



# Community Planning & Permitting

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Mailing Address: P.O. Box 471 • Boulder, Colorado 80306 • [www.bouldercounty.gov](http://www.bouldercounty.gov)

## BOULDER COUNTY PLANNING COMMISSION PUBLIC HEARING

February 21, 2024 at 1:30 p.m.

Boulder County Courthouse, 3rd Floor,  
1325 Pearl Street, Boulder  
Virtual and in-person

### STAFF RECOMMENDATION

**STAFF PLANNER:** Sam Walker, Planner II

**DATE ISSUED:** February 14, 2024

#### **Docket V-23-0002: Frick Vacation**

**Proposal:** Request to vacate portions of the alley rights-of-way that bisect 940 Eldorado Avenue (Parcel 158320011003) and 0 Bryan Avenue (Parcel 158320016003) as well as the portion of Spencer Avenue that divides the two parcels.  
**Location:** 940 Eldorado Avenue, on the south side of Eldorado Avenue approximately 300 feet west of the intersection of Eldorado Avenue and 9th Street in the Eldora Townsite, in Section 21, Township 1S, Range 73W.  
**Zoning:** Forestry  
**Owners:** Robert J. Frick & Carol A. Flowers

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### SUMMARY

The applicants request to vacate three sections of right-of-way (ROW), including two alleys and a portion of Spencer Avenue, originally included in the Eldora historic townsite map. Staff recommends approval of the Vacation request because the request can meet the Vacation Criteria in Article 10 of the Boulder County Land Use Code (the Code).

### DISCUSSION

There are two parcels described in the deed for the subject proposal, known as 940 Eldorado Avenue (aka Parcel A, Parcel ID 158320011003) and 0 Bryan Avenue (aka Parcel B, Parcel ID 158320016003). For the purpose of this recommendation, any reference to 0 Bryan Avenue refers to

Parcel 158320016003. Both parcels are located on the south side of Eldorado Avenue, forming a narrow interrupted line that runs from Eldorado Avenue in the north to Middle Boulder Creek (where the creek bed is located in the Bryan Avenue ROW) to the south.

Because both parcels have been held on one deed since at least 1948, they constitute a single Building Lot.

The two parcels are divided by the Spencer Avenue ROW, which was originally described in the Eldora townsite map and runs east-west through the townsite. Also described on the map are alleys that run parallel to the east-west ROW and further divide townsite parcels. Both 940 Eldorado Avenue and 0 Bryan Avenue are bisected by one alley each.

The applicants are seeking to vacate all three of these ROWs, so that neither 940 Eldorado Avenue or 0 Bryan Avenue are divided by an alley and half of Spencer Avenue is incorporated into each parcel. Staff note that, although the proposal is to divide the vacated section of Spencer Avenue in half, the entirety of the subject parcel including all three vacated ROWs will be considered one building lot even though the parcels are separately described in the deed. See Figures 1 and 2 below for illustrations of the proposal. A full map of the Eldora townsite is included in this packet as Attachment D.

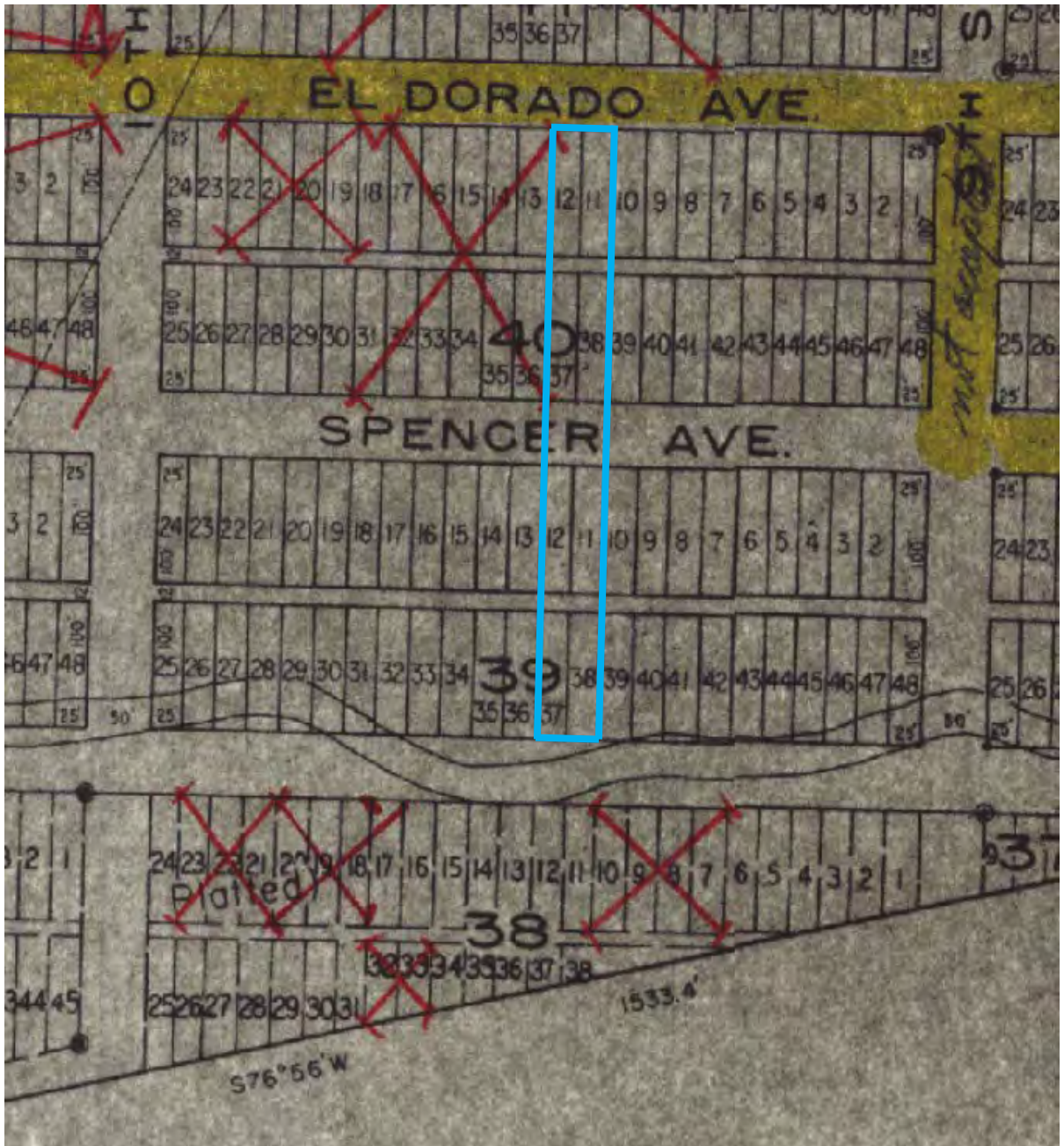


Figure 1: Eldora townsite map detail with dimensions of subject parcels indicated in blue. Dividing ROW lines included.

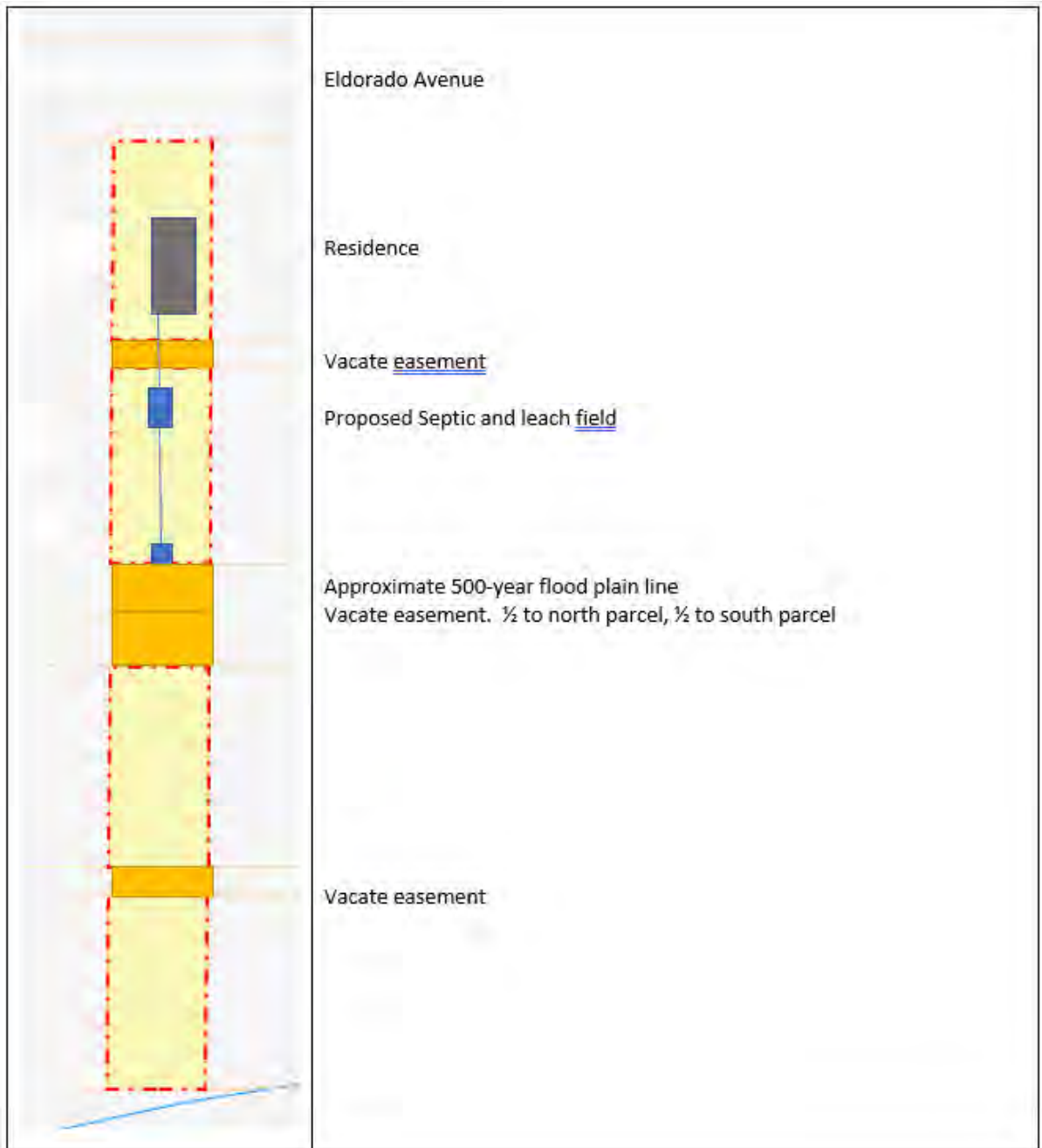


Figure 2: Applicants' proposed site plan showing vacation of all ROWs

Staff do not have concerns regarding the proposed vacation of the alleys that divide each of the two parcels, particularly in the case of 940 Eldorado Avenue. As described in the application materials, vacation of the northern alley that bisects 940 Eldorado Avenue is necessary to allow the installation of a modern septic system. The alley would prevent installation of a septic system because such systems cannot be installed in a public ROW, but the distance between the edge of the alley ROW and the rear of the existing cabin is too small to allow construction of a drain field without ROW encroachment unless the ROW is vacated.

However, staff are concerned that the proposed vacation of a portion of Spencer Avenue would lead to issues with access to other parcels along the ROW in the future. Per Article 10-100.B of the Land Use Code (“the Code”), “Unless otherwise noted, the portions of the road or alley vacated will be divided down the centerline and added to the respective adjacent property.”

At the time of this review, legal building lot status has not been determined on the eastern adjacent parcel on the south side of Spencer Avenue (158320016002) or the next parcel east (158320016001), so it is not clear whether or not either parcel could be developed in the future. However, these neighboring parcels could hypothetically apply for a vacation of the adjoining sections of Spencer Avenue through the same process reviewed by staff in the subject application. Such future applications would necessitate the provision of access easements to other parcels along the south side of the Spencer Avenue ROW because Spencer Avenue is the only viable location for physical access to those parcels. The Bryan Avenue ROW that bounds the southern extent of these parcels (0 Bryan Avenue, Parcel 158320016002, and Parcel 158320016001) is not useable for physical access because Middle Boulder Creek runs through the ROW area.

Rather than requiring future provision of access easements crossing former public ROW areas, staff recommend that only the northern half (northern 25 feet) of the Spencer Avenue ROW be vacated. In the narrative submitted by the applicants, they state that the existing septic system likely extends into the northern part of the Spencer Avenue ROW. Only vacating this northern half will allow the applicants to incorporate the full extent of their existing septic system into their property, use the same space for installation of the new septic system if needed, but will also preserve future physical access to all parcels on the south side of Spencer Avenue.

Staff find that the two alleys that bisect the subject parcels are no longer necessary to serve the needs of county residents and therefore recommend vacation of the alleys.

## **REFERRALS**

This application was referred to the typical agencies, departments, and adjacent property owners. The deadline for agencies and departments to respond was January 24, 2024. Responses received by staff are summarized below.

**Boulder County Historic Preservation Team:** This team responded with a lack of concern regarding the proposed ROW vacations, but encouraged the applicants to consider seeking historic landmarking of the existing cabin at 940 Eldorado Avenue and noted that alterations to the cabin exterior will likely require review by the Historic Preservation Advisory Board.

**Boulder County Public Health (BCPH):** The BCPH referral response noted that the existing onsite wastewater treatment system (OWTS) for 940 Eldorado Avenue is not permitted or in compliance with the BCPH OWTS standards. The response also indicated that the OWTS design included in the application materials needs revision prior to permitting, and detailed requirements for both abandonment of the existing OWTS as well as permitting for the newly proposed OWTS.

**Development Review Team – Access & Engineering (DRT A&E):** The DRT A&E referral response noted that legal access is demonstrated to 940 Eldorado Avenue via adjacency to a public ROW, noted that no road improvements had been constructed in the identified ROW, and indicated that the proposal would not affect legal access to any surrounding parcels.

**Boulder County Parks & Open Space (BCPOS) Department Natural Resource Planner:** The Natural Resource Planner's referral response expressed concern that allowing the vacation of Spencer Avenue and the southern alley that bisects 0 Bryan Avenue would impede public access through and to different areas of the townsite area and recommended that only the northern alley that bisects 940 Eldorado Avenue be vacated.

**Agencies that responded with no conflict:** Boulder County Building Safety & Inspection Services Team, Boulder County Floodplain Program, Xcel Energy, Boulder County Conservation Easement Team, Colorado Department of Natural Resources Division of Water Resources.

**Agencies that did not submit a response:** Boulder County Long Range Planning, Boulder County Wildfire Mitigation Team, Boulder County Assessor, Boulder County Attorney’s Office, Boulder County Real Estate Team, Boulder County Sheriff, Boulder County Treasurer, Boulder County Public Works, Boulder County Surveyor, Eldora Civic Association, Eldora Enterprises LLC, Magnolia Forest Group, Town of Nederland Planning & Zoning Department, Nederland Fire Protection District.

