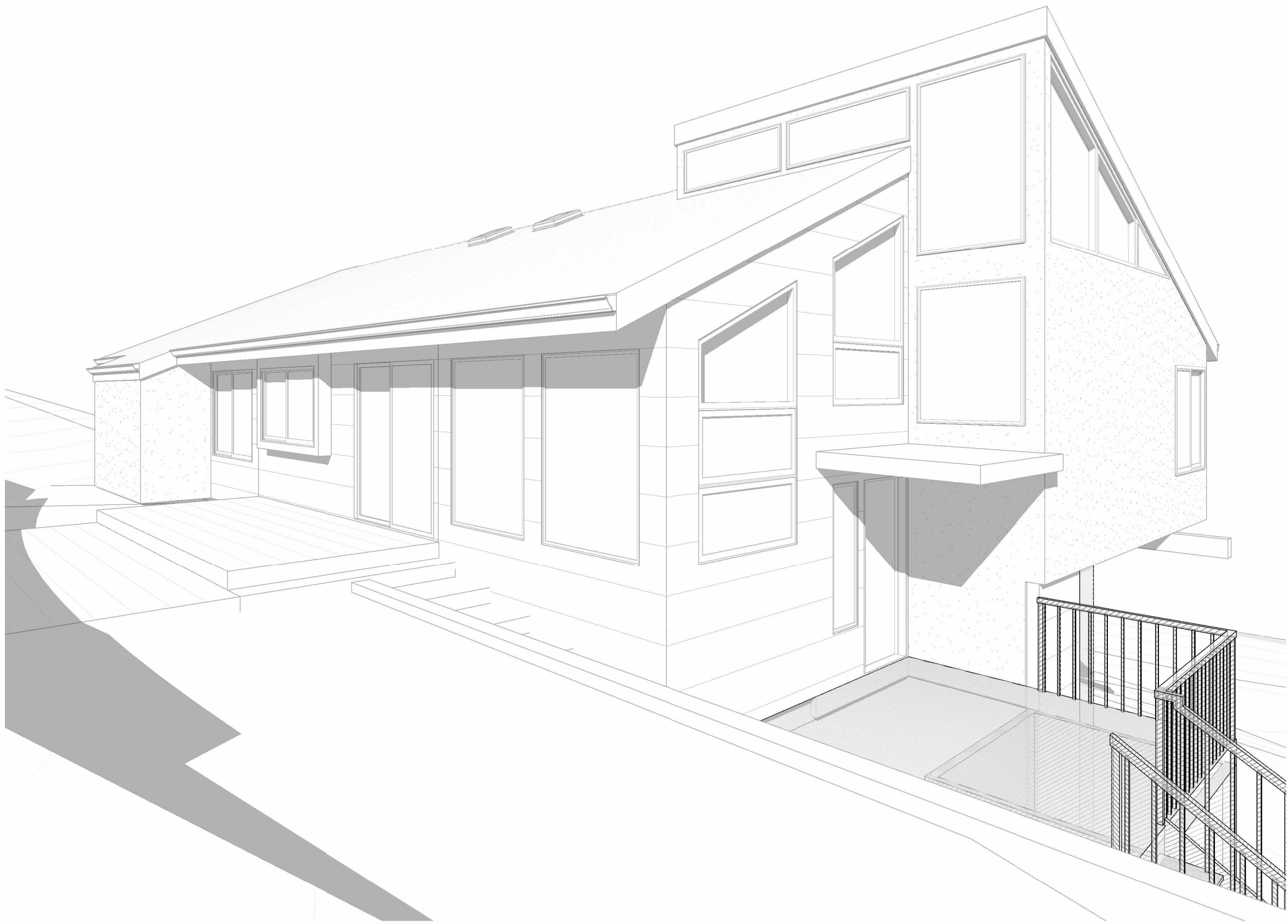
ISSUE DATE DECEMBER 4 2023

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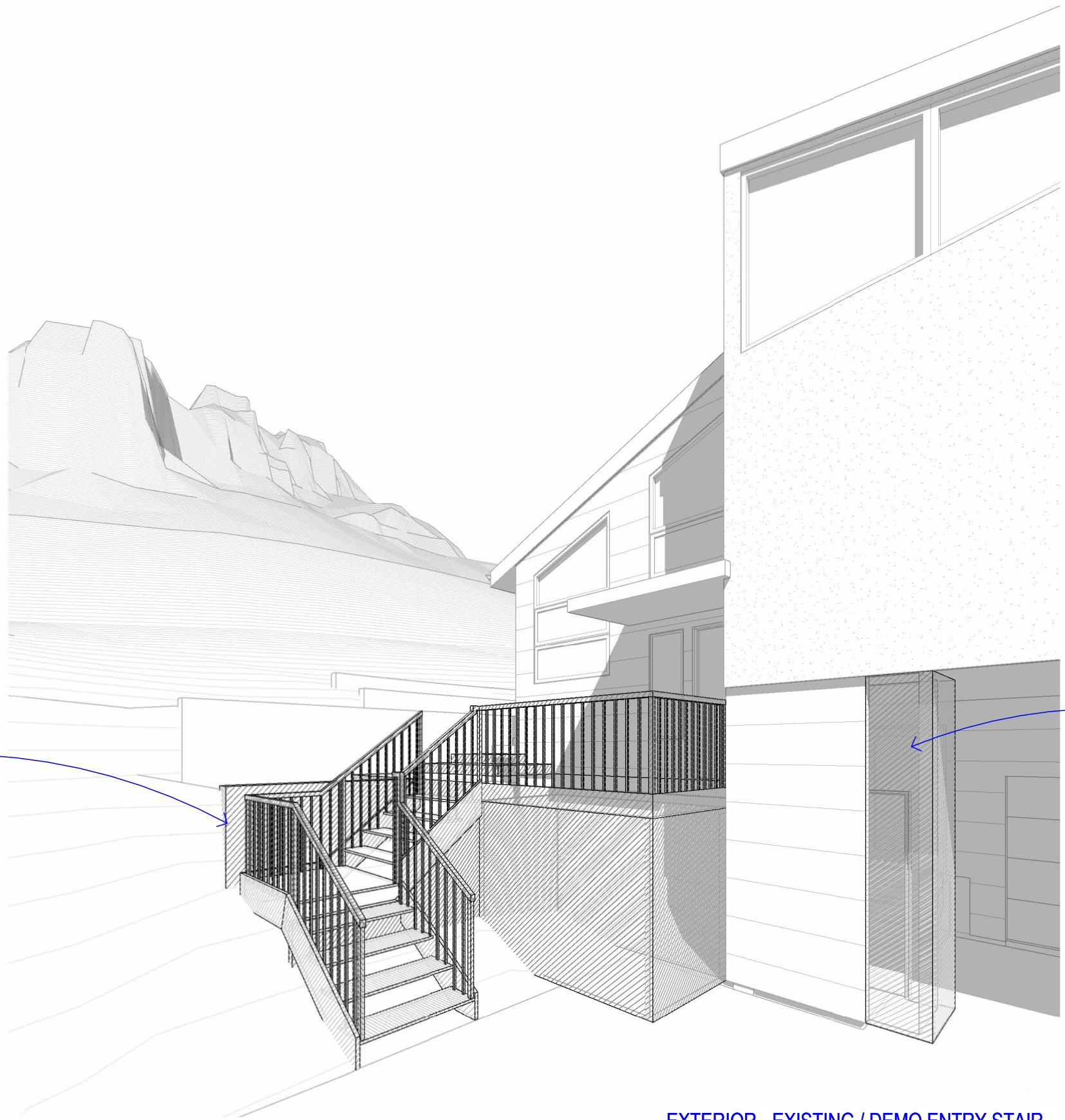
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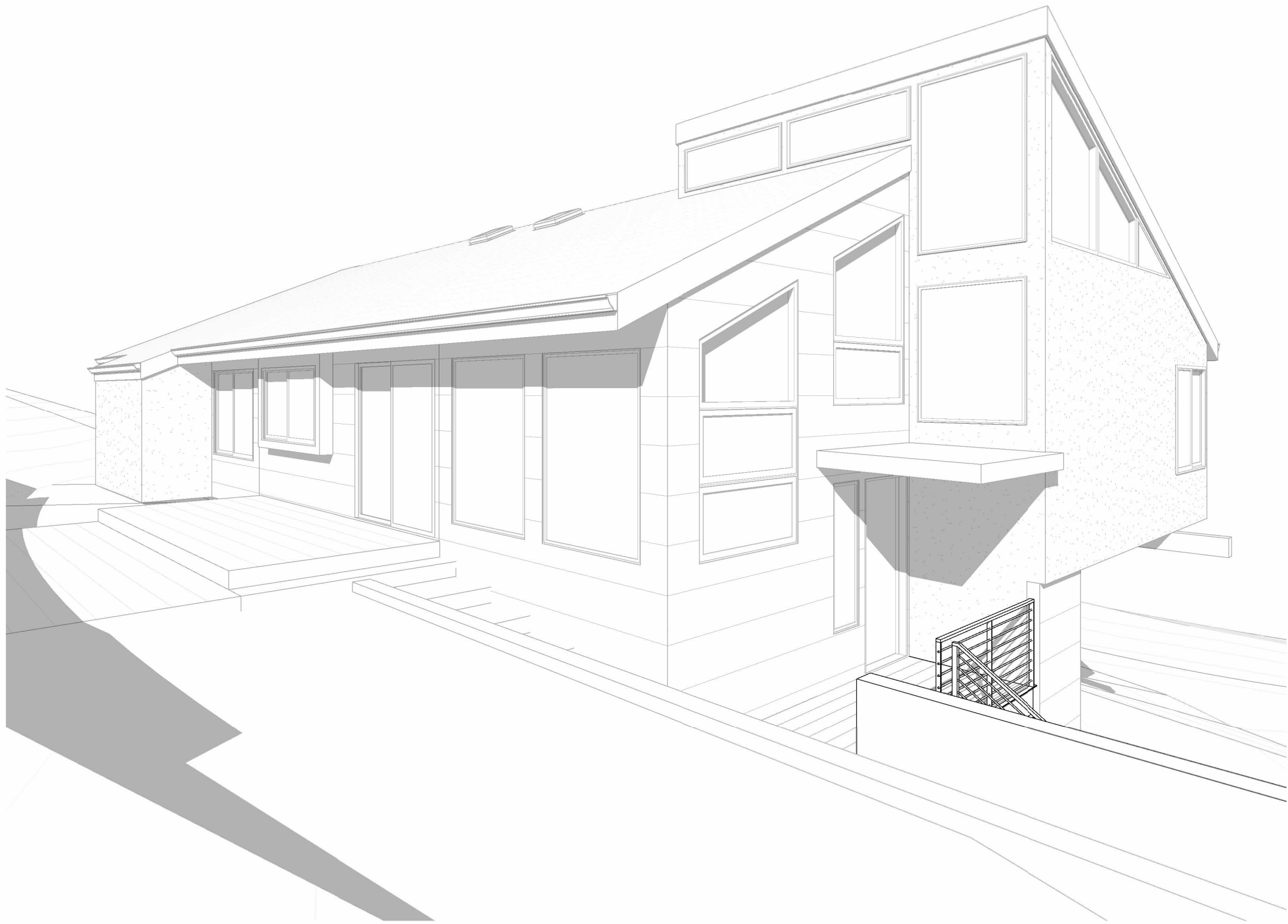
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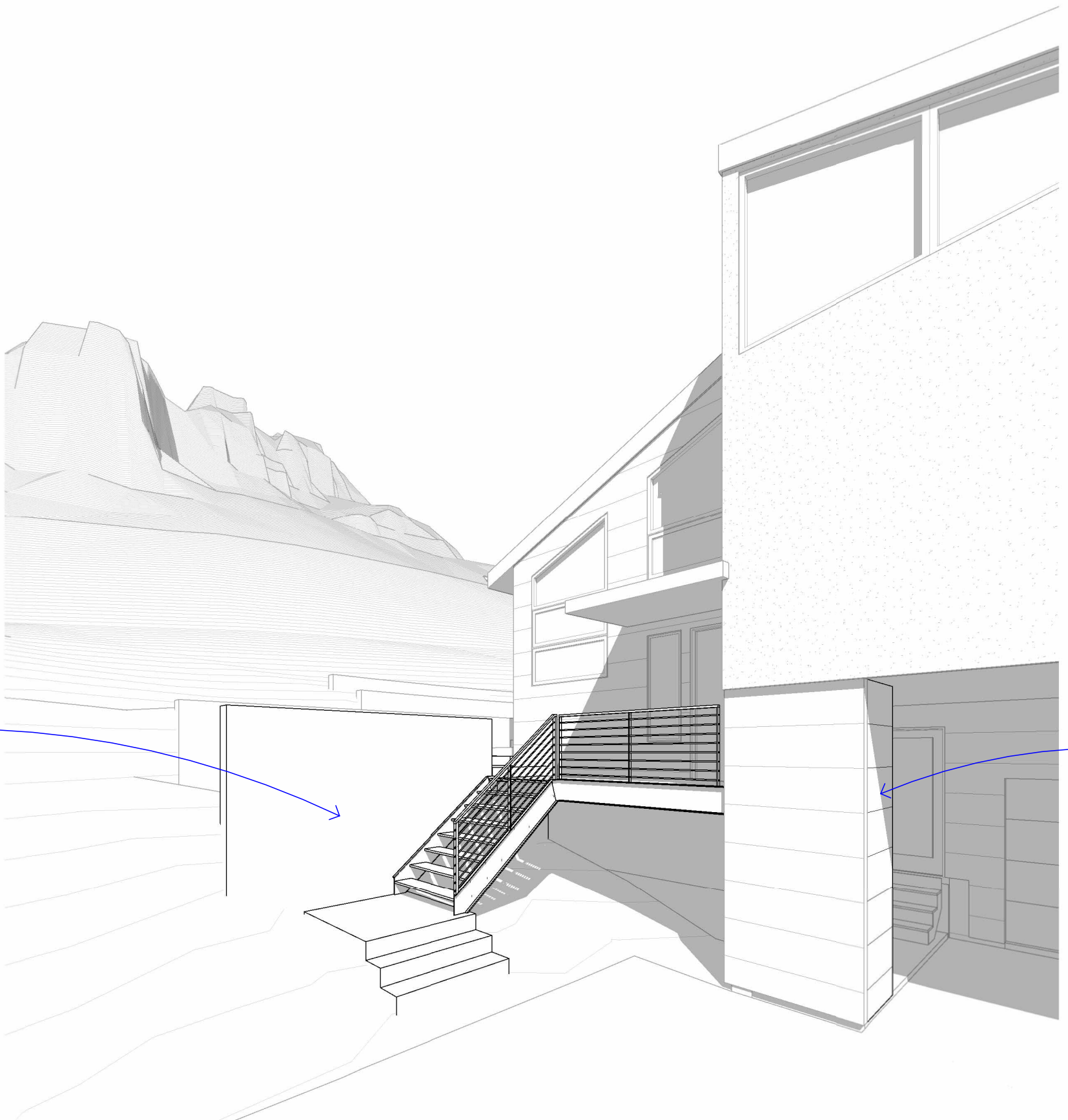
EXTERIOR - EXISTING / DEMO SOUTHWEST PERSPECTIVE



EXTERIOR - EXISTING / DEMO ENTRY STAIR



EXTERIOR - PROPOSED SOUTHWEST PERSPECTIVE



EXTERIOR - PROPOSED ENTRY STAIR

REVISIONS

No.	Description	Date

CEDAR BROOK ENTRY STAIR
CONSTRUCTION DOCUMENTS

PERSPECTIVE VIEWS

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CEDAR BROOK ENTRY STAIR
CONSTRUCTION DOCUMENTS

EXISTING CONDITION PHOTOS

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A7.2

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STRUCTURAL GENERAL NOTES

PROJECT:	Cedar Brook ENTRY 238 S Cedar Brook Drive Boulder CO 80304	OWNERS: Samantha Gongora & Alex Schaefer	ARCHITECT / DESIGNER: Sykes Projects 720-480-2354	BUILDER: T.B.D.
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DESIGN CRITERIA:

CODES:	2015 International Building Code (IBC)
Jurisdiction:	Boulder County
Risk Category:	I
Importance Factor:	1.0