**Adjacent Property Owners:** Notices were sent to 160 property owners. Staff received one phone call, two voicemails, and four written comments from nearby property owners. Staff returned the first phone call and spoke with a nearby property owner who was concerned that the proposed vacation would remove public access along a walking path that crosses the subject parcels. This property owner followed up after the phone call by submitting the first of the written comments to echo their concerns.

Staff returned a call regarding the second voicemail, but did not receive a call back.

Two of the written comments were submitted by the same person, and requested clarification on whether or not a portion of the Bryan Avenue ROW was proposed to be vacated. As reviewed, the applicants’ narrative indicated that they desired to vacate the northern half of the Bryan Avenue ROW where it is adjacent to 0 Bryan Avenue, but the submitted site plans only indicated a desired vacation of the two alleys and section of Spencer Avenue discussed previously. After discussion with the applicants, staff clarified that the proposal does not include a partial vacation of the Bryan Avenue ROW.

The final public comment described issues accessing the application materials to understand the proposal. Staff responded by providing multiple ways to access the materials and did not receive a follow-up response.

## **VACATION REVIEW**

Section 10-100 of the Code sets the standards for Vacations of Public Roads, Alleys, and Easements. Staff has reviewed the criteria and finds the following:

- (A) Public roads, alleys, and easements may be vacated after consideration at a public hearing by both the Planning Commission and the Board of County Commissioners.**

This docket will be heard by Planning Commission on February 21, 2024. After the Planning Commission makes a recommendation on the vacation request, the Board of County Commissioners will hold their own hearing for the proposal (currently scheduled for March 5, 2024).

Therefore, staff finds this criterion can be met.

- (B) Unless otherwise noted, the portions of the road or alley vacated will be divided down the centerline and added to the respective adjacent property.**

The application materials do not include a proposal to divide the vacated ROW differently than this criterion requires. Staff note that the alleys which bisect 940 Eldorado Avenue and 0 Bryan Avenue will become entirely part of each respective parcel rather than being divided down the centerline. However, staff recommend that only the northern 25 feet of the Spencer Avenue ROW be vacated due to the concerns expressed in the Discussion section above. Staff also note that the vacated ROW will be incorporated into the separate parcels described

in the parcel deed, but that the entirety of the two subject parcels will be considered one single building lot.

Therefore, as conditioned, staff finds this criterion can be met.

**(C) Application and processing requirements for vacations are included in Article 3.**

The submitted application materials meet the requirements found in Article 3. In accordance with Article 3, staff referred the application to applicable referral agencies and all property owners within 1,500 feet of the subject property. The application will be heard at a public hearing before the Planning Commission on February 21, 2024, and thereafter by the Board of County Commissioners on March 5, 2024. Public testimony will be taken at both hearings.

Therefore, staff finds this criterion can be met.

**(D) Following approval or conditional approval of a Vacation, the applicant shall submit to the Land Use Department all necessary documents.**

The applicant shall comply with all conditions of approval.

Therefore, staff finds this criterion can be met.

**(E) The Vacation becomes effective upon recordation of the Board's resolution of approval with the Boulder County Clerk and Recorder's office.**

- 1. Prior to recordation, the applicant must comply with and complete all conditions of approval.**
- 2. The Land Use Department staff shall record the Commissioner's resolution of approval with the Clerk and Recorder's office within 1 year of the Commissioners' approval unless otherwise specified.**

If the vacation is approved by the Board of County Commissioners, upon completion of post approval requirements, Community Planning & Permitting staff will record a copy of the Board's Resolution of Approval with the Boulder County Clerk & Recorder.

Therefore, as conditioned, staff finds this criterion can be met.

**ELDORA VACATION STANDARDS**

Section 10-101 of the Code addresses "Vacations of Mapped Roads and Rights-of-way in the Eldora Townsite" specifically in order to provide opportunities for property owners to come into compliance with county regulations, facilitate access and clear title to properties, and foster flexibility for potential development, while preserving the rural and historic character and environmental resources of the Eldora Townsite, all in accordance with the Land Use Code and Comprehensive Plan. In reviewing proposed vacations in the Eldora townsite, the Code states that

**(C) The Board shall consider the following factors as favoring a Vacation request:**  
**1. Is necessary for access or to clear title to land.**

Per the title work submitted with the application materials, there is already clear title to the subject parcel.

Therefore, this factor is not applicable.

**2. Resolves long-standing structural encroachment into the rights-of-way.**

Per the application narrative, the existing unpermitted OWTS encroaches on the northern alley that bisects 940 Eldorado Avenue, and the drainfield may encroach into the northern section of the Spencer Avenue ROW. The proposed vacation will resolve these encroachments by making the encroached ROW areas a part of the subject parcel.

Therefore, staff finds this criterion can be met.

**3. Allows the applicant to apply for a compliant onsite wastewater system and/or a well to serve an existing development if there is no reasonable alternative location.**

Per the application narrative, the proposed vacation will allow physical room to install a compliant OWTS to connect to the existing cabin at 940 Eldorado Avenue. Due to the narrow shape of the subject parcel, there is no reasonable alternative location other than directly south of the cabin.

Therefore, staff finds this criterion can be met.

**4. Facilitates road and rights-of-way exchange if the applicant is requesting Vacation of mapped rights-of-way, and the actual constructed road is located elsewhere on the applicant's property; in that case the County may require dedication of the property under the traveled way to the County as a condition of vacating the mapped rights-of-way. Alternatively, if the applicant is requesting Vacation of mapped rights-of-way, and the actual constructed road is located elsewhere off of applicant's property, the County may vacate the mapped rights-of-way so long as the traveled way is kept in public use.**

There is no constructed road located on the applicants' property, nor have the applicants proposed to remove access to any existing travelway.

Therefore, staff finds this criterion can be met.

**5. Creates an opportunity to provide for development that is more consistent with the Comprehensive Plan and Land Use Code.**

The proposed vacations will allow the installation of an OWTS that will be compliant with current regulations and replace an existing, unpermitted system. Staff find that this proposal is consistent with the intent of the Comprehensive Plan and the Land Use Code.

Therefore, staff finds that this criterion can be met.

**(D) The Board shall consider the following factors as disfavoring a Vacation request:**

**1. Facilitates new development contrary to the Comprehensive Plan or Land Use Code.**

As described above, staff finds that the proposed vacations will facilitate development that is more consistent with the Comprehensive Plan and the Land Use Code.

Therefore, this factor is not met.



**2. Facilitates new development that has a negative impact on historic, archaeological, cultural, scenic, or environmental resources such as wetlands, riparian areas, and plant or wildlife habitat.**

Staff have not identified any aspect of the proposal that would result in future development having a negative impact on historic, archaeological, cultural, scenic, or environmental resources. No new development is proposed, and any future development would be subject to the standard review processes required by the Code.

Therefore, this factor is not met.

**3. Facilitates unsafe development in a natural hazard area.**

Although portions of the ROW proposed to be vacated are located within Floodplain Overlay district, they are mostly within the Floodway. New development within the Floodway is almost universally disallowed, and therefore approval of the proposed vacations would not necessarily facilitate development in such an unsafe area.

Therefore, this factor is not met.

**4. Prevents access to County-owned lands.**

As proposed and conditioned, the vacation of the ROW would not prevent access to County-owned lands. The only County-owned land in the immediate vicinity consists of ROW areas which have yet to be vacated, and criterion E.3 (below) prohibits vacation of north-south ROW within the Eldora townsite to ensure that public access to Middle Boulder Creek (located within the Bryan Avenue ROW) is preserved.

Therefore, this factor is not met.

**(E) The Board shall not approve a Vacation within the Eldora Townsite if:**

**1. The Vacation will leave any adjoining land without access to an established public road. Colorado State Statute 43-2-303(2)(a)**

There are no established public roads in the vicinity of the subject parcel other than Eldorado Avenue. The proposed vacation will not prevent any properties that currently have access to Eldorado Avenue from maintaining that access. However, as described in the discussion section above, staff are concerned that a full vacation of the Spencer Avenue ROW may pose an issue for neighboring parcels on the south side of that ROW if they were to need physical access in the future. Physical access to these parcels would only be possible via 9<sup>th</sup> Street and Spencer Avenue. In order to prevent these anticipated access issues, staff recommend that only the northern half of the Spencer Avenue ROW be vacated.

Therefore, as conditioned, this criterion is not met.

**2. There is a current or foreseeable public need for the property. The evaluation of whether there is a current or foreseeable public need for the property should be made with reference to the stated purpose of preserving the rural and historic character and environmental resources of the Eldora Townsite.**

Staff have not identified any current or foreseeable public need for the two alleys, and no referral agency responded with such a concern. However, a public comment submitted to

staff expressed concern that the proposal would remove public access to Middle Boulder Creek via an existing pedestrian path that crosses the subject parcel.

During a visit to the site, it was not clear to staff where the pedestrian path might be. A series of wooden walkways crossed the subject parcels from north to south and appeared to be at least partially located within the ROW areas proposed to be vacated. Several feet of snow covered most of the ground, and existing parcel boundaries had not been staked.

Discussion with the applicant indicates that the wooden walkways are intended as a private access between the cabin at 940 Eldorado Avenue and Middle Boulder Creek to the south, but are a frequently trespassed area of the parcel, and that there is no existing footpath that crosses the subject parcels from east to west.

As long as only the northern half of the Spencer Avenue ROW is vacated, physical access to other properties along the south side of the ROW will be maintained, and staff are not concerned that there is a foreseeable public need for the northern half of the ROW. The proposed vacation will preserve the existing rural and historic character of the Eldora townsite by allowing the improved use of an existing cabin (through installation of an improved, compliant septic system) and will legitimize the historic pattern of use of the parcel into which the vacated ROW will be incorporated.

Therefore, this factor is not met.

- 3. The rights-of-way have been identified as facilitating access to Middle Boulder Creek, public lands or private properties, and are among the following rights-of-way: the section of unimproved road between the west end of Eldorado Avenue where it turns north to, and including, Middle Boulder Creek; the alley between Eldorado Avenue and Spencer Avenue west of 11th Street; 11th Street north of Klondyke Avenue; 10th Street south of Spencer Avenue; 8th Street south of Eldorado Avenue to, and including, the portion that intersects with Spencer Avenue; 7th Street north of Klondyke Avenue; 6th Street north of Washington Avenue including all of Pearl Street; 6th Street south of Bryan Avenue; 5th Street south of Eldorado Avenue; 4th Street north of Huron Avenue; 3rd Street south of Eldorado Avenue; and 1st Street south of Eldorado Avenue. However, partial Vacations of these rights-of-way may be considered if they meet any of the factors in Subsection C.**

None of the ROW areas proposed to be vacated are described in this criterion. Although a portion of the alley between Eldorado Avenue and Spencer Avenue is proposed to be vacated, the portion to be vacated is east of 11th Street.

Therefore, this factor is not met.

- 4. The rights-of-way are necessary for the ongoing maintenance of existing accepted roads.**

None of the ROW to be vacated are necessary for the ongoing maintenance of existing accepted roads.

Therefore, this factor is not met.

## **RECOMMENDATION**

Staff has determined that the proposal, with the exception of vacating the southern half of Spencer Avenue, can meet all the applicable criteria of the Boulder County Land Use Code for Vacation of Public Roads, Alleys, and Easement. Therefore, staff recommends that the Planning Commission recommend that the Board of County Commissioners ***approve docket V-23-0002: Frick Vacation*** with the following conditions and post-approval requirements:

1. In addition to the two alley sections to be vacated, only the northern half (or northern 25 feet) of the Spencer Avenue right-of-way shall be vacated. The southern half (or southern 25 feet) of the Spencer Avenue right-of-way must remain public to preserve physical access to all parcels on the south side of the right-of-way.
2. The applicant shall meet all the post approval requirements within one year after the date of the Board of County Commissioners' Resolution approving this vacation. This Resolution and associated documents shall also be recorded by Community Planning & Permitting Staff with the County Clerk and Recorder's Office within this one-year timeframe. This vacation approval shall not be considered final or effective until this recordation. Finally, this vacation approval shall expire if recordation does not occur within the required one-year timeframe (unless an extension is granted).
3. The applicant shall be subject to the terms, conditions, and commitments of record and in the file for docket ***V-23-0002: Frick Vacation***.



## Boulder County Land Use Department

Courthouse Annex Building  
2045 13th Street • PO Box 471 • Boulder, Colorado 80302  
Phone: 303-441-3930  
Email: [planner@bouldercounty.org](mailto:planner@bouldercounty.org)  
Web: [www.bouldercounty.org/lu](http://www.bouldercounty.org/lu)  
Office Hours: Mon., Wed., Thurs., Fri. 8 a.m. to 4:30 p.m.  
Tuesday 10 a.m. to 4:30 p.m.

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Intake Stamp

## Planning Application Form

The Land Use Department maintains a submittal schedule for accepting applications. Planning applications are accepted on Mondays, by appointment only. Please call 303-441-3930 to schedule a submittal appointment.

Project Number		Project Name					
<input type="checkbox"/> Appeal <input type="checkbox"/> Correction Plat <input type="checkbox"/> Exemption Plat <input type="checkbox"/> Final Plat <input type="checkbox"/> Limited Impact Special Use <input type="checkbox"/> Limited Impact Special Use Waiver <input type="checkbox"/> Location and Extent		<input type="checkbox"/> Modification of Site Plan Review <input type="checkbox"/> Modification of Special Use <input type="checkbox"/> Preliminary Plan <input type="checkbox"/> Resubdivision (Replat) <input type="checkbox"/> Rezoning		<input type="checkbox"/> Road Name Change <input checked="" type="checkbox"/> Road/Easement Vacation <input type="checkbox"/> Site Plan Review <input type="checkbox"/> Site Plan Review Waiver <input type="checkbox"/> Sketch Plan <input type="checkbox"/> Special Use/SSDP		<input type="checkbox"/> Special Use (Oil & Gas development) <input type="checkbox"/> State Interest Review (1041) <input type="checkbox"/> Subdivision Exemption <input type="checkbox"/> Variance <input type="checkbox"/> Other:	
Location(s)/Street Address(es) 940 Eldorado Avenue, Nederland, CO 80466							
(Historic Eldora Townsite)							
Subdivision Name Eldora - MT							
Lot(s) 11-12 & 37-38	Block(s) 39 & 40	Section(s) 21	Township(s) 15	Range(s) 73			
Area in Acres .46	Existing Zoning F-Forestry	Existing Use of Property Residential		Number of Proposed Lots 2			
Proposed Water Supply Well			Proposed Sewage Disposal Method Septic				

### Applicants:

Applicant/Property Owner Carol A. Flowers			Email cflowers21@hotmail.com		
Mailing Address 10295 W. 79th Way					
City Arvada	State CO	Zip Code 80005	Phone 303-514-2275		
Applicant/Property Owner/Agent/Consultant Robert J. Frick			Email bobfrick@hotmail.com or fricklaw@gmail.com		
Mailing Address 10295 W. 79th Way					
City Arvada	State CO	Zip Code 80005	Phone 970-397-3980		
Agent/Consultant Robert J. Frick			Email bobfrick@hotmail.com or fricklaw@gmail.com		
Mailing Address 10295 W. 79th Way					
City Arvada	State CO	Zip Code 80005	Phone 970-397-3980		

### Certification (Please refer to the Regulations and Application Submittal Package for complete application requirements.)

I certify that I am signing this Application Form as an owner of record of the property included in the Application. I certify that the information and exhibits I have submitted are true and correct to the best of my knowledge. I understand that all materials required by Boulder County must be submitted prior to having this matter processed. I understand that public hearings or meetings may be required. I understand that I must sign an Agreement of Payment for Application processing fees, and that additional fees or materials may be required as a result of considerations which may arise in the processing of this docket. I understand that the road, school, and park dedications may be required as a condition of approval.

I understand that I am consenting to allow the County Staff involved in this application or their designees to enter onto and inspect the subject property at any reasonable time, without obtaining any prior consent.

All landowners are required to sign application. If additional space is needed, attach additional sheet signed and dated.

Signature of Property Owner	Printed Name Robert J. Frick	Date 9/30/23
Signature of Property Owner	Printed Name Carol A. Flowers	Date 5/30/23

The Land Use Director may waive the landowner signature requirement for good cause, under the applicable provisions of the Land Use Code.



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Subdivision Name Eldora - MT							
Lot(s) 11-12 & 37-38	Block(s) 39 & 40	Section(s) 21	Township(s) 1S	Range(s) 73			
Area in Acres .46 (.23 x 2 parcels)	Existing Zoning F-Forestry	Existing Use of Property Residential		Number of Proposed Lots 2 (1 lot per parcel)			
Proposed Water Supply Well		Proposed Sewage Disposal Method Septic					

#### Applicants:

Applicant/Property Owner <b>Mark Morrison</b>			Email		
Mailing Address <b>423 E. Waring Ave.</b>					
City <b>State College</b>	State <b>PA</b>	Zip Code <b>12801</b>	Phone <b>814-574-5875</b>		
Applicant/Property Owner/Agent/Consultant <b>Laura Reed-Morrison</b>			Email		
Mailing Address <b>423 E. Waring Ave.</b>					
City <b>State College</b>	State <b>PA</b>	Zip Code <b>12801</b>	Phone <b>814-321-8721</b>		
Agent/Consultant <b>Robert J. Frick</b>			Email <b>bobfrick@hotmail.com or fricklaw@gmail.com</b>		
Mailing Address <b>10295 W. 79th Way</b>					
City <b>Arvada</b>	State <b>CO</b>	Zip Code <b>80005</b>	Phone <b>970-397-3980</b>		

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All landowners are required to sign application. If additional space is needed, attach additional sheet signed and dated.

Signature of Property Owner <b>Mark Stewart Morrison</b>	Printed Name <b>Mark Stewart Morrison</b>	Date <b>6.21.2023</b>
Signature of Property Owner <b>Laura Reed-Morrison</b>	Printed Name <b>Laura Reed-Morrison</b>	Date <b>6.21.2023</b>

The Land Use Director may waive the landowner signature requirement for good cause, under the applicable provisions of the Land Use Code.



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Project Number		Project Name			
<input type="checkbox"/> Appeal <input type="checkbox"/> Correction Plat <input type="checkbox"/> Exemption Plat <input type="checkbox"/> Final Plat <input type="checkbox"/> Limited Impact Special Use <input type="checkbox"/> Limited Impact Special Use Waiver <input type="checkbox"/> Location and Extent		<input type="checkbox"/> Modification of Site Plan Review <input type="checkbox"/> Modification of Special Use <input type="checkbox"/> Preliminary Plan <input type="checkbox"/> Resubdivision (Replat) <input type="checkbox"/> Rezoning		<input type="checkbox"/> Road Name Change <input checked="" type="checkbox"/> Road/Easement Vacation <input type="checkbox"/> Site Plan Review <input type="checkbox"/> Site Plan Review Waiver <input type="checkbox"/> Sketch Plan <input type="checkbox"/> Special Use/SSDP	<input type="checkbox"/> Special Use (Oil & Gas development) <input type="checkbox"/> State Interest Review (1041) <input type="checkbox"/> Subdivision Exemption <input type="checkbox"/> Variance <input type="checkbox"/> Other:
Location(s)/Street Address(es) 940 Eldorado Avenue, Nederland, CO 80466					
(Historic Eldora Townsite) (Parcels 158320011003 & 158320016003)					
Subdivision Name Eldora - MT					
Lot(s) 11-12 & 37-38	Block(s) 39 & 40	Section(s) 21	Township(s) 1S	Range(s) 73	
Area in Acres .46 (.23 x 2 parcels)	Existing Zoning F-Forestry	Existing Use of Property Residential		Number of Proposed Lots 2 (1 lot per parcel)	
Proposed Water Supply Well		Proposed Sewage Disposal Method Septic			

### Applicants:

Applicant/Property Owner <i>Willard Flowers (Estate)</i>			Email	
Mailing Address <i>277 Ridgeway Ln.</i>				
City <i>Nederland</i>	State <i>TX</i>	Zip Code <i>77627</i>	Phone <i>409-718-6185</i>	
Applicant/Property Owner/Agent/Consultant			Email	
Mailing Address				
City	State	Zip Code	Phone	
Agent/Consultant Robert J. Frick			Email <i>bobfrick@hotmail.com or fricklaw@gmail.com</i>	
Mailing Address <i>10295 W. 79th Way</i>				
City <i>Arvada</i>	State <i>CO</i>	Zip Code <i>80005</i>	Phone <i>970-397-3980</i>	

### Certification (Please refer to the Regulations and Application Submittal Package for complete application requirements.)

I certify that I am signing this Application Form as an owner of record of the property included in the Application. I certify that the information and exhibits I have submitted are true and correct to the best of my knowledge. I understand that all materials required by Boulder County must be submitted prior to having this matter processed. I understand that public hearings or meetings may be required. I understand that I must sign an Agreement of Payment for Application processing fees, and that additional fees or materials may be required as a result of considerations which may arise in the processing of this docket. I understand that the road, school, and park dedications may be required as a condition of approval.

I understand that I am consenting to allow the County Staff involved in this application or their designees to enter onto and inspect the subject property at any reasonable time, without obtaining any prior consent.

**All landowners are required to sign application. If additional space is needed, attach additional sheet signed and dated.**

Signature of Property Owner <i>Lynn E Metz for estate of Willard A Flowers</i>	Printed Name <i>LYNN E METZ FOR ESTATE OF WILLARD A FLOWERS</i>	Date <i>6/22/23</i>
Signature of Property Owner	Printed Name	Date

The Land Use Director may waive the landowner signature requirement for good cause, under the applicable provisions of the Land Use Code.






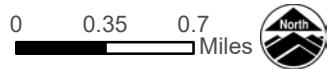
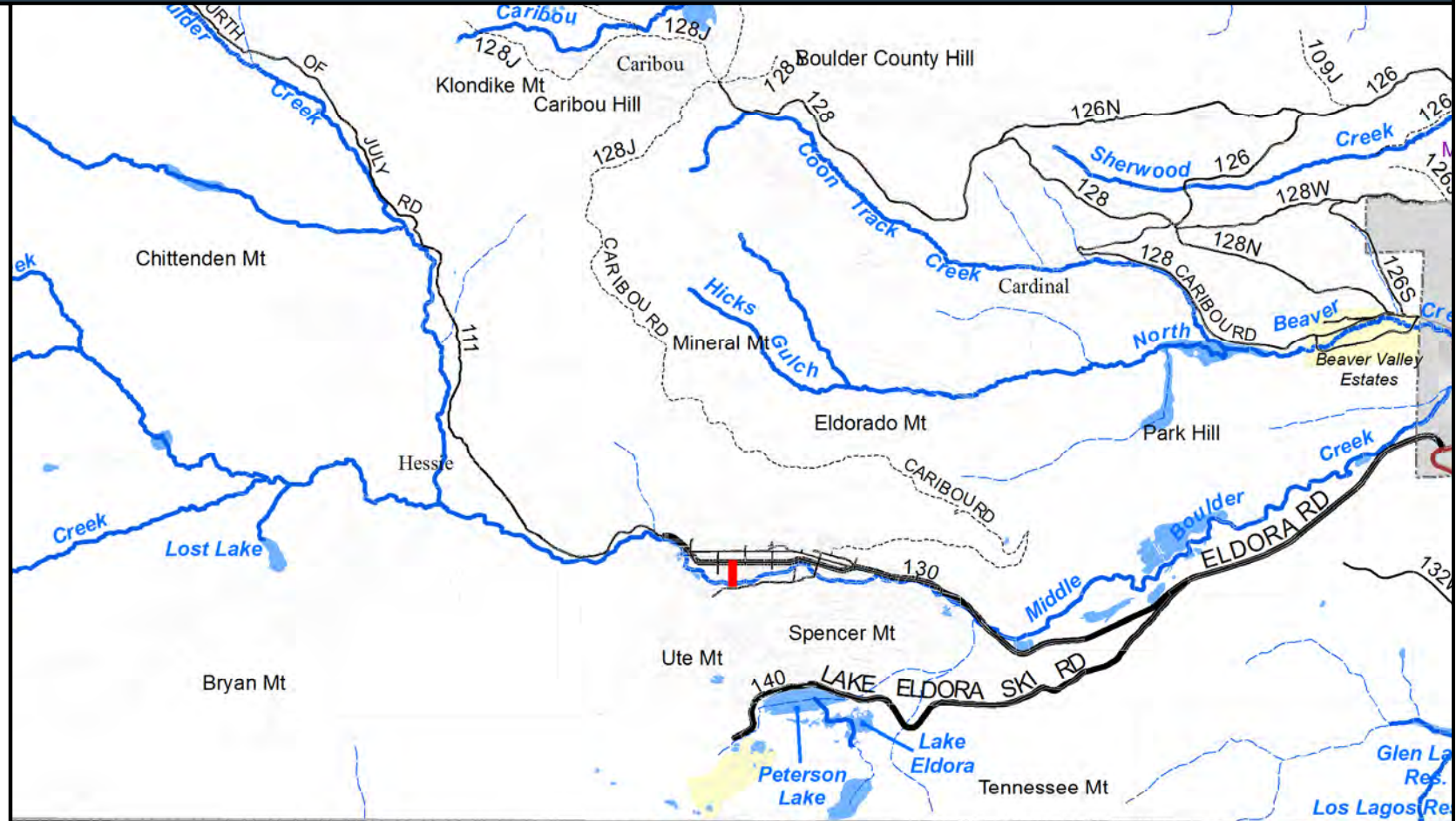
# Community Planning & Permitting

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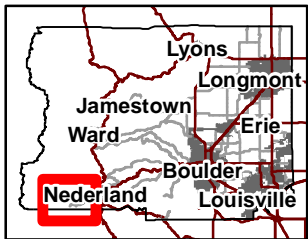
Vicinity

940 ELDORADO AVE & 0 BRYAN AVE

-  Subject Parcel
-  Municipalities
- Subdivisions**
-  Subdivisions



Area of Detail Date: 12/8/2023



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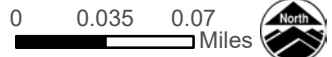
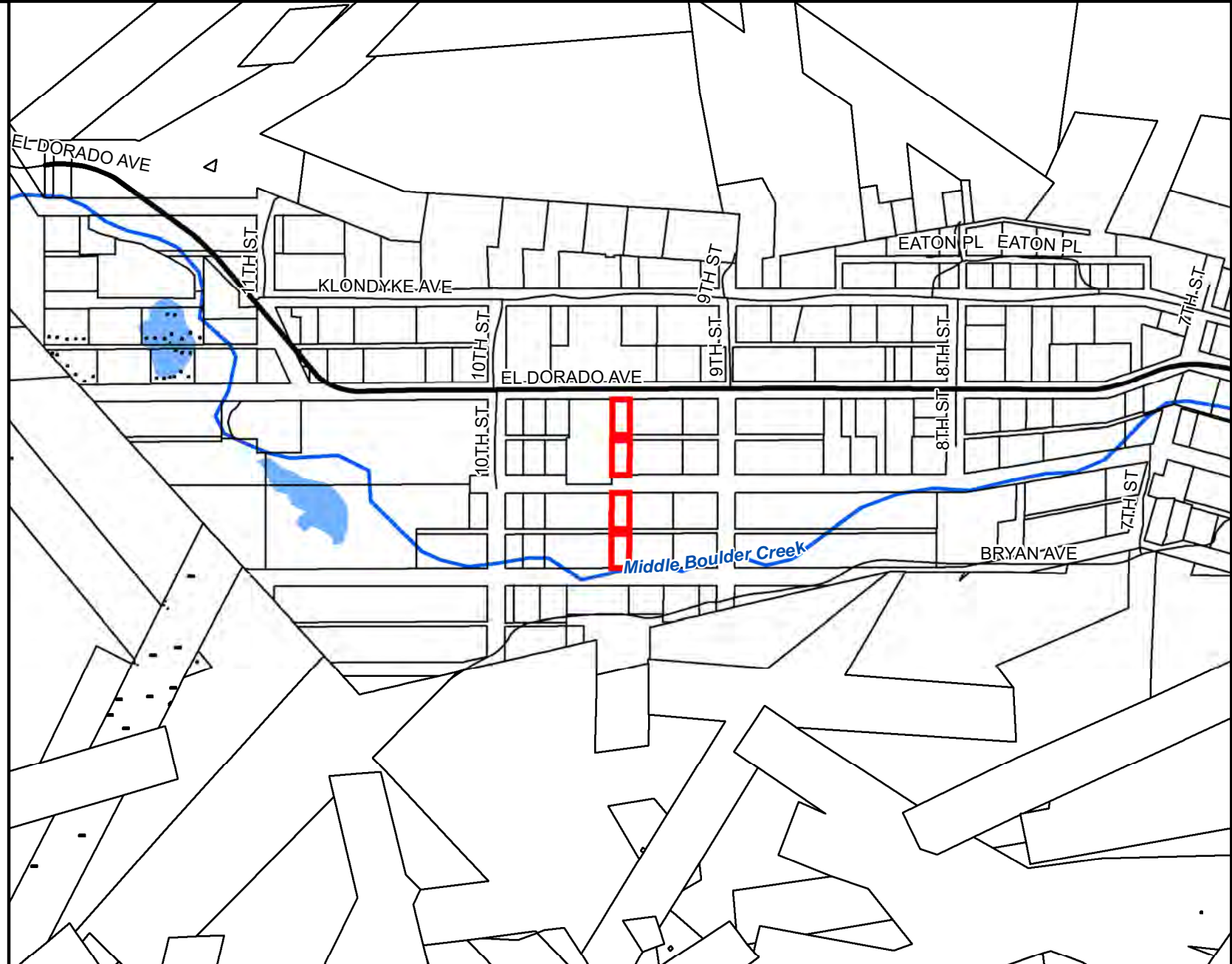
# Community Planning & Permitting