DESIGN LIVE LOADS:	2015 IBC
• Roof Snow:	Pg = 45 psf ground, Pf = 35 psf
• Floors:	40 psf - residential
• Wind:	Wind speed: 165 mph (Vult)
• Exposure:	C
• Seismic Category:	B

FOUNDATION DESIGN CRITERIA

Foundations are designed without an engineer's soil investigation. Foundation design criteria were assumed for purposes of foundation design and shall be confirmed by a soils engineer, at owner's expense, prior to construction. (This procedure may require revisions to foundation design, at additional expense to the owner, if soils engineer determines that such design criteria are inappropriate for this building site). Assumed design criteria:

- Maximum design soil pressure: 1500 psf
- Minimum dead load: - none -
- Lateral earth pressure: 50pcf equivalent fluid pressure – active.
- Passive earth pressure: 250pcf
- Coefficient of Friction: 0.30

Additional considerations:

- Existing foundations assumed to be spread footing foundation system. Similar foundation system assumed suitable, for new construction.
- Bottom of all footing excavations shall be observed by Soils Engineer for conformance to design recommendations.
- Mechanically compact all backfill, per Soils Engineer recommendations.
- Provide positive drainage away from building along with other positive measures to prevent water from infiltrating foundation system.
- All slabs on grade shall be separated from adjacent structural and finish elements to allow free movement of the slab, unless specifically shown and noted otherwise. Construct on soils as recommended by Soils Engineer.
- Coordinate potential additional requirements with Soils Engineer.

GENERAL CONDITIONS:

BASIC

Structural drawings are not stand-alone documents, and are intended to be used in conjunction with Architectural, Civil, drawings etc...., plus drawings from other disciplines. The Contractor shall coordinate all requirements of the Contract Documents into the Work.

1. The term "SER" shall be taken to mean the Structural Engineer of Record for design of this project shown on these drawings. Third party entities are specifically noted as "Soils Engineer" "Professional Engineer," "Contractor's Engineer," "Designer," etc.
2. Referenced codes are to be latest editions as adopted by the current referenced International Building Code.

DRAWINGS

- a. Do not scale drawings.
- b. The use of these drawings constitutes a contractual agreement between the Contractor and the Owner. Thus, these Contract Documents take precedence over trade practices and third party specifications.
- c. Where discrepancies exist among Drawings, General Notes and Specifications, the most stringent requirements shall govern. Coordinate discrepancies with Architect and SER.
- d. Details noted "typical" apply to all comparable conditions. Where no specific details are shown, construction shall conform to the comparable work defined elsewhere on the project.
- e. Deviations from these Contract Documents are not permitted, unless coordinated with the Architect and SER.
- f. Construction documents (including BIM model) are copyrighted and shall not be reproduced without written authorization from the SER.
- g. BIM. The information contained in the "printed" or "PDF" drawings (approved Construction Documents) takes precedence over any information in the electronic model. Use of the SER's BIM model is strictly prohibited, without written authorization from the SER. Request for use of the model must be made to SER and may be released upon receipt of signed waiver and possible fee.

CONTRACTOR

- A. Contractor is responsible for obtaining access to all codes, standards, specifications, reports, third party literature, etc. referenced in these documents.
- B. Contractor shall check and verify all dimensions and other information shown on structural drawings with those shown on non-structural drawings, including Architectural and other disciplines. Contractor shall notify the SER of any discrepancies between structural and non-structural drawings, or within structural drawings. Where such discrepancies occur, the most stringent requirements shall govern unless written clarification is obtained from the SER.
- C. Coordinate size and location of all openings, blockouts, floor depressions, curbs, etc. with Architectural and respective trades as applicable, and reinforce these items as shown on the Structural drawings, or as required by Code. Holes, notches, blockouts, etc. are prohibited in structural members unless specifically shown on the drawings or coordinated with the SER.
- D. The term "provide" as used herein shall mean that Contractor shall furnish and install said item, including all construction, equipment, materials, etc., for a complete, finished installation.
- E. Installation of proprietary products shall comply with all manufacturer's specifications and recommendations, unless noted otherwise. Product substitutions shall be subject to SER review.
- F. Third Party Quality Control: Contractor shall provide SER with copies of all third party structural field observation reports and test results immediately upon receipt.
- G. Third Party Engineered Systems: All references to "Professional Engineer" or "P.E." shall be taken to mean a Professional Engineer currently registered in the project's jurisdiction with experience in the specific discipline of the engineered system.
- H. Items requiring review by the SER, such as shop drawings, product substitutions, requests for field observations, etc., shall be brought to the SER's attention with sufficient notice to allow the SER a reasonable review period.
- I. The SER's scope of services does not include design and/or analysis of conditions resulting from Contractor errors, changes or sequencing, nor does it include review of reissued submittals that were originally rejected. In these cases, the Contractor shall be subject to reimbursing the Owner for additional services incurred by the SER.
- J. SER is not responsible for construction means and methods or jobs site safety, whether implied or not.

SUBMITTALS

If noted under "Submittals" for each discipline, Fabricator and / or Supplier of item shall submit (shop / erections drawings, mix design, product literature, test reports...) for Architect and SER to review. Submit two full printed copies of shop drawings or one PDF copy. Submit one hard copy or PDF of all other items. Allow ten working days for review.

NOTICE: STRUCTURAL ERECTION AND BRACING REQUIREMENTS

The structural drawings illustrate the completed structure with all elements in their final positions. The contractor, in the proper sequence, shall provide proper shoring and bracing as may be required to achieve the final completed structure. During erection of the structure, the Contractor shall be responsible for temporary bracing to withstand all loads to which the structure may be subjected, including lateral loads, stockpiles of materials and equipment. Such bracing shall be left in place as long as required for safety, and until all structural framing and diaphragms are in place with connections complete. All Contractors, Subcontractors, Fabricators, Suppliers and other jobsite personnel shall at all times comply with the Occupational Safety and Health Administration (OSHA) Standards - 29 CFR, Parts 1910 ("Occupational Safety and Health Standards") and 1926 ("Safety and Health Regulations for Construction").

EXISTING CONDITIONS:

Because some assumptions with respect to existing conditions were/are not verifiable without expending additional sums of money or destroying otherwise adequate or serviceable portions of the building, the Client / Builder agrees that conditions will be verified at the time of demolition and that phSTRUCTURE llc will be notified of any discrepancies and that any redesign or modifications will be at the owners expense.

SPECIAL INSPECTION / STRUCTURAL OBSERVATIONS:

(Subject to approval from Building Official. Note: Building Official may also perform additional inspections. See Permit.)

- Inspectors and special inspectors shall be qualified person(s) who demonstrate competence in their respective type of construction to the satisfaction of the Building Official.
- The Contractor shall coordinate with inspectors and special inspectors to incorporate the inspection schedule into the overall project construction schedule
- Refer to the IBC and Building Official for additional information regarding testing and inspection requirements.
- Items requiring Inspection or Observations shall not be covered up until work (or deficiencies if any) has been verified for conformance with the Contract Documents and / or applicable Code.

ITEM:

Subgrade / Foundation excavation
Backfill / Structural Fill (if any)
Foundation Reinforcement Steel
Framing

BY WHO:

Soils Engineer
Soils Engineer
SER
SER

FREQUENCY

Periodic visual prior to placement of footings and slab
Compaction / Density Test as recommended by Soils Engineer
Periodic visual prior to footing and foundation wall pour
Periodic visual as framing progresses

SER = Structural Engineer of Record, phSTRUCTUREllc, shall not be considered a Special Inspector, but will perform visual observations to verify general conformance with the design intent of the Construction Documents. 2-3 day advance notice is requested.

WOOD FRAMING:

All wood framing shall conform to the "National Design Specification for Wood Construction" (NDS) adopted by the American Forest and Paper Association (AF&PA).