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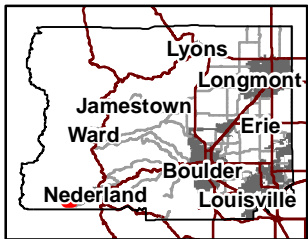
Location

940 ELDORADO AVE & 0 BRYAN AVE

 Subject Parcel



Area of Detail Date: 12/8/2023



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Aerial

940 ELDORADO AVE & 0 BRYAN AVE

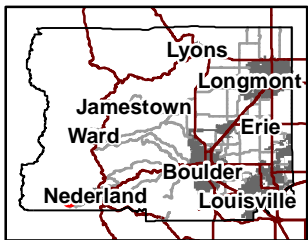
 Subject Parcel



0 0.0085 0.017 Miles



Area of Detail Date: 12/8/2023



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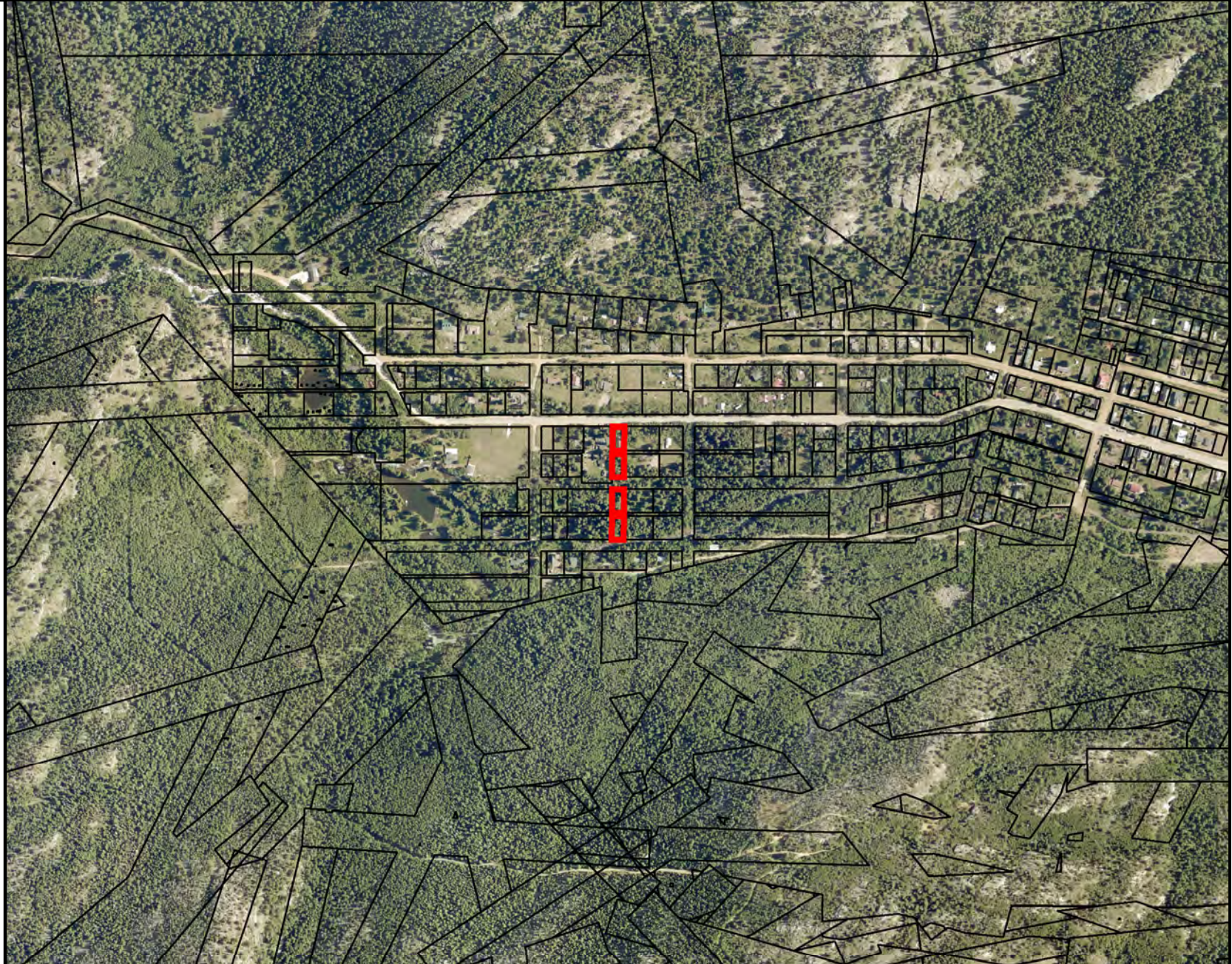
# Community Planning & Permitting

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Aerial

940 ELDORADO AVE & 0 BRYAN AVE

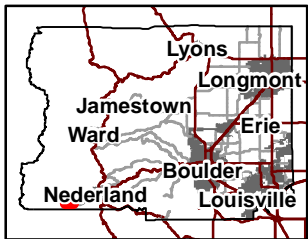
 Subject Parcel



0 0.05 0.1 Miles



Area of Detail Date: 12/8/2023



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# Community Planning & Permitting

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## Comprehensive Plan

### 940 ELDORADO AVE & 0 BRYAN AVE

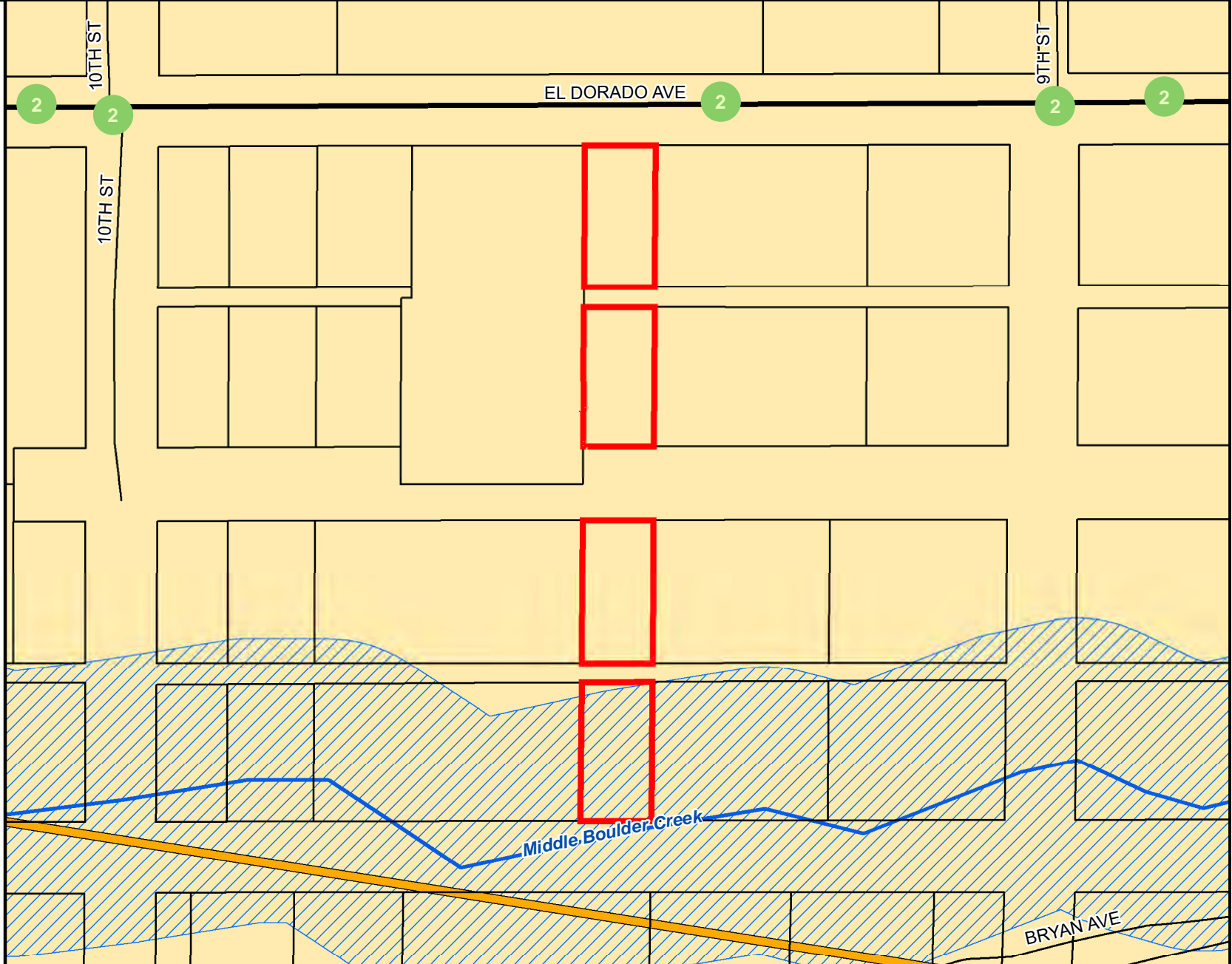
Subject Parcel

### Archeologically Sensitive Travel Routes

Archeologically Sensitive Travel Routes

Riparian Areas

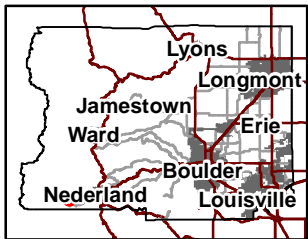
Significant Natural Communities



0 0.0085 0.017 Miles



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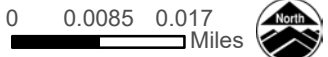
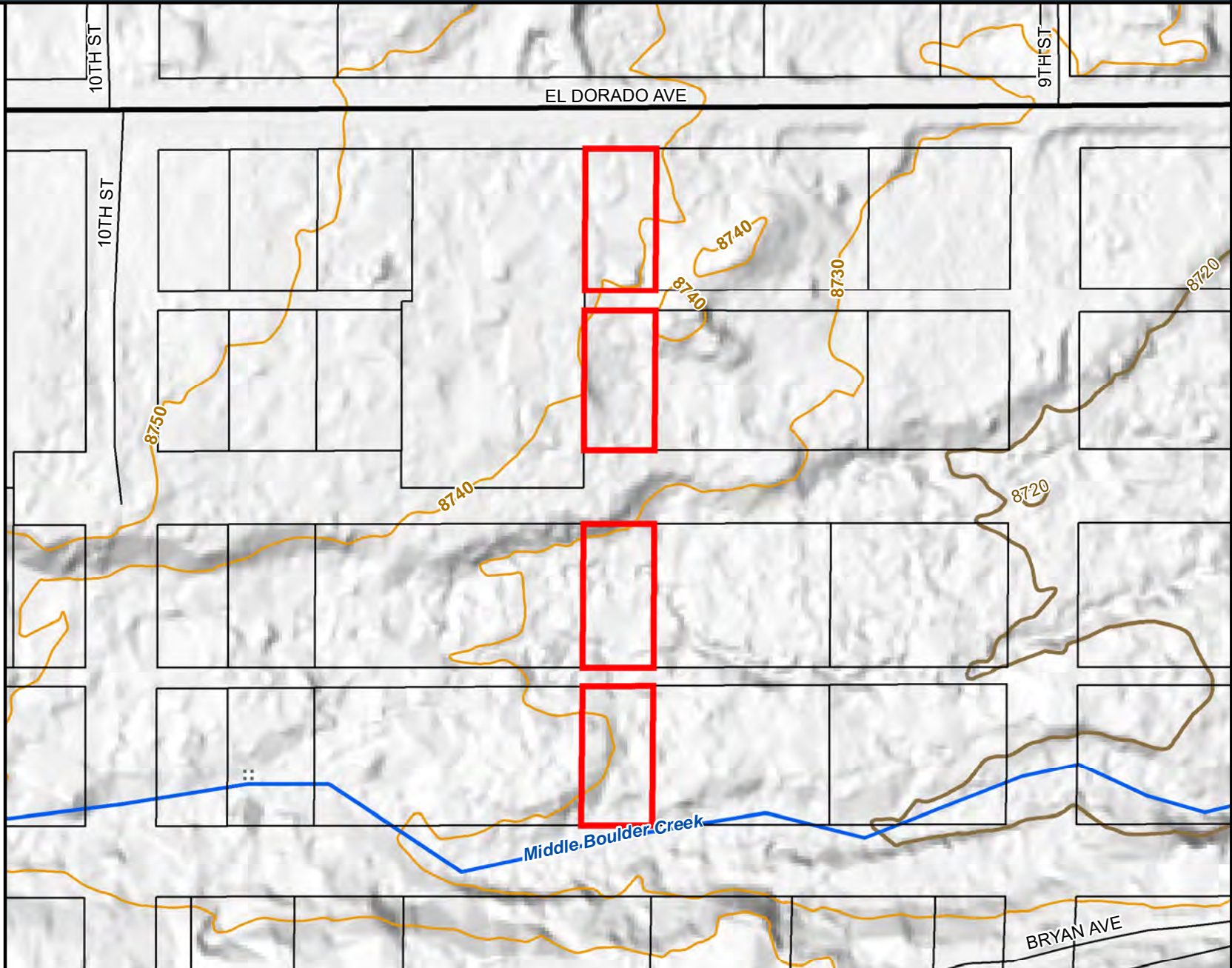
# Community Planning & Permitting

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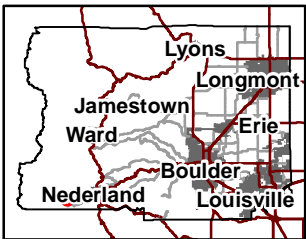
## Elevation Contours

### 940 ELDORADO AVE & 0 BRYAN AVE

- Subject Parcel
- Contours 40'
- Contours 10'



Area of Detail Date: 12/8/2023



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## Floodplain

940 ELDORADO AVE & 0 BRYAN AVE

Subject Parcel

### Floodplain

Floodway

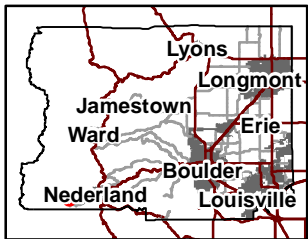
500-Year Floodplain  
- Zone X500



0 0.0085 0.017 Miles



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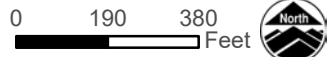
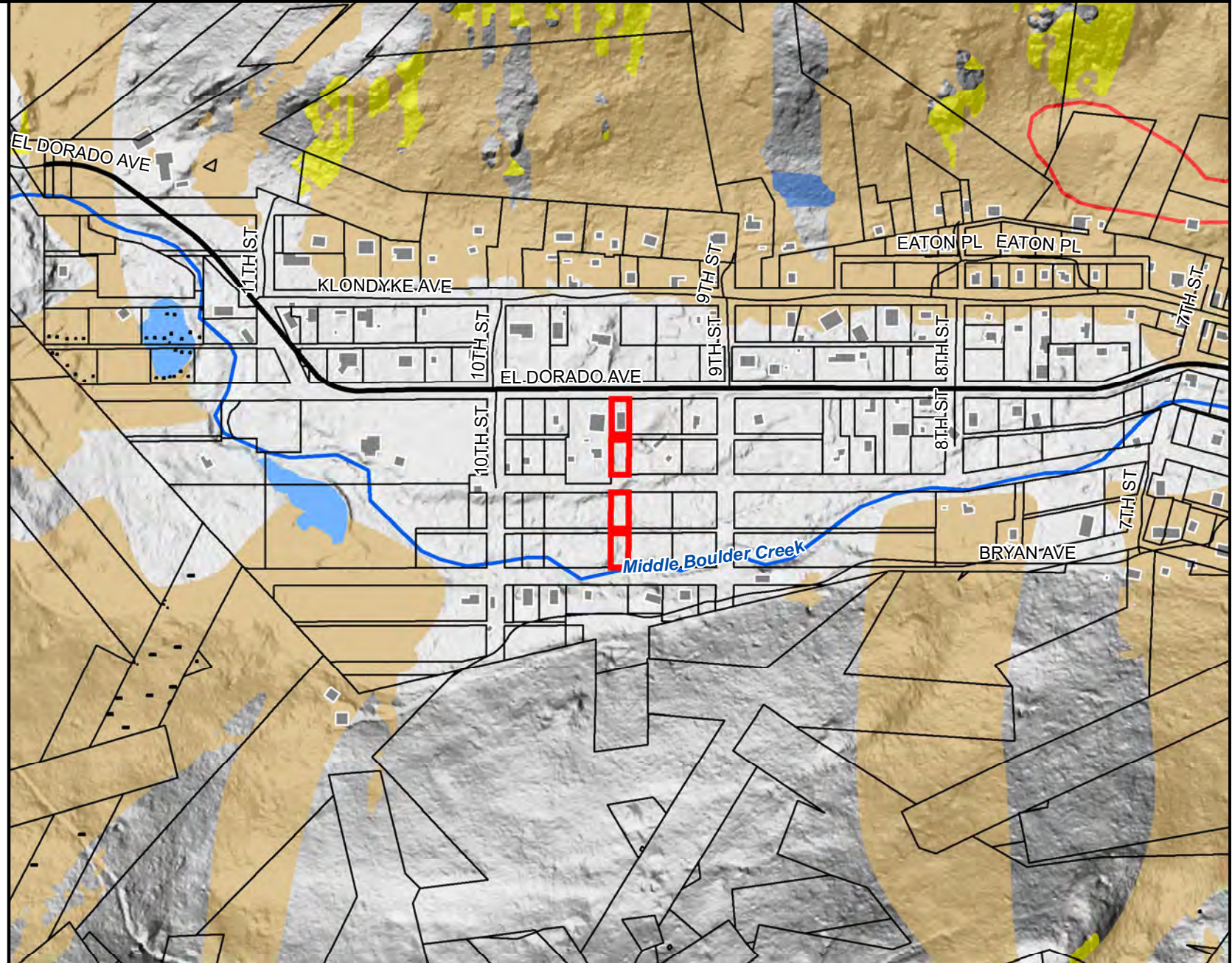
# Community Planning & Permitting

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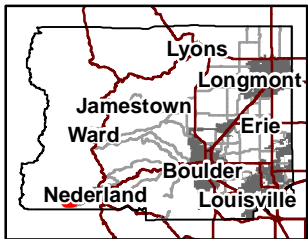
## Geologic Hazards

940 ELDORADO AVE & 0 BRYAN AVE

 Subject Parcel



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# Community Planning & Permitting

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## Planning Areas

### 940 ELDORADO AVE & 0 BRYAN AVE

Subject Parcel

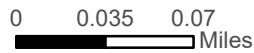
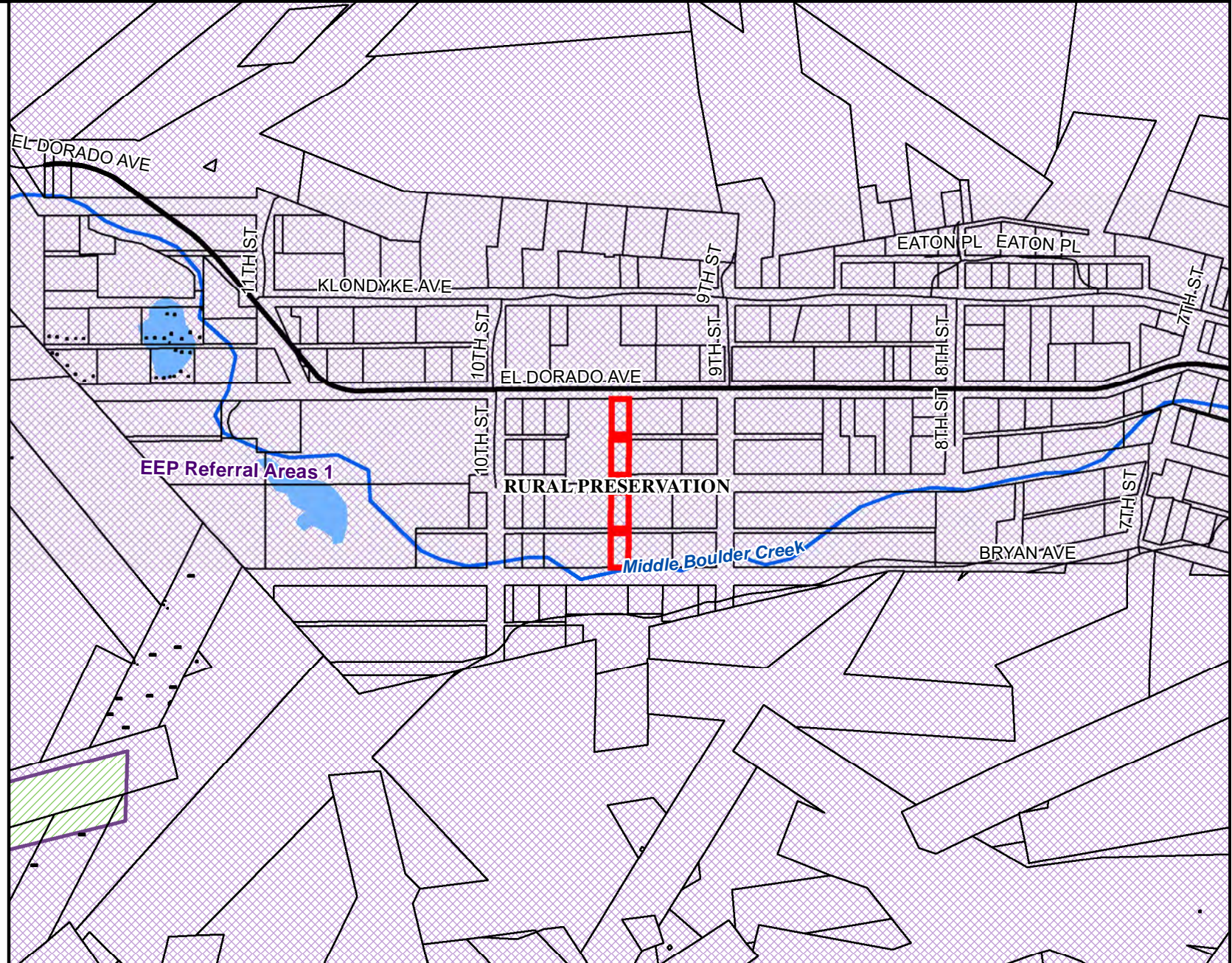
#### EEP Referral Area

EEP Referral Area 1

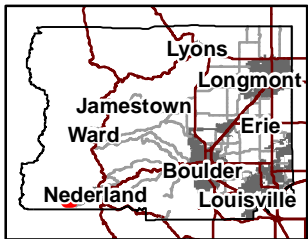
Active IGA Boundary

#### Active IGA Designation

RURAL PRESERVATION



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# Community Planning & Permitting

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## Public Lands & CEs

940 ELDORADO AVE & 0 BRYAN AVE

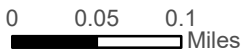
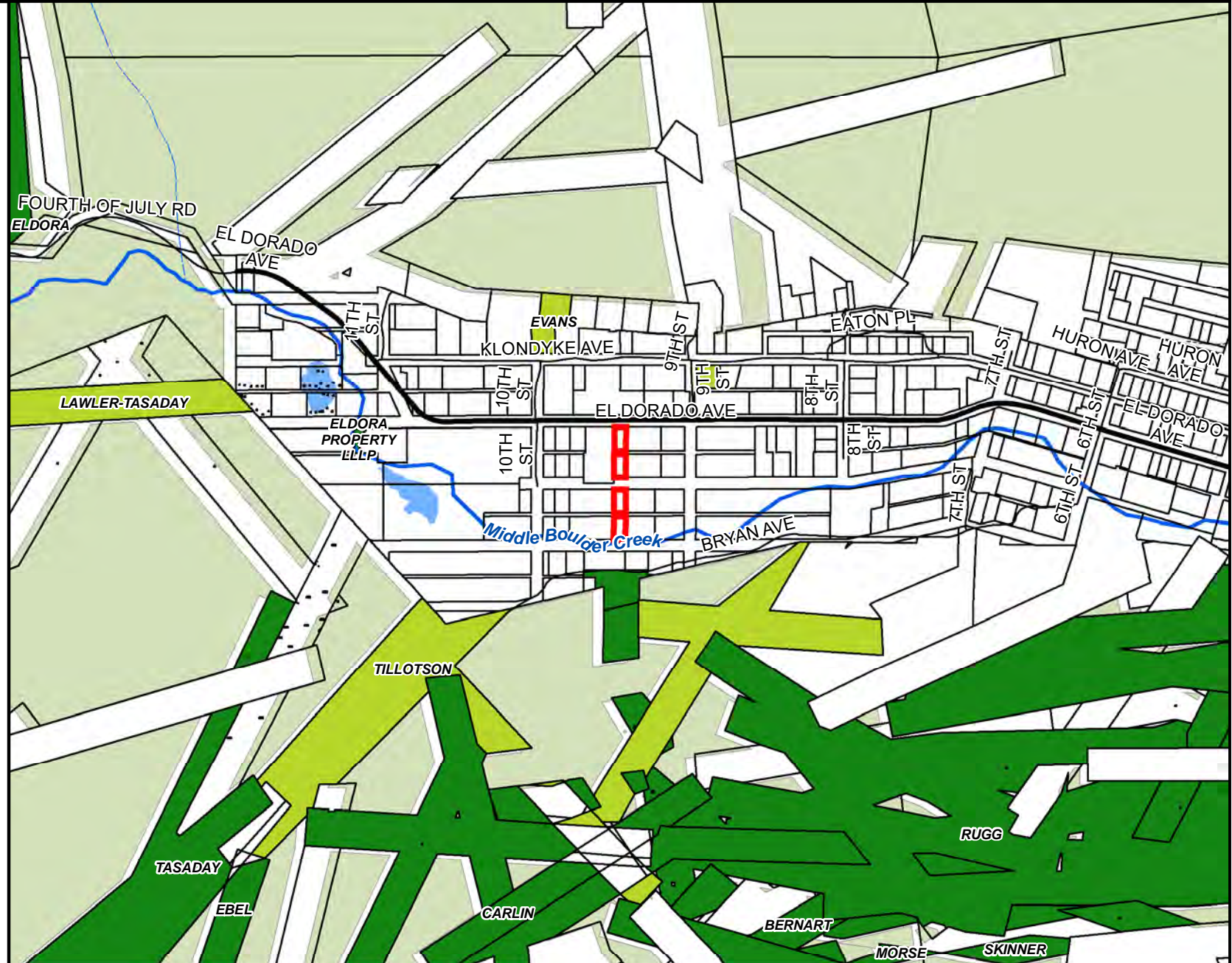
Subject Parcel

### Boulder County Open Space

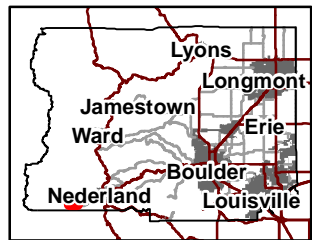
- County Open Space
- County Conservation Easement
- Other Open Space

### Federal Lands

- USFS Land



Area of Detail Date: 12/8/2023



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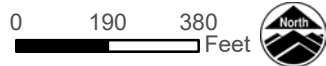
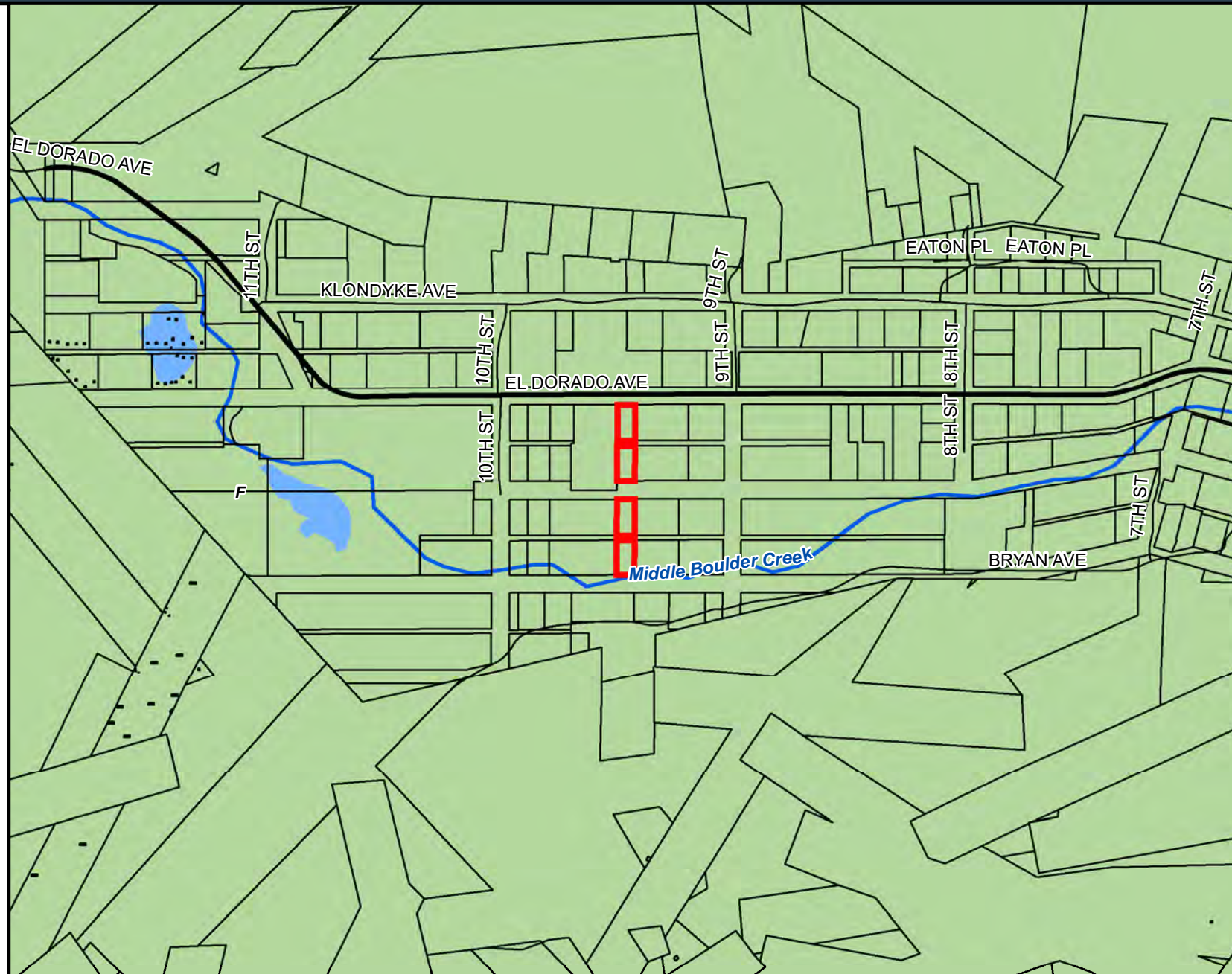
## Zoning