PRODUCTS

- Maximum Moisture Content 19%, Grading Rule Agency = WMPA
- Plates: Sill plates: Pressure Treated Doug Fir or Southern Pine or StrandGuard® Timberstrand Ø1.3E LSL
 - Top and Bottom Plates: Doug Fir No. 2 / All Timberstrand 1.3E LSL
 - Studs: 2 x 4, 2 x 6, 2 x 8 to 9'-0". Doug Fir (or Hem Fir) stud grade
 - Studs: 2 x 4, 2 x 6, 2 x 8 greater than 9'-0". Doug Fir No.2 (or Hem Fir No.1) or better.
 - (Equivalent graded Finger Jointed Studs are acceptable - exterior walls must be "CERTIFIED EXTERIOR JOINTS", interior wall can be "VERTICAL USE ONLY")
 - Joists: Doug Fir No. 2 or 1.5E TimberStrand® LSL
 - Exterior Wall Sheathing: 7/16" APA 24/16, Exposure I. Behind stucco: 1/2" APA 32/16, Exposure I.
 - Roof Sheathing: 19/32" APA 40/20, Exposure I. Leave 1/8" gap at perimeter of each sheet.

- Sheathing panels shall be identified with the appropriate trademark of the Plywood Association (APA), and shall meet the requirements of the U.S. Product Standard PS 1.
- Related Products:
- Metal connectors / Hangers: Simpson Strong Tie unless otherwise noted. Install with number and type of nails to achieve maximum rated capacity.
 - Note that heavy duty and skewed hangers may require special order.
 - Nails, screws and staples shall conform to IBC 2303.6, ASTM F 547 and ASTM F 1667.
 - Connector bolts: ASTM A 307 (or ASTM A 325)
 - Lag Screws: ASTM A 307
 - Carriage bolts: ASTM A 307
 - Cast-in-place steel anchor bolts: ASTM F 1554, Grade 36.
 - Steel Plate and Angles: ASTM A36

EXECUTION

- Framing shall conform to the specifications of IBC Section 2304.
- Nailing per International Building Code Table 2304.9.1 except where more or larger nailing shown on drawings.
- Power driven staples and nails per ICC-ES Evaluation Report ERS-1539 (formerly NER-272).
- Lumber in direct contact with concrete or masonry and lumber that is exposed to weather shall be preservative-treated in accordance with AWWA U1 (Commodity Specifications A or F) adopted by the American Wood Protection Association.
- All hangers and nails in contact with A.C.Q. treated wood must be hot dipped galvanized or stainless steel. Bolts 1/2" diameter or greater are exempt.
- Lead holes for lag bolts shall be 60 - 75 % of lag shank diameter for Douglas Fir.
- Install all proprietary products in accordance with manufactures specifications.

Walls

- All wall studs shall be continuous from floor to floor or from floor to roof.
- Install equal number of 2x4 vertical squash blocks in floor framing under column/post loads. Columns/posts and squash blocking must be continuous to foundation.
- Nail typical wall sheathing with 8d common at 6"o.c. at panel edges and 12" o.c. at intermediate framing. Block and nail all edges between studs. Sheathing shall be continuous from bottom plate to top plate. Cut in "L" and "T" shapes around openings. SHEATH ALL EXTERIOR WALLS.
- See plans / details for special requirements at shear walls.

Floors and Roof

- Provide solid blocking or rim joists at all floor and roof joist supports and joel ends.
- At dimensional lumber provide cross bridging or solid blocking at max 8ft o.c. all floor and roof joists.
- All beams shall be braced against rotation at points of bearing.
- All roof joists and beams anchored to supports with Hurricane ties, typical (u.n.o.): Simpson H2a to studs when possible / H2.5a to wall plate / H3 to Steel Beam top plates. (2) ties minimum at beam ends (u.n.o.).
- Roof sheathing shall be placed with 8'-0" dimension perpendicular to roof trusses, with staggered joints. Panels to be continuous over two or more spans Cese 1, IBC table 2306.2.1(1). Panel end joints shall occur over framing. Leave 1/8" gap at perimeter of each sheet. Typical sheathing nailing shall be 8d rnk-shank at roof / 10d rnk-shank (or screw): at 6"o.c. at panel edges and 12"o.c. at intermediate framing.

SUBMITTALS

Proprietary data for items otherwise not specified with specific ICC-ES Evaluation Reports (ERS) or Acceptance Criteria (AC) indicating appropriate usage and design load data.

ENGINEERED LUMBER:

Engineered lumber shall be by Trus Joist or equivalent other manufacturers

- microlam (ML): Laminated veneer lumber; Fb=2,600 psi, E=2,000,000 psi, Fv=285 psi.
- 1.3E Timberstrand Headers (LSL): Laminated strand lumber; Fb=1,700 psi, E=1,300,000 psi, Fv=400 psi.

Note: Different manufactures joists and beams may require different hangers, coordinate with SER.

EXECUTION

- All wood in this section shall comply with the requirements of the Wood Framing notes.
- All bridging, blocking and other accessories shall be furnished by the engineered joist manufacturer and installed in accordance with manufacturer's recommendations.
- All prefabricated L-type joists and beams shall be installed per the manufacturer's recommendations. Do not cut or notch chords in any manner. Holes in Web or Beam per manufacturer.

SUBMITTALS

Proprietary data for items otherwise not specified with specific ICC-ES Evaluation Reports (ERS) or Acceptance Criteria (AC) indicating appropriate usage and design load data.

STRUCTURAL STEEL:

All detailing, fabrication and erection of Structural Steel shall conform to American Institute of Steel Construction "Specifications for Structural Steel Buildings" (AISC 360) and the "Code of Standard Practice for Steel Buildings and Bridges" (AISC 303).
All welding shall conform to the American Welding Society "Structural Welding Code" (AWS D1.1).

PRODUCTS

- Structural Steel Beams: ASTM A992 (W shapes)
- Channels, Angles, Plates, misc.: ASTM A36 (MC, C and L shapes)
- Tube: ASTM A 500, Grade B, 46 ksi (HSS shapes)
- Standard Steel Pipe Columns: ASTM A 53 Grade B (Type E or S)

- Welding: E70xx
- Connector bolts: ASTM A 307 (or ASTM A 325)
- Carriage bolts: ASTM A 307
- Cast-in-place steel anchor bolts: ASTM F 1554, Grade 36.
- Screw Anchors: High strength heat treated carbon screw for concrete and masonry, 360-degree contact, zinc plated per ASTM B633 or galvanized per ASTM B695; Tested per ICC-ES AC193, ACI 355.2 and ICC-ES AC106 ("Simpson Titen HD")
- Chemical epoxy anchors: Two-Component high solids epoxy based, Tested and qualified for Cracked Concrete per ICC-ES AC308 ("Hilti HY 200", "Simpson ET-HP"), Threaded Rod: Stainless Steel ASTM F 593 (ANSI 304), Stainless Steel Nut ASTM F 594, Stainless Steel Washer ANSI B 18.22.1
- Non-Shrink Grout: ASTM C 1107, 5000psi non-metallic ("EMBECO" or "FIVE STAR")

EXECUTION

- Install all proprietary products in accordance with manufactures specifications.
- Torch-based fabrication (including, but not limited to, holes, coping and trimming of steel members) shall be prohibited.
- All welding shall be done by certified welding operators, who each have in their possession current evidence of passing the "American Welding Society Standard Qualifications Tests" as detailed in AWS D1.1.
- Weld size not specifically called out shall be minimum 1/4" fillet continuous or 2" x 12" o.c. stitch weld in lengths longer than 8".
- Bolted connections shall be snug tight and minimum (2) 3/4" diameter bolts unless detailed otherwise.
- Oversized holes and Long Slotted holes shall only be permitted where shown.
- All steel shall receive one shop coat of fabricator's standard primer, such as "Tnemec 10-99" or "Rust-Oleum 1069", except at areas to be field welded.
- All exposed steel shall be primed and painted, coordinate color with Architect / Owner
- Areas within 2 inches of field welds shall not be primed or painted until after welding. Field welds, bolt heads, nuts, all other surfaces not shop primed, and all surfaces that become abraded during shipping and erection shall be field primed immediately after erection.
- SER shall be notified whenever base metal discontinuities, fit-up and alignment problems, field welding problems, member length or hole alignment issues, etc., are identified during erection of the building. Written clarification must be obtained before proceeding with field modifications of the structural steel.

SUBMITTALS

Proprietary data for items otherwise not specified with specific ICC-ES Evaluation Reports (ERS) or Acceptance Criteria (AC) indicating appropriate usage and design load data.
Shop Drawings

CAST IN PLACE CONCRETE and REINFORCEMENT:

Concrete material and workmanship shall be in accordance with the applicable provisions of the American Concrete Institute "Building Code Requirements for Structural Concrete" (ACI 318), and "Specifications for Structural Concrete" (ACI 301).