### 940 ELDORADO AVE & 0 BRYAN AVE

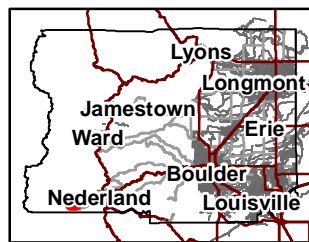
Subject Parcel

**Zoning Districts**

Forestry



Area of Detail Date: 12/8/2023



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V-23-0002

### Statement for Easement Vacation

The property of 940 Eldorado Avenue, Nederland, CO 80466 consists of two parcels R0026483 and R0026482. There is a single-family dwelling on the northernmost parcel. This property is the historic Eldora townsite.

The single-family dwelling is a rustic log cabin, first constructed in the early 1900s. There was an addition to the dwelling and septic system added circa 1950. The dwelling is contained within parcel R0026483.

The existing septic system is now in need of replacement.

The townsite of Eldora was initially platted with alleyways and avenues that were never developed. The parcels R0026483 and R0026482 each contain alleyways and avenues, going East/West configurations, that divide the property. Parcel R0026483 consists of Lots 11-12 & 37-38 within Block 40 Eldora. The undeveloped alleyway is between Lots 11-12 and 37-39. Parcel R0026482 consists of Lots 11-12 & 37-28 within Block 39 Eldora. The undeveloped alleyway is between Lots 11-12 and 37-39. The parcels are bordered by the developed Eldorado Avenue on the North, divided by the undeveloped Spencer Avenue, and bordered by the undeveloped Bryan Avenue on the South. There are no North/South easements at issue.

On this property, Bryan Avenue is roughly the streambed for Upper Middle Boulder Creek and Spencer Avenue is roughly the 500-year flood plain. There is no anticipated development for either avenue and the undeveloped alleyways based upon several factors, including but limited to current use, historical use, topography, terrain, flood plain designation, and suitability.

The existing septic system extends from the cabin in North/South configuration within parcel R0026483. It is located within and extends through the undeveloped alley easement between Lots 11-12 and 37-39 that divides parcel R0026483. The existing leech field may extend to the south into the undeveloped Spencer Avenue easement.

The purpose of the easement vacation is to remove the East/West alley and avenue easements within and bordering each parcel to facilitate the replacement of the septic system and leech field in accordance with and as authorized by current Boulder County code.

The East/West alley easements would be contained then be completely with the existing parcels. The undeveloped Spencer Avenue easement would be divided in half and assigned to the respective parcels (Northern half to parcel R0026483, Southern half to parcel R0026482). One-half of undeveloped Bryan Avenue easement (Northern half) would be assigned to the parcel R0026482.



Existing  
Tank





October 31, 2019

Project No. 677E

Bob Frick  
940 Eldorado Drive  
Nederland, CO 80466

Onsite Wastewater Treatment System Soils and Engineering Design  
940 Eldorado Drive  
Boulder, County Colorado

Mr. Frick,

ALL SERVICE septic, LLC performed a soils investigation and completed an onsite wastewater treatment system (OWTS) design for the subject residence. The property is located in Boulder County CO in an area where OWTSs are necessary. A well serves water to the property.

#### SITE CONDITIONS

There is a 2-bedroom residence existing on the subject property. There is no OWTS currently. The vegetation in the area of the STA consists of grasses with aspen and evergreen trees. The new STA area will not be used as a drive. The slope at the proposed STA is 5% to the northeast. The STA will be sized for 2 total bedrooms.

LAND USE – No land use changes will affect the performance of the OWTS. This includes drainages, vegetation, and proximity to current wells. The proposed current land use for the STA is a native area with no landscaping. There is no planned construction on the STA after installation.

#### SUBSURFACE

The subsurface was investigated on August 30th 2019 by digging two soil profile test pit excavations (Test Pits). A visual and tactile analysis of the soils were performed at approximately 4 -feet below grade.

The materials encountered in the Test Pit #1 consisted of brown, sandy soil to 8-inches, underlain by loamy sand, moderate and granular, 40% rocks to 6.5 feet, underlain by highly fractured weathered bedrock at about 8 feet, the maximum depth explored.

The materials encountered in the Test Pit #2 consisted of brown, sandy soil to 12- inches, underlain by loamy sand, moderate and granular, 40% rocks to 6.5 feet, the maximum depth explored. No groundwater was encountered.

**A long term acceptance rate (LTAR) of 0.8 gallons per square foot, will be used to design the OWTS, in accordance with Soil Type R - 0, as outlined in County On-Site Wastewater Treatment System Regulations.**

#### DESIGN SPECIFICATIONS

The OWTS design is based on 2 bedrooms and 300 gallons per day proposed.

Design Calculations  
300 gallons/day

$300 / \text{LTAR } .8 = 375 \text{ SF (TL1 treatment) Soils Type R - 0}$   
Pressure Bed with Chambers (x 1.0) = 375 SF

Proposed 32 chambers in 1 over-excavated bed = 384 SF. Chambers placed on 3.0 feet secondary sand.

Install a POLY IM SERIES 1000 gallon 2-compartment septic tank, followed by a 500 gallon poly septic tank. Risers and lids to grade. An Orenco pump (PF3005) with a 12" diam filter cartridge should be installed in the 500 gallon tank. The tanks must be approximately 1 foot below grade with a maximum of 3 feet. Pump must serve 26.6 GPM and 11.2 TDH. The tank and the STA should be not constructed in the driveway.

*Float Settings:*

*On / Off Floats must have 12" separation. The high water level alarm float should be 3" above top 'on' float. This setting will deliver a dose of approximately 80 gallons.*

Pump calculations are attached. Effluent will be dosed to the STA through a 2" discharge pipe, to drain after each dose, and serve 1.5" diam suspended laterals under chambers. The laterals must have 5/32" holes on 3.0 foot centers facing up, with two holes down for drainage. Each lateral must end in a 90 degree long sweep elbow facing up with a ball valve for flushing in a valve box, accessible from grade. An observation port is required at each corner of bed.

An S1 Orenco Control Panel with audible and visual alarm, elapsed time meter, and dose counter must accompany the specified P Series Orenco pump.

The component manufacturers are typical of applications used by contractors and engineers in this area. Alternatives may be considered or recommended by contacting our office. Construction must be to County Land Use Regulations, and On-Site Wastewater Treatment System Regulations, the OWTS Permit provided by the County, and this design.

## REVEGETATION REQUIREMENTS

An adequate layer of good quality topsoil capable of supporting revegetation shall be placed over the entire disturbed area of the OWTS installation. A mixture of native grass seed that has good soil stabilizing characteristics (but without taproots), provides a maximum transpiration rate, and competes well with successional species. No trees or shrubs, or any vegetation requiring regular irrigation shall be placed over the STA. Until vegetation is reestablished, erosion and sediment control measures shall be implemented and maintained on site. The owner of the OWTS shall be responsible for maintaining proper vegetation cover.

## OPERATION INFORMATION AND MAINTENANCE

The property owner shall be responsible for the operation and maintenance of each OWTS servicing the property. The property owner is responsible for maintaining service contracts for manufactured units, alternating STAs, and any other components needing maintenance.

Geo-fabrics or plastics should not be used over the absorption area. No heavy equipment, machinery, or materials should be placed on backfilled STAs. Livestock should not graze on the STA. Plumbing fixtures should be checked to ensure that no additional water is being discharged to OWTS. For example, a running toilet or leaky faucet can discharge hundreds of gallons of water a day and harm a STA.

The homeowner should pump the septic tank every two years, or as needed gauged by measurement of solids in the tank. Garbage disposal use should be minimized, and non-biodegradable materials should not be placed into the OWTS. Grease should not be placed in household drains. Loading from a water softener should not be discharged into the OWTS. No hazardous wastes should be directed into the OWTS. Mechanical room drains should not discharge into the OWTS. The OWTS is engineered for domestic waste only.

### ADDITIONAL CONSTRUCTION NOTES

If design includes a pump, air release valves and weep holes must be installed to allow pump lines to drain to minimize risk of freezing. The pump shall have an audible and visual alarm notification in the event of excessively high water conditions and shall be connected to a control breaker separate from the high water alarm breaker and from any other control system circuits. The pump system shall have a switch so the pump can be manually operated. If bedrock is encountered our office should be contacted.

Excavation equipment must not drive in excavation of the STA due to the potential to compact soil. Extensions should be placed on all septic tank components to allow access to them from existing grade. Backfill over the STA must be uniform and granular with no material greater than minus 3-inch.

### INSTALLATION OBSERVATIONS

ALL SERVICE septic, LLC must view the OWTS during construction. The OWTS observation should be performed before backfill, after placement of OWTS components. Septic tanks, distribution devices, pumps, dosing siphons, and other plumbing, as applicable, must also be observed. ALL SERVICE septic, LLC should be notified 48 hours in advance to observe the installation.

### LIMITS:

The design is based on information submitted. If soil conditions encountered are different from conditions described in report, ALL SERVICE septic, LLC should be notified. All OWTS construction must be according to the county regulations. Requirements not specified in this report must follow applicable county regulations. The contractor should have documented and demonstrated knowledge of the requirements and regulations of the county in which they are working. Licensing of Systems Contractors may be required by county regulation

Sincerely,

ALL SERVICE septic, LLC



Timothy R. Petz

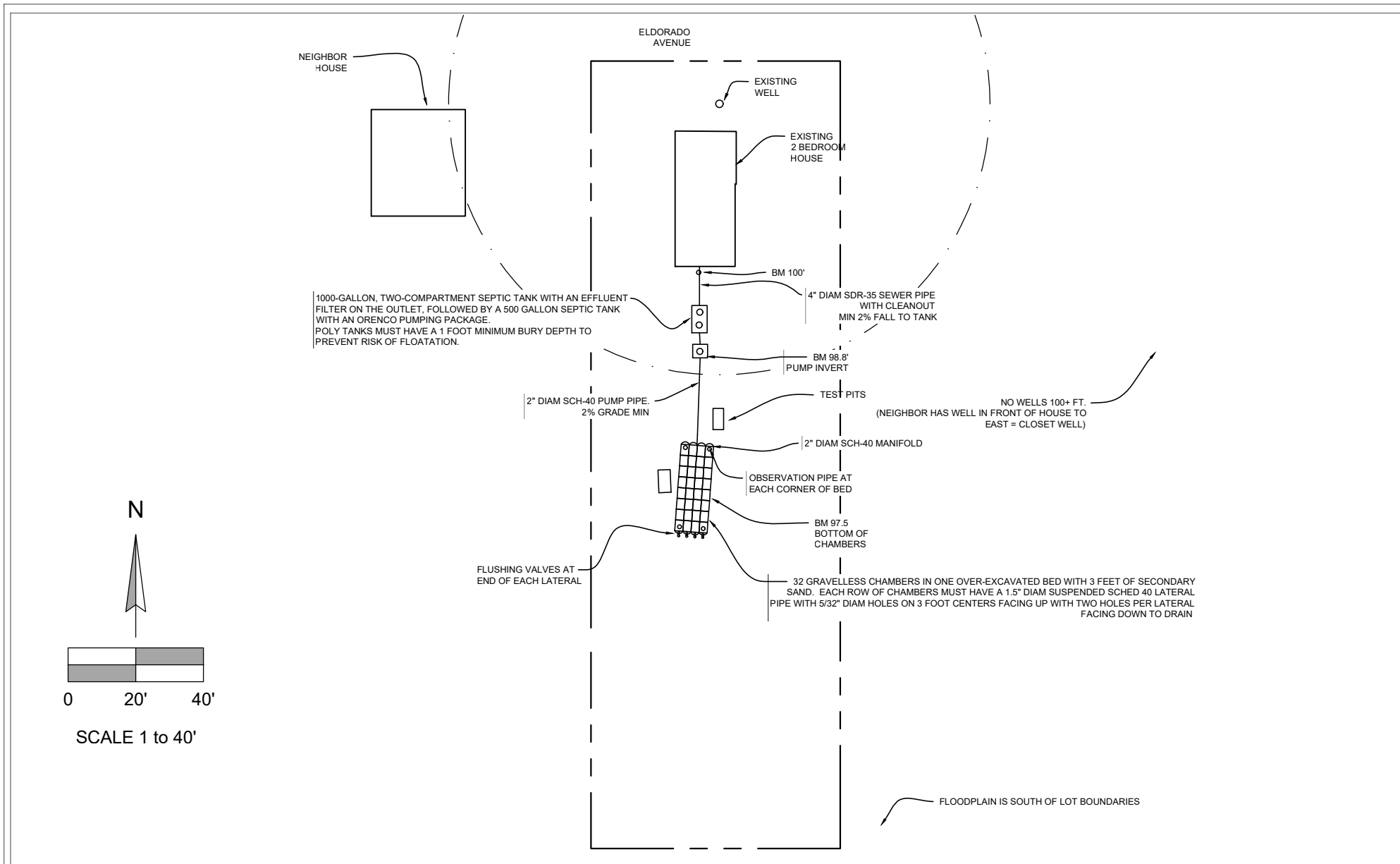
Reviewed By:



Richard H. Petz, P.E.



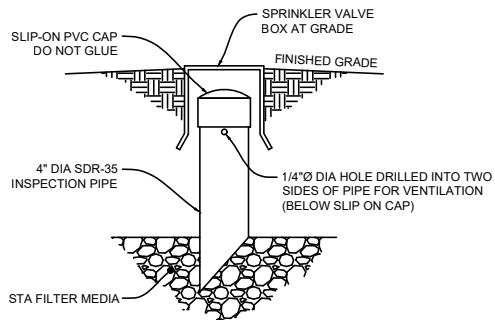
10.31.19



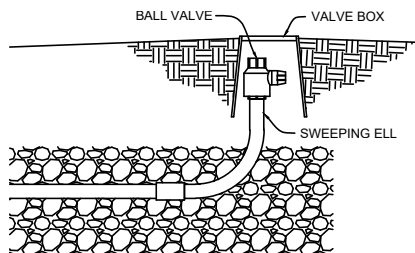
[www.allserviceseptic.com](http://www.allserviceseptic.com)  
Phone: 303.908.7823

**940 Eldorado Drive**  
**Frick Residence**  
**Boulder County, Colorado**  
**677E**

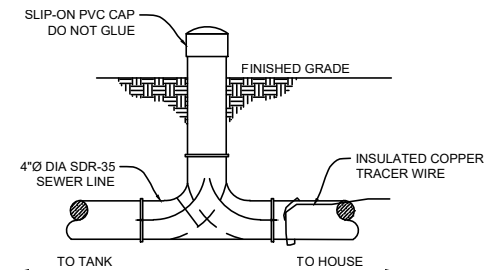
**W1**  
1 of 5



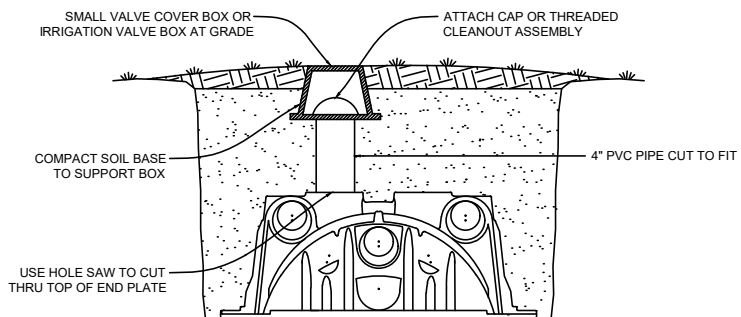
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NTS



1 FLUSHING VALVE  
NTS



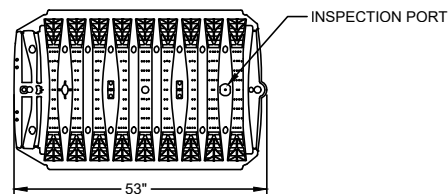
1 CLEANOUT DETAIL  
NTS



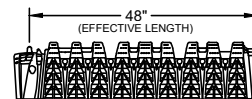
2 CHAMBER DETAILS W/ COVER BOX  
NTS

**INFILTRATOR WATER TECHNOLOGIES  
QUICK4 PLUS STANDARD CHAMBER  
PRODUCT SPECIFICATION  
(NOT TO SCALE)**

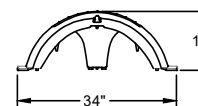
TOP VIEW



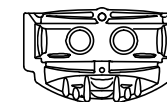
SIDE VIEW



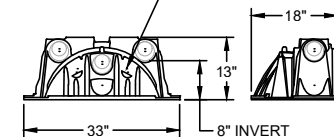
END VIEW



QUICK4 PLUS ALL-IN-ONE 12 END CAP



PRESSURIZED PIPE DRILL POINTS LOCATIONS (2 PLACES)



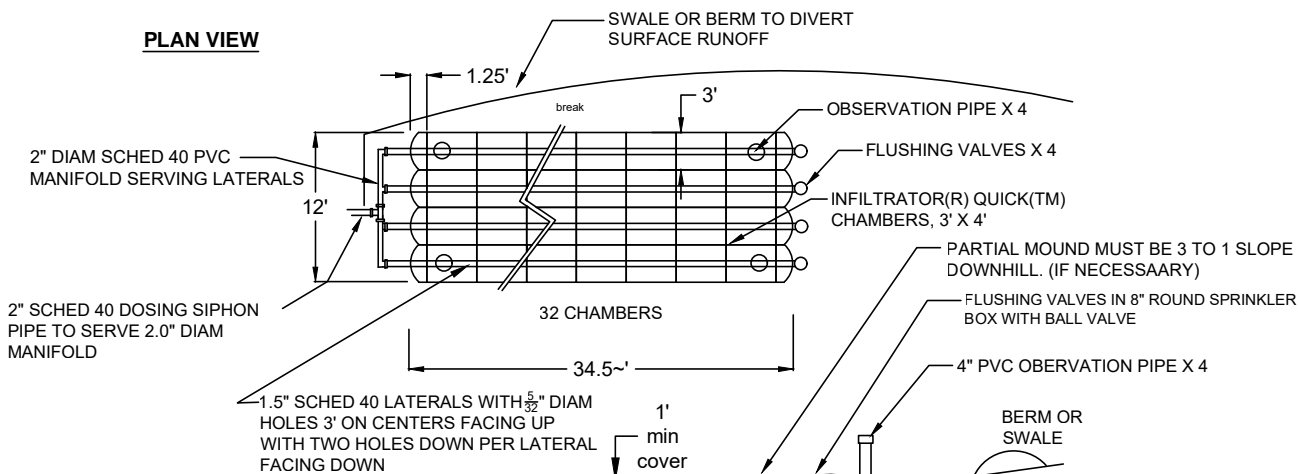
[www.allserviceseptic.com](http://www.allserviceseptic.com)  
Phone: 303.908.7823

940 Eldorado Drive  
Frick Residence  
Boulder County, Colorado  
677E

W2  
2 of 5



**PLAN VIEW**



**CROSS SECTION**

REVEGETATE DRAIN SLOPE FOR DRAINAGE FIELD SURFACE

SAND FILTER MATERIAL	
SIEVE	%PASSING
3/8"	100
4"	95/100
8"	80/100
16"	45/85
30"	25/60
50"	15/60
100"	0/4
200"	0/2

CHAMBER PLAIN VIEW & CROSS VIEW  
NTS

**CALCULATIONS**

2 BEDROOM RESIDENCE = 300  
GALS/PER/DAY  
TREATMENT LEVEL = TL1

APPLICATION RATE = 0.8 GPD/SF  
AREA = 300 / 0.8 SF

CHAMBERS  
FOUR ROWS OF 8 CHAMBERS = 32  
CHAMBERS

TOTAL AREA PROPOSED = 384 SF  
PROPOSED NUMBER OF CHAMBERS  
(12 sqft each) = 32

SOIL TYPE = R - 0  
ALLUVIUM - LOAMY SAND, GRANULAR  
AND WEAK.

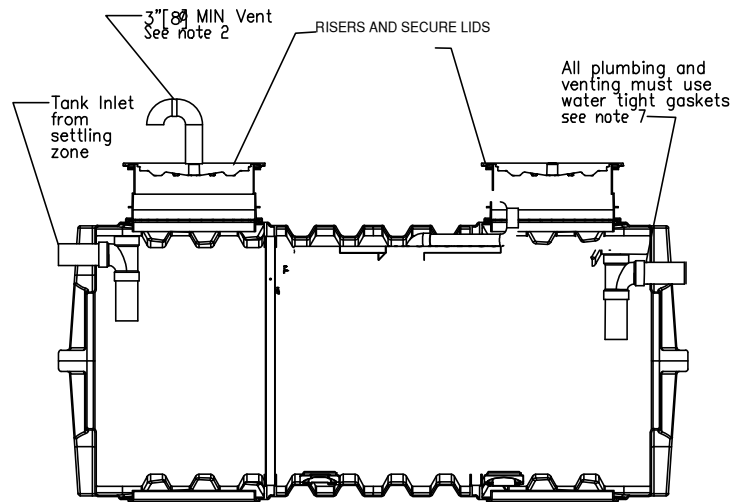
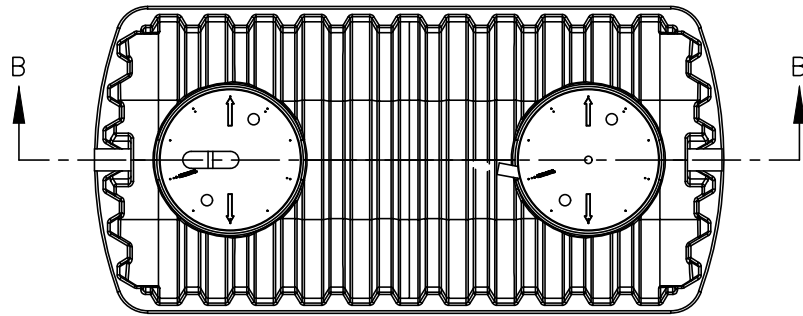
3 ft. SECONDARY SAND FILTER  
MATERIAL MUST BE USED FOR FILTER  
MATERIAL.



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Phone: 303.908.7823

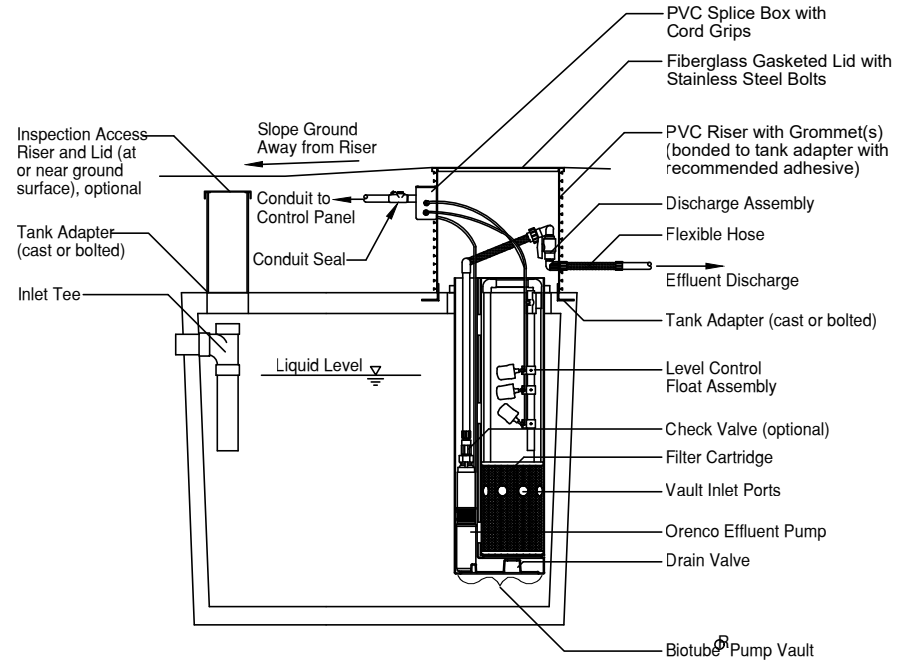
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677E

W3  
3 of 5



Treatment Volume  
1060 Gallons  
(4000 L)

1000-GALLON, TWO COM POLY  
NTS



EFFLUENT PUMPING SYSTEM - 500 GALLON PUMP TANK  
NTS



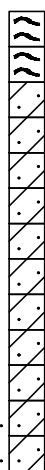
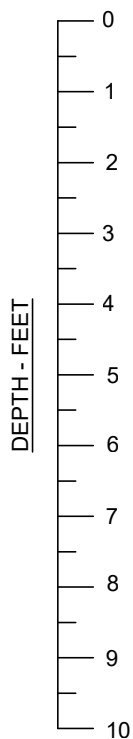
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677E

W4  
4 of 5

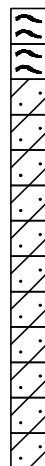
SOIL PROFILE TEST PIT NO. 1

SOIL PROFILE TEST PIT NO. 2



SANDY LOAM WITH ROOTS.

40% Rock  
SOILS TYPE R-0  
LOAMY SAND TYPE 1 MATRIX  
LOAMY SAND, WITH LARGE  
ROUNDED BOULDERS.



SANDY LOAM TOPSOIL WITH  
ROOTS, WEAK AND  
GRANULAR

40% Rock  
SOILS TYPE R-0  
LOAMY SAND TYPE 1 MATRIX  
LOAMY SAND, WITH LARGE  
ROUNDED BOULDERS.

GROUNDWATER: NONE

3 SOIL PROFILE  
NTS



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Boulder County, Colorado  
677E

W5  
5 of 5

# Pump Selection for a Pressurized System - Single Family Residence Project

677E / 940 Eldorado

## Parameters

Discharge Assembly Size	2.00	inches
Transport Length	60	feet
Transport Pipe Class	40	
Transport Line Size	2.00	inches
Distributing Valve Model	None	
Max Elevation Lift	5	feet
Manifold Length	9	feet
Manifold Pipe Class	40	
Manifold Pipe Size	2.00	inches
Number of Laterals per Cell	4	
Lateral Length	32	feet
Lateral Pipe Class	40	
Lateral Pipe Size	1.50	inches
Orifice Size	5/32	inches
Orifice Spacing	3	feet
Residual Head	4	feet
Flow Meter	None	inches
'Add-on' Friction Losses	0	feet

## Calculations

Minimum Flow Rate per Orifice	0.61	gpm
Number of Orifices per Zone	44	
Total Flow Rate per Zone	26.6	gpm
Number of Laterals per Zone	4	
% Flow Differential 1st/Last Orifice	0.4	%
Transport Velocity	2.6	fps