PRODUCTS

Concrete (normal weight - 145pcf) mix conforming to ACI 301 with following minimum 28 day compressive strength (fc') and additional requirements:

- | | |
|-------------------|----------|
| Footings: | 3000 psi |
| Foundation Walls: | 3500 psi |
| Slabs-on-grade: | 3600 psi |
- (Note: Coordinate exposed finishes with Architect and Owner. See Architectural elevations for "Board Formed Concrete")
- In general, maximum 0.45 Water/Cement ratio, maximum 4" slump, and maximum 1" aggregate. Higher slump, up to 8" acceptable, if Water-Reducing admix used per ACI 301.4.2.2.2. . Concrete exposed to freeze-thaw cycles shall have an air content of 4-6%. Additionally, proportioning shall be consistent with and suitable for specific final intended use.
- Cement: ASTM C150 - Type I. Minimum cement content of 470 lbs. per cubic yard. Fly ash and natural pozzolans shall conform to ASTM C 618, and if used shall comprise no less than 15% and no more than 25% of cementitious material. Cement used in contact with earth shall be sulfate-resistant (Type II or V) in accordance with ACI guidelines, as determined by the Soils Investigation.
 - Water: ASTM C 1602. Aggregates: ASTM C 33 (NW). Admixtures: Air-entraining ASTM C 260, Water-Reducing ASTM C 494
 - Calcium Chloride shall **not** be added to concrete.

- Deformed Reinforcement: ASTM A 615, Grade 60 (Stirrups and Ties - Grade 40)
- Welded Wire Reinforcement (W.W.F.): ASTM A 185
- Cast-in-place steel anchor bolts shall conform to ASTM F 1554, Grade 36 (1/2" diam x 10" @ 32"o.c. typ. u.n.o.)
- Threaded Rod: Stainless Steel ASTM F 593 (ANSI 304), Stainless Steel Nut ASTM F 594, Stainless Steel Washer ANSI B 18.22.1
- Chemical epoxy: Two-Component high solids epoxy based, Tested and qualified for Cracked Concrete per ICC-ES AC308 ("Hilti HY 200", "Simpson ET-HP")

EXECUTION

Concrete must be placed continuously, without horizontal cold joints. Coordinate vertical construction joints not shown on drawings with SER.
Water shall not be allowed to be added to concrete mix on site, unless left out at batch plant and specifically indicated on "batch plant ticket" how much water can be added.
Coordinate possible additional embedded items, inserts, sleeves, blockouts, etc... with other project drawings / trades.
Do not place concrete in water or on frozen ground.

Reinforcement:

- Shall be continuous at all steps and corners
- Provide minimum 2-#5 around all four sides of all openings, extend min. 2'-0 beyond openings.
- Concrete cover over reinforcing, subject to the tolerances of ACI 117:

Placed against earth....	3"
Placed against forms exposed to weather or earth:	#5 or smaller.... 1 1/2", #62"
Placed against forms not exposed to weather or earth:Slabs and Walls....	3/4", Beams and Columns....1 1/2"

See also plans.
- Continuous bars shall lap and dowels shall project adequately to provide a Class B splice, but not less than 12 inches. Lap splice locations of horizontal bars not specifically noted on the drawings, are to be staggered.
- Stirrups, ties, lacing dowels and cantilevered reinforcement shall terminate in a standard hook at the free end(s) of the bar, unless noted otherwise.
- Bar supports, chairs, spacers and rebar positioners shall be used to place all bars in the exact location specified on the drawings. Wire adequately at intersections to hold bars firmly in position while concrete is placed. Bar supports, chairs and spacers which rest on or against an exposed surface shall be hot-dipped galvanized.

Walls:

- Oil forms prior to placing reinforcement steel.
- Coordinate special finishes with Architect / Owner.

Interior Slabs on Grade:

- All slabs on grade shall be separated from adjacent structural and finish elements to allow free movement of the slab, unless specifically shown and noted otherwise. Isolate from walls with two layers tempered hardboard with silicone lubricant between (or Equivalent).
 - Provide control joints "q" as shown on drawings. Sawcut or Tooled - Depth = 1/4 the thickness of slab. Max 12ft o.c.
 - Cast on soils / subgrade per soils investigation. See referenced soils report.
 - Coordinate special finishes with Architectural drawings
- Exterior Slabs on Grade: (Not covered in phSTRUCTUREllc scope of work)

SUBMITTALS

Concrete Mix Designs
Reinforcement Shop Drawings

Cedar Brook ENTRY

These documents have been digitally signed, reference sheet 50 for Digital Signature. Design Professional's electronic or digital seal or signature is effective only as to that version of this document as originally published by Design Professional. Design Professional is not responsible for any subsequent modification, corruption, or unauthorized use of such document. To verify the validity or applicability of the seal or signature contact Design Professional.

Cedar Brook ENTRY

238 S.Cedar Brook Drive
Boulder CO 80304

13 June 2023

STRUCTURAL
GENERAL NOTES

S0

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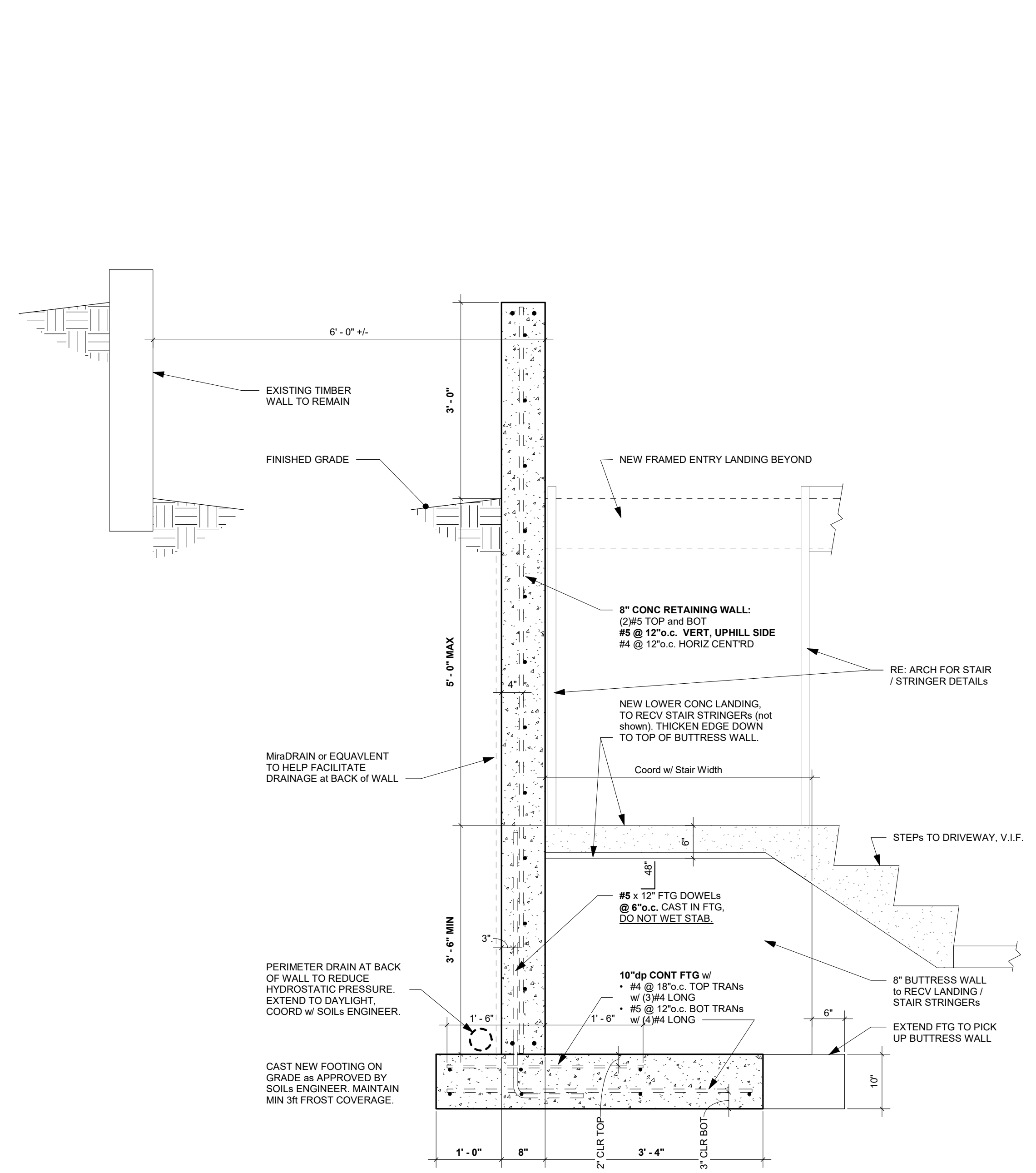
Cedar Brook ENTRY