## Frictional Head Losses

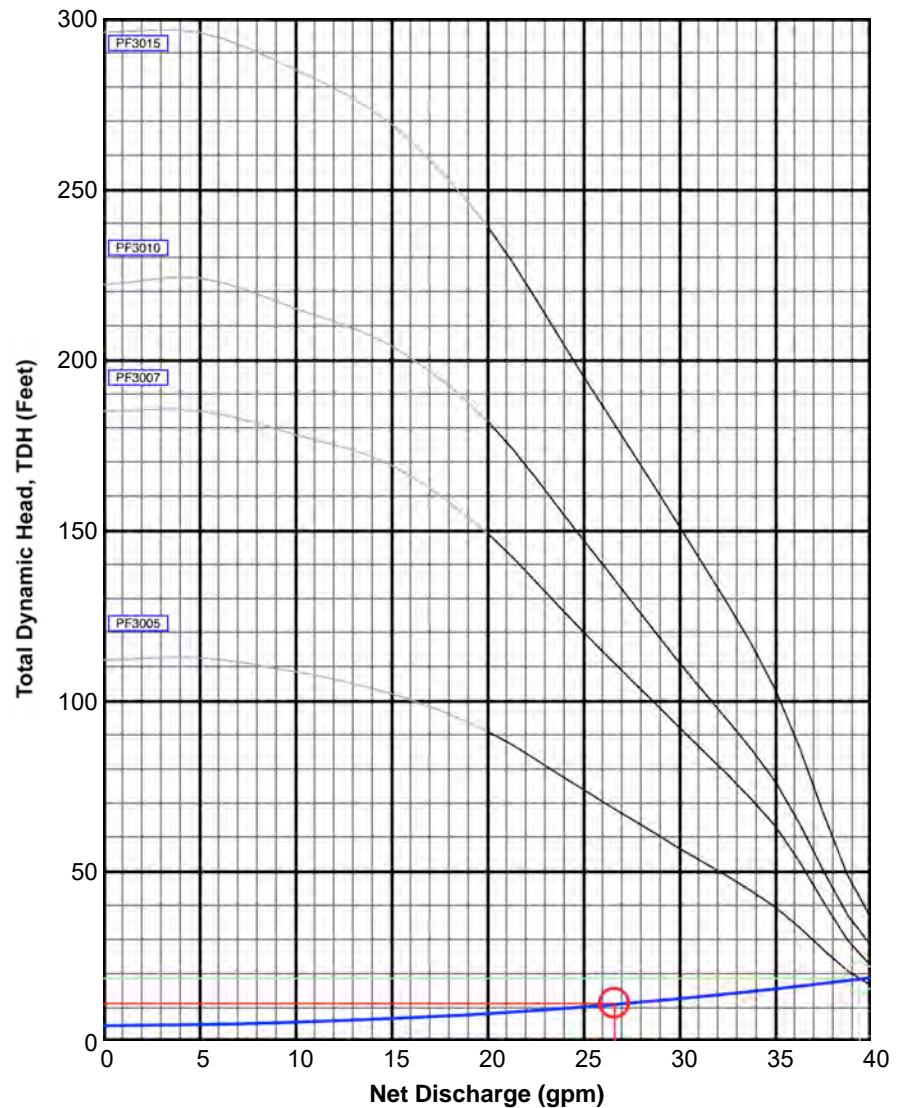
Loss through Discharge	1.4	feet
Loss in Transport	0.7	feet
Loss through Valve	0.0	feet
Loss in Manifold	0.0	feet
Loss in Laterals	0.0	feet
Loss through Flowmeter	0.0	feet
'Add-on' Friction Losses	0.0	feet

## Pipe Volumes

Vol of Transport Line	10.5	gals
Vol of Manifold	1.6	gals
Vol of Laterals per Zone	13.5	gals
Total Volume	25.6	gals

## Minimum Pump Requirements

Design Flow Rate	26.6	gpm
Total Dynamic Head	11.2	feet



## PumpData

PF3005 High Head Effluent Pump  
30 GPM, 1/2HP  
115/230V 1Ø 60Hz, 200V 3Ø 60Hz

PF3007 High Head Effluent Pump  
30 GPM, 3/4HP  
230V 1Ø 60Hz, 200/460V 3Ø 60Hz

PF3010 High Head Effluent Pump  
30 GPM, 1HP  
230V 1Ø 60Hz, 200/460V 3Ø 60Hz

PF3015 High Head Effluent Pump  
30 GPM, 1-1/2HP  
230V 1Ø 60Hz, 200/230/460V 3Ø 60Hz

## Legend

System Curve:	—
Pump Curve:	—
Pump Optimal Range:	—
Operating Point:	○
Design Point:	○





# IM-SERIES SEPTIC TANKS

## IM-540 • IM-1060 • IM-1530



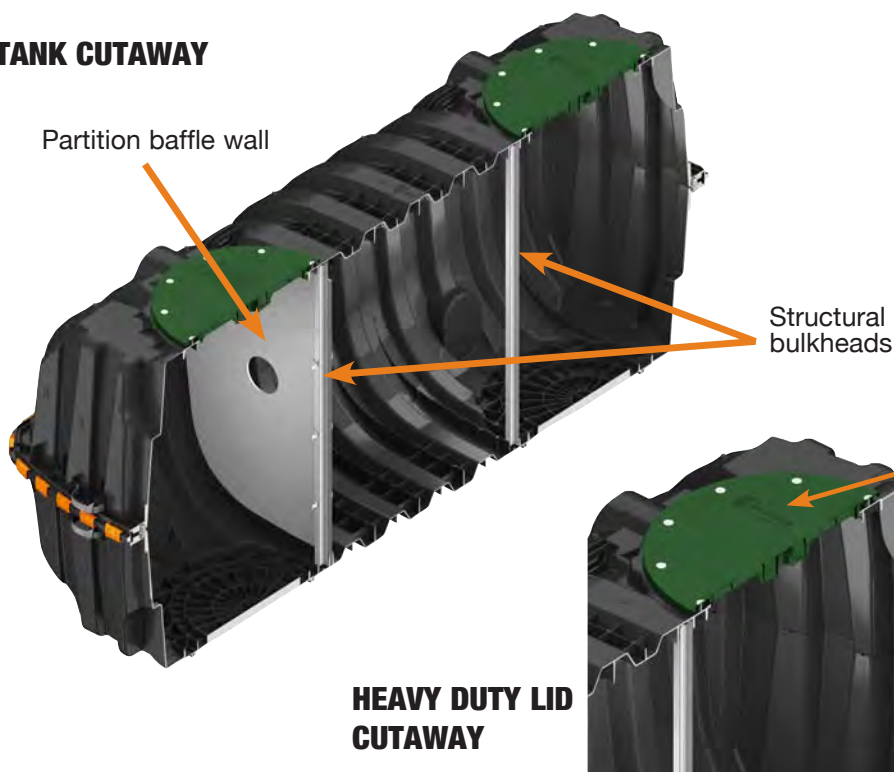
IM-1060

The Infiltrator IM-Series septic tanks are lightweight, strong and durable. This watertight tank design is offered with Infiltrator's line of custom-fit risers and heavy-duty lids. Infiltrator injection molded tanks provide a revolutionary improvement in plastic septic tank design, offering long-term exceptional strength and watertightness. Available in 475 gallon, 1094 gallon and 1537 gallon working capacity tanks.

### Features & Benefits

- Strong injection molded polypropylene construction
- Lightweight plastic construction and inboard lifting lugs allow for easy delivery and handling
- Integral heavy-duty green lids that interconnect with TW™ risers and pipe riser solutions
- Can be pumped dry during pump-outs
- Can be installed with 6" to 48" of cover
- Structurally reinforced access ports eliminate distortion during installation and pump-outs
- Reinforced structural ribbing offers additional strength
- Suitable for use as a pump tank or rainwater (non-potable) tank
- No special installation, backfill or water filling procedures are required

### TANK CUTAWAY



### MID-SEAM CUTAWAY



Infiltrator TW Riser System

Reinforced 24" structural access port



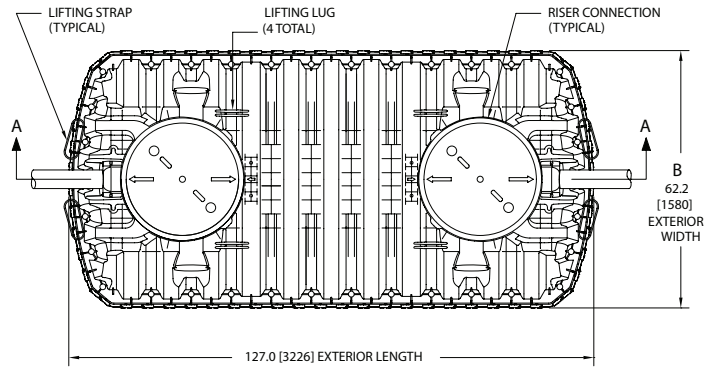
**INFILTRATOR**  
systems inc.

# IM-Series Septic Tanks

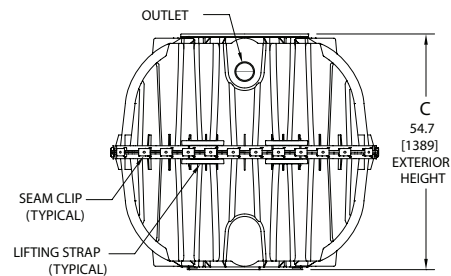
## General Specifications and Illustrations

The IM-Series septic tanks are an injection molded two piece mid-seam plastic tank. The IM-Series tanks are injection molded plastic design allows for a mid-seam joint that has precise dimensions for accepting an engineered EPDM gasket. Infiltrator's gasket design utilizes technology from the water industry to deliver proven means of maintaining a watertight seal.

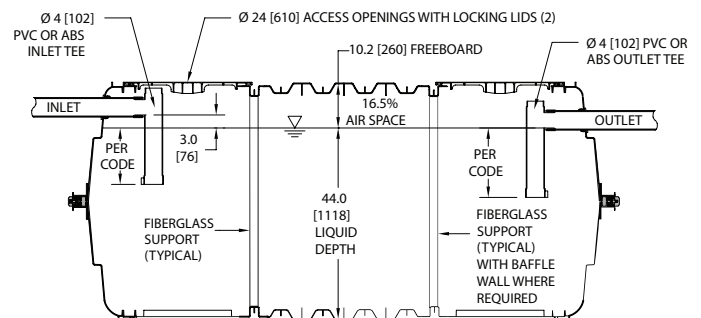
The two-piece design is permanently fastened using a series of non-corrosive plastic alignment dowels and locking seam clips. The IM-Series tanks are assembled and sold through a network of certified Infiltrator distributors.



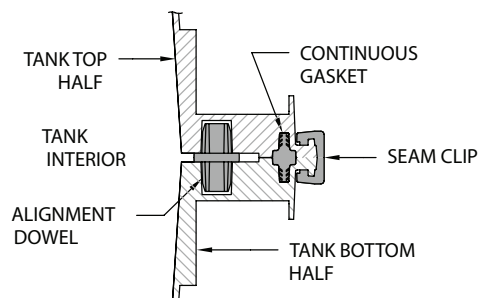
TOP VIEW



END VIEW



SIDE VIEW



MID-HEIGHT SEAM SECTION

### IM-Series Septic Tank Series

Parameter	IM-540	IM-1060	IM-1530
Working Capacity	475 gal (1799L)	1094 gal (4141 L)	1537 gal (5818 L)
Total Capacity	552 gal (2089 L)	1287 gal (4872 L)	1787 gal (6765 L)
Airspace	16.2%	16.5%	16.9%
Length (A)	64.9" (1648 mm)	127" (3226 mm)	176" (4460 mm)
Width (B)	61.7" (1567 mm)	62.2" (1580 mm)	62" (1567 mm)
Length-to-Width Ratio	1.1 to 1	2.3 to 1	2.8 to 1
Height (C)	54.6" (1387 mm)	54.7" (1389 mm)	55" (1384 mm)
Liquid Level	44" (1118 mm)	44" (1118 mm)	44" (1118 mm)
Invert Drop	3" (76 mm)	3" (76 mm)	3" (76 mm)
Fiberglass Supports	0	2	4
Compartments	1	1 or 2	1 or 2
Maximum Burial Depth	48" (1219 mm)	48" (1219 mm)	48" (1219 mm)
Minimum Burial Depth	6" (152 mm)	6" (152 mm)	6" (152 mm)
Maximum Pipe Diameter	4" (100 mm)	6" (152 mm)	4" (100 mm)
Weight	169 lbs (77 kg)	320 lbs (145 kg)	501 lbs (228 kg)



**INFILTRATOR**  
systems inc.

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**1-800-221-4436**  
[www.infiltratorsystems.com](http://www.infiltratorsystems.com)

U.S. Patents: 4,759,661; 5,017,041; 5,156,488; 5,336,017; 5,401,116; 5,401,459; 5,511,903; 5,716,163; 5,588,778; 5,839,844 Canadian Patents: 1,329,959; 2,004,564 Other patents pending. Infiltrator, Equalizer, Quick4, and SideWinder are registered trademarks of Infiltrator Systems, Inc. Infiltrator is a registered trademark in France. Infiltrator Systems, Inc. is a registered trademark in Mexico. Contour, MicroLeaching, PolyTuff, ChamberSpacer, MultiPort, PosiLock, QuickCut, QuickPlay, SnapLock and StraightLock are trademarks of Infiltrator Systems, Inc. PolyLok is a trademark of PolyLok, Inc. TUF-TITE is a registered trademark of TUF-TITE, INC. Ultra-Rib is a trademark of IPEX Inc.

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IM31 0814

Contact Infiltrator Systems' Technical Services Department for assistance at 1-800-221-4436

# Infiltrator IM- and TW-Series Tank Buoyancy Control Guidance



## Before you Begin

This document presents recommended buoyancy control methods for Infiltrator Systems Inc.'s (Infiltrator's) IM- and TW-Series tanks. Tank buoyancy control methods must be implemented according to state and/or local regulations, which may supersede the guidelines in this document. If unsure of the requirements for a particular site, contact the local health department or permitting authority.

This document provides procedures to determine if tank buoyancy control is required based on site conditions. Please obtain the following information to determine if control is necessary and what methods are applicable:

- Infiltrator tank model
- Maximum height of water outside the tank and above the tank bottom elevation
- Depth of soil cover over the tank top

Once tank buoyancy control measures are determined to be required and a method has been selected and implemented, refer to Infiltrator IM- and TW-Series Tank Installation Instructions and Riser Connection Guidance documents, as applicable, for completing the installation.

## How to Use this Document

1. Become familiar with the descriptions in the Compatible Devices and Products section.
2. Verify that the water level outside the tank is below the outlet pipe saddle height using Step 1, Tables 1 and 2, and Figure 1.
3. Determine if buoyancy control is required using Step 1, Table 2. If buoyancy control is required, proceed to Step 2.
2. Use the respective table for the tank model from Step 2, Table 3 to determine the appropriate buoyancy control methods for the site conditions.
5. Once a preferred buoyancy control method is selected, follow the procedures for implementation provided in Step 3.

## Parts and Supplies

The parts and supplies necessary are to be purchased separately from the tank. All parts and supplies are either commercially available or available through Infiltrator's network of tank distributors. Some parts may require fabrication on site using common construction practices.

## Compatible Devices and Products

Infiltrator tanks are compatible with the following products for buoyancy control:

- **Tie-down straps:** high-tensile-strength webbing, 10,000 lb (4,500 kg) minimum capacity, nylon or polyester, with corrosion-resistant hardware.
- **Concrete deadmen anchors:** concrete-filled plastic half pipe, precast parking bumper, precast traffic barrier, or poured block.
- **Helical anchors:** Chance™ No-Wrench Screw Anchors with minimum 6-inch (150 mm) diameter, Class 7 or equal.

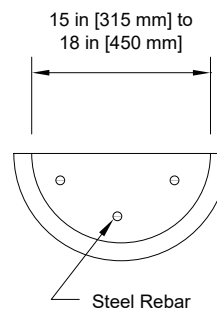
## Tie