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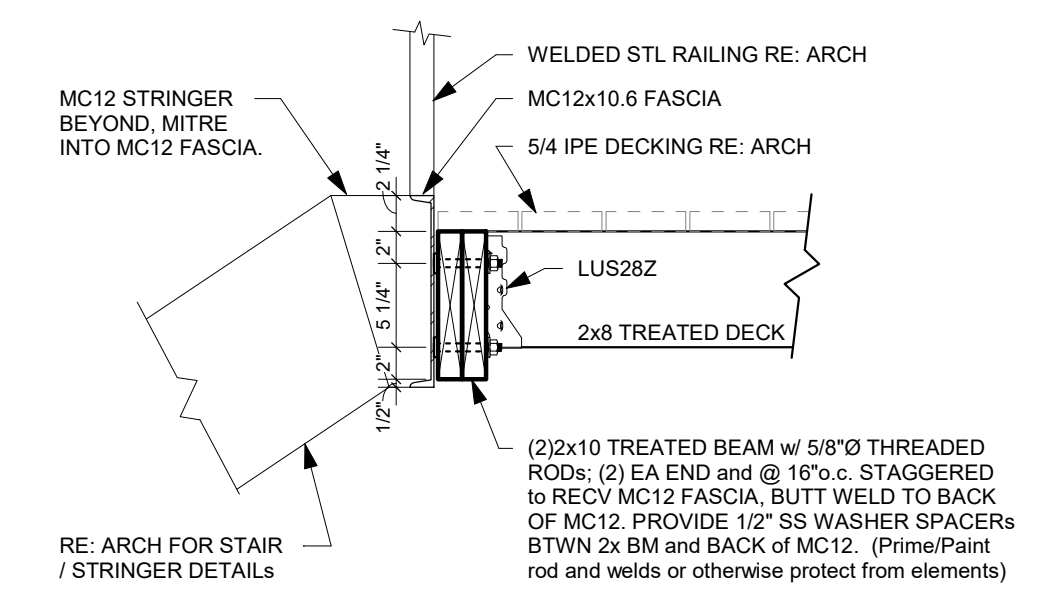
Cedar Brook ENTRY
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13 June 2023

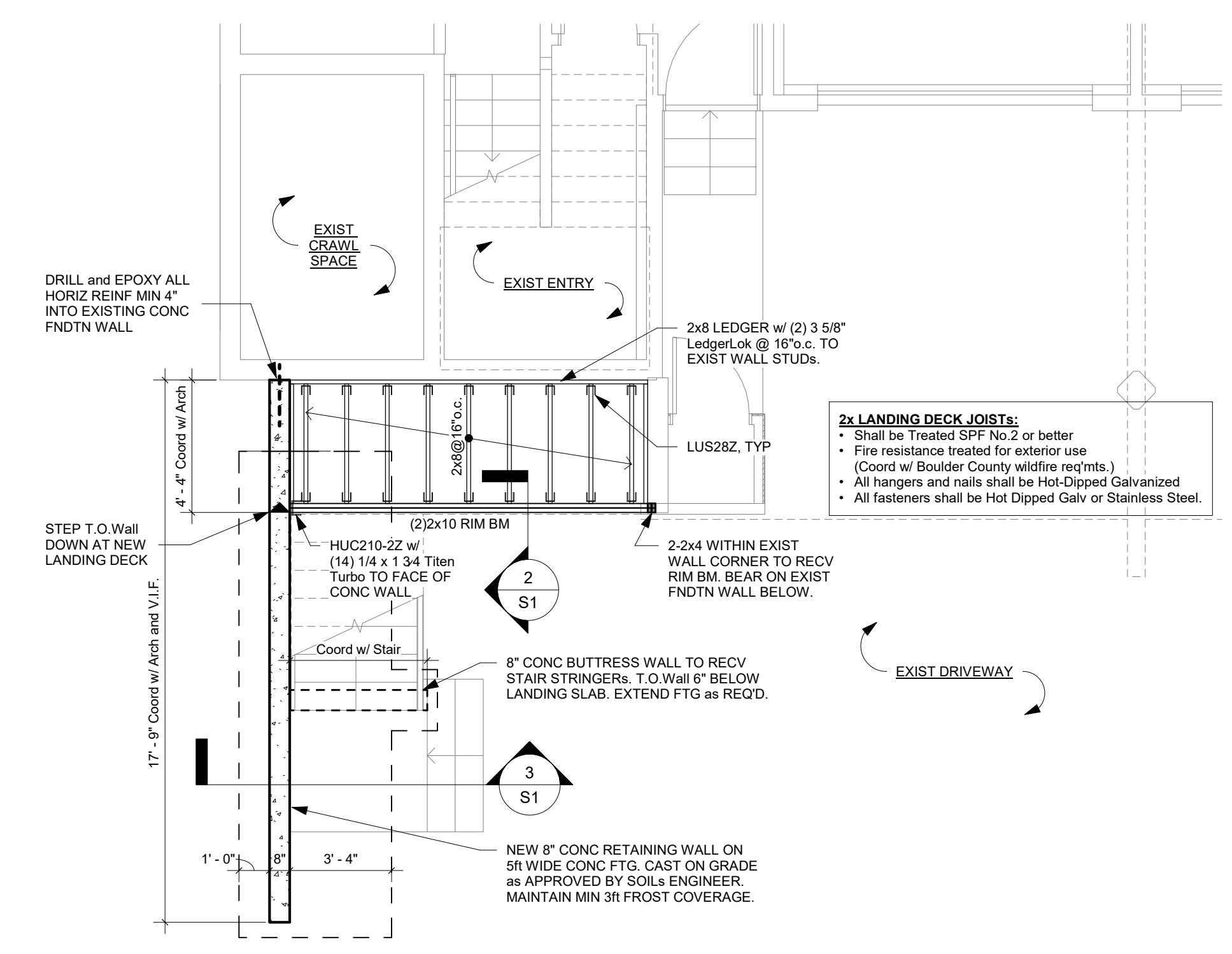
ENTRY AREA FRAMING
and RETAINING WALL



3 New Entry Retaining Wall
3/4" = 1'-0"



2 New Upper Landing Edge
1" = 1'-0"



1 ENTRY WALL / LANDING - PARTIAL PLAN
1/4" = 1'-0"

- PLAN NOTES:
- See General Notes on sheet S0.
 - Coordinate all dimensions, elevations and openings with Architectural drawings.
 - Verify in field existing conditions as pertinent to new construction. Coordinate discrepancies upon discovery with Architect and phSTRUCTUREllc. Revisions / re-design may be necessary.
 - Shore existing construction as required, until new structure fully installed. Shoring design by others.

E/A DOCKET #332 - MARGARET WILLEN
Pt. Lot 282, Pine Brook Hills, #5

APPLICATION FORM FOR VARIANCE REQUEST

BOARD OF ZONING ADJUSTMENT
BOULDER COUNTY, COLORADO

Appellant Margaret Willen Docket No. 332
 Address 445 Valley View Drive Filed 10-17-75
Boulder, Colorado
 Application dated 10-17 1975, for building permit to
build a residence.
 on premises designated as Lot 282, Pine Brook Hills, Unit 5

is hereby disapproved on this date 10-17 1975, under Sec. VI,
 Page 12 of the Boulder County Zoning Resolution for the following
 reason: The proposed structure would have a minimum lot width of
90 feet instead of the required 140 feet and minimum side yards
of 21 feet and 20 feet instead of the required 25 feet.

Glenn Wages
 Building Official *gm*

TO THE CHAIRMAN, BOARD OF ZONING ADJUSTMENT:

I hereby appeal the decision of the Building Inspector dated _____
 19____, due to the following difficulty or hardship as defined in
 CRS 106-2-17: _____

Margaret Willen
Scott Willen
 Appellant

NOTICE OF DISPOSITION OF ZONING DOCKET

This is to advise you that on Nov. 20 1975, the Board of Zoning
 Adjustment Granted your appeal of Docket No. 332.
~~Extended~~

This variance permit granted for a period of 6 months.

Respectfully,

Glenn Wages
 Secretary *gm*

PUBLIC NOTICE

COUNTY OF BOULDER, COLORADO

BOARD OF ADJUSTMENT

Date: November 20, 1975

Time: 4:00 P.M.

Place: Commissioners Hearing Room, Fifth Floor,
Middle Building, Courthouse Square

Notice is hereby given that a public hearing will be held by the County of Boulder Board of Adjustment at the time and place specified above. All persons in any manner interested in the following proposed variance to the Boulder County Zoning Resolution are requested to attend such hearing and aid the Board in making a proper decision in this matter.

A G E N D A

Docket No. 332 Request to build a residence. The proposed
Margaret structure would have a minimum lot width of
Willen 90 feet instead of the required 140 feet and
minimum side yards of 21 feet and 20 feet in-
stead of the required 25 feet. The property is
located on Cedar Brook Road, more particularly
described as: Lot 282, Pine Brook Hills, Unit 5,
Boulder County, Colorado, except that part de-
scribed as follows: Beginning on the Southerly
line of said Lot 282, said point being South 89°41'
West, 62.47 feet from the Southeast corner of said
Lot 282; thence South 89°41' West, 211.10 feet
along the Southerly line of said Lot 282; thence
North 72°27' East, 168.50 feet; thence South 45°
28' East 70.77 feet to the point of beginning.

BOULDER COUNTY BOARD
OF ADJUSTMENTGlenn Wages
Secretary

Published:
November 5, 1975
Boulder Daily Camera

MINUTES

County Courthouse
Boulder, Colorado
November 20, 1975

The Boulder County Board of Adjustment held a regular meeting at 4:00 P.M., November 20, 1975.

Attendance

Members present: Chairman Earl Winter, E. Lloyd Ball,
Thomas Skailes, Commissioner Murphy

Others present: Secretary Glenn Wages, other
interested persons

Minutes

The minutes for the October 16, 1975, meeting were approved as submitted to the members in writing.

✓ Docket No. 332 - Margaret Willen - Pt. of Lot 282, Pine Brook Hills, #5

A request to build a residence that would have a minimum lot width of 90 feet instead of the required 140 feet and minimum side yards of 21 feet and 20 feet instead of the required 25 feet was presented to the board by the secretary.

He explained a triangle shaped piece of land was taken out of this lot to accommodate a drive on the adjacent lot. There is a fairly reasonable slope from the road to the proposed site, which is level and the logical location for the structure. Also, there is good access to the house. A field trip was made to the site. A statement from the Pine Brook Hills Architectural Control Committee was read in which they said they had no objection to the variance provided the property owner to the north did not object.

Mr. Willen said he had called the property owner to the north, Kenneth A. Vardell, who lives in San Diego and mailed him a plot plan. He presented a letter from Mr. Vardell in which he stated he had no objection to the residence being built according to the plan with only a five foot encroachment.

The board granted the variance.

(Motion by Ball, seconded by Skailes, vote: unanimous.)

December Meeting

Due to the absence of several members during December, it was decided the next meeting would be held on January 15, 1976.

Adjournment

The meeting adjourned at 4:12 P.M.

BOULDER COUNTY BOARD
OF ADJUSTMENT

Glenn Wages
Secretary

Nov 10, 1975

Dear Scott,

I'm sorry I've been late in getting back to you, but I've been out of the city during the last week.

After reviewing your proposal and drawing, I don't have any objection to your house being built according to those specifications, provided that the encroachment into the 25' setback will only be 5'. If you have trouble obtaining approval, I would also consider the sale of a small corner of my lot in order for you to be able to comply with existing covenants. I would like to be kept advised of plans in this regard and would also be interested in the size of house you're building -

Good luck and thank you

for sending the info from
the water district regarding the
tap on my lot -

Regards,
Ken Vandew

Lot 290: ~~Jerry Peterson~~ Richard N. Thomas
 Treas
 0420 20734-50.00 JILA Univ. of Colo. Prof.
 Boulder, Colo. 1215 Baseline Road

Tract: ORSON
 ORSON BRINKER
 P.O. Box 2363
 Boulder, Colo. 80302

Lot 281: William M. & Juliet R. Lin
 281 S. Cedarbrook Rd
 Boulder, Colorado

Lot 283: KENNETH A. & TRAVIS R. VARDILL
~~3441 ALDFORD DR 478 Vista Del~~
~~SAN DIEGO, CAL 92111~~ Escuela
 El Cajon, Calif. 92021

Lot 284: Thomas C & Gayle A Clark
 First American Title Co.
 2040 14th
 Boulder, Colo

November 20, 1975

Marv Wall of the Pine Brook Hills Architectural Control Committee called to say they had met and determined to voice no objection to Mr. Willen's variance provided the property owner to the north did not object.



Community Planning & Permitting

Courthouse Annex • 2045 13th Street • Boulder, Colorado 80302
 Mailing Address: P.O. Box 471 • Boulder, Colorado 80306 •
 Tel: 303-441-3930 • www.BoulderCounty.gov

January 19, 2023

TO: Amber Knotts, Planner I; Community Planning & Permitting,
 Development Review Team - Zoning

FROM: Brian P. Kelly, Planner II; Community Planning & Permitting,
 Development Review Team – Access & Engineering

SUBJECT: Docket # VAR-23-0005: Schaefer Variance– 238 S Cedar Brook Road

The Development Review Team – Access & Engineering staff has reviewed the above referenced docket and supports the request. Access & Engineering staff have the following comments:

1. The subject property is accessed via South Cedar Brook Road, a paved Boulder County owned and maintained right-of-way (ROW) with a Functional Classification of Local Secondary Access. Legal access to the subject property has been demonstrated via adjacency to this public ROW.
2. The application as proposed meets the Boulder County Multimodal Transportation Standards (the Standards). The request to reduce the side-yard setback for the south property line from 25 feet (required) to 12.5 feet (proposed) for the construction of a retaining wall and entry stairs does not alter the existing drive.

Please note that Section J108 of the 2015 IBC prohibits grading within 2 feet of all property lines. Historic drainage flow must be maintained at the property lines.

3. The existing drive appears to encroach the adjacent property to the south. If an easement is not already granted the applicant may wish to obtain an easement from the adjacent property owner for the encroachment.

This concludes our comments at this time.



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Building Safety & Inspection Services Team

MEMO

TO: Amber Knotts, Planner I
FROM: Michelle Huebner, Plans Examiner Supervisor
DATE: January 10, 2024

RE: Referral Response, VAR-23-0005: Schaefer Variance: Variance request to reduce the side-yard setback for the south property line from 25 feet (required) to 12.5 feet (proposed) for the construction of a retaining wall and entry stairs, that will replace an existing retaining wall and entry stairs that currently encroach 13.4 feet into the side-yard setback on an approximately 5.61-acre parcel.

Location: 238 Cedar Brook Road

Thank you for the referral. We have reviewed the proposal and have no conflicts with it.

If the applicants should have questions or need additional information, we'd be happy to work with them toward solutions that meet minimum building code requirements. Please call (720) 564-2640 or contact us via e-mail at building@bouldercounty.org



Parks & Open Space

5201 St. Vrain Road • Longmont, CO 80503
303-678-6200 • POSinfo@bouldercounty.org
www.BoulderCountyOpenSpace.org

TO: Amber Knotts, Community Planning & Permitting Department
FROM: Ron West, Natural Resource Planner
DATE: January 24, 2024
SUBJECT: Docket VAR-23-0005, Schaefer, 238 Cedar Brook Road

Staff has reviewed the submitted materials, and has no natural resource concerns with the proposal.



Community Planning & Permitting

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 303-441-3930 • www.BoulderCounty.gov

Wildfire Mitigation Team

MEMO

TO: Amber Knotts, Planner I
FROM: Kyle McCatty, Senior Wildfire Mitigation Specialist Supervisor
DATE: January 24, 2024
RE: Referral Packet for VAR-23-0005: Schaefer Variance at 238 Cedar Brook Road

Thank you for the referral. We have the following comments for the applicants:

Decades of catastrophic wildfires, research, and case studies have shown that extreme wildfires are inevitable in the forests of Boulder County and across the Western US. Still, the loss of life and homes does not have to be inevitable. The conditions that principally determine if a house ignites occur within 100 feet of the house, including the house itself. That is why Boulder County has such strong wildfire mitigation requirements in our Land Use and Building Code. Boulder County encourages all homeowners to voluntarily take responsibility to mitigate their own home's risk of igniting in a wildfire through Wildfire Partners.

Wildfire Mitigation is required; the proposed project is in [Wildfire Zone 1](#) (the foothills or mountains—approximately west of highways 7, 36, or 93) of the unincorporated portion of Boulder County. Wildfire mitigation is required for, among other things, new decks or additions or repairs to existing decks.

The Boulder County Wildfire Mitigation requirements are composed of site location, ignition-resistant materials and construction, defensible space, emergency water supply, and emergency vehicle access.

Site Location

A Boulder County Wildfire Mitigation Specialist has reviewed the site location as part of the Variance process.

The proposed variance and associated new retaining wall and stairs do not increase the overall risk of loss of life and property from a wildfire because the effectiveness of defensible space is already reduced by the distance from the existing residence to the property boundary. However, per criteria f, the risk to the new retaining wall (within 3 feet of the house, deck, or other attachments) and entry stairs needs to be mitigated to reduce wildfire risk because of its location relative to the property line. Full defensible space is at least 100 feet; minimally effective defensible space is 30 feet. Both of which cannot be created and maintained with the proposed distance of 14.5 feet between the

Claire Levy County Commissioner

Marta Loachamin County Commissioner

Ashley Stolzmann County Commissioner

proposed new stairs and the adjacent property line. Therefore, increased ignition resistant materials are required.

Ignition-Resistant Materials and Construction

Since the proposed development is located within a potentially hazardous area, all exterior building materials (including any proposed decking) must be ignition-resistant construction or better. Because of the wildfire mitigation risks associated with the site location, the following more restrictive increased ignition-resistant exterior materials are required for the new retaining wall (within 3 feet of the house, deck, or other attachments), entry stairs, and any additional work associated with this variance:

- Double pane tempered glass is required within at least 50 feet of property lines.
- Wood and fire-retardant-treated wood are not allowed. Deck framing is exempt from this requirement.
- Heavy timber (IBC Section 602.4) and log wall construction (see definition in R327) are allowed.
- Deck surface must be an ASTM E84 (UL 723) flame-spread index no greater than 75.

For additional ignition-resistant construction information, please contact the Building Safety & Inspection Services Team at 303-441-3926. Refer to the Boulder County publication: [Building with Ignition Resistant Materials](#) for specific requirements. All exterior materials must be clearly noted on the building plans and must be reviewed and approved as “ignition resistant” by the Building Safety & Inspection Services Team.

Defensible Space

Minimally effective defensible space is required around new decks or additions or repairs to existing decks. This requires limbing and/or removal of trees and shrubs to provide necessary vertical and horizontal fuel separation within a minimum of 30 ft. from the home. Where the property boundary limits Zone 2 (at least 100 feet from structures), Zone 1 (a buffer of at least 30 feet free of conifer trees and other highly combustible vegetation immediately surrounding the home, including all attachments and accessory structures within 30 feet) may need to begin at the home’s dripline. More information can be found by referring to the Colorado State Forest Service publication [Protecting Your Home from Wildfire: Creating Wildfire-Defensible Zones – 2012 Quick Guide](#).

Follow the Colorado State University [FireWise Plant Materials – 6.305](#), [Fire-Resistant Landscaping – 6.303](#), and Colorado State Forest Service [Protecting Your Home from Wildfire: Creating Wildfire-Defensible Zones – 2012 Quick Guide](#) publications when choosing plants and designing revegetation and landscaping.

Emergency Water Supply

Emergency water supply is currently only required when building a new residence. No emergency water supply will be required for this application.

Emergency Vehicle Clearance

Emergency vehicle clearance is required to allow for safe ingress and egress of emergency vehicles. Emergency personnel try their best to respond to calls in a timely manner, often while negotiating difficult terrain. Planning for access by emergency vehicles improves safety for homeowners and their families by providing for a more efficient response by firefighters and other emergency personnel arriving on the scene. This is especially important in rural and mountainous areas where response times may be considerably longer than in cities, where emergency services are closer by. Refer to the Boulder County publication: [Driveway Access for Emergency Vehicles](#) for specific clearance-related requirements.

Timeline

After applying for, but prior to issuance of any permits, a Boulder County Wildfire Mitigation Specialist will contact you to schedule a Wildfire Partners or Regulatory Wildfire Mitigation assessment and defensible space marking. Based upon the compliance path selected, either a Wildfire Partners Assessment report or a Wildfire Mitigation Plan will be created to describe the wildfire mitigation requirements.

Before scheduling rough framing inspections, the plan's defensible space portion must be implemented and inspected by the Community Planning & Permitting Department. All trees marked for removal must be cut, and all slash, cuttings, and debris must be removed and/or properly disposed of.

At the time of final inspection, all remaining required items in the Wildfire Partners Assessment report or the Wildfire Mitigation Plan are to be fully implemented and inspected. Ground surfaces within three feet of both existing and new structures, and at least 2 feet beyond the driplines of decks, bay windows, and other eaves and overhangs, must be covered with an allowable non-combustible ground cover over a weed barrier material. The driveway vertical and horizontal vegetation clearance must be in place and conform to the Parcel Access Design Standards in the [Boulder County Multimodal Transportation Standards](#).

If the applicants should have questions or need additional information, we'd be happy to work with them toward solutions that meet minimum land use and building code requirements. I can be reached at 720-564-2625 or via e-mail at kmccatty@bouldercounty.gov.

From: [CGS_LUR](#)
To: [Knotts, Amber](#)
Subject: Re: [EXTERNAL] Referral Packet for VAR-23-0005: Schaefer Variance at 238 Cedar Brook Road
Date: Tuesday, January 23, 2024 12:47:45 PM
Attachments: [image001.png](#)

Hi Amber,

The Colorado Geological Survey has no objection to approval of the Schaefer Variance (VAR-23-0005), for a reduced side yard setback related to replacement of an existing retaining wall and entry stairs.

Thanks,
Jill Carlson

Land Use Review Program
Colorado Geological Survey
1801 Moly Road
Golden, CO 80401
cgs_lur@mines.edu
303-384-2655

From: [Cassidy, Jacob](#)
To: [Knotts, Amber](#)
Subject: [EXTERNAL] OSMP Comment VAR-23-0005: Schaefer Variance
Date: Wednesday, January 24, 2024 3:29:32 PM

Hi Amber,

Thanks for the chance to review this referral. OSMP has no comments to add.

Jake Cassidy
Property Agent
Real Estate Services
(pronouns: he/him/his) [What's This?](#)



303-518-6431
cassidyj@bouldercolorado.gov

2520 55th Street | Boulder, CO 80301
[Office Hours and Directions](#)
www.osmp.org



Right of Way & Permits

1123 West 3rd Avenue
Denver, Colorado 80223
Telephone: **303.571.3306**
Facsimile: 303.571.3284
Donna.L.George@xcelenergy.com

January 16, 2024

Boulder County Community Planning and Permitting
PO Box 471
Boulder, CO 80306

Attn: Amber Knotts

Re: Schaefer Variance, Case # VAR-23-0005

Public Service Company of Colorado's (PSCo) Right of Way & Permits Referral Desk has reviewed the documentation for **Schaefer Variance** and has **no apparent conflict**.

As a safety precaution, PSCo would like to remind the developer to call the Utility Notification Center by dialing 811 for utility locates prior to construction.

Donna George
Right of Way and Permits
Public Service Company of Colorado dba Xcel Energy
Office: 303-571-3306 – Email: donna.l.george@xcelenergy.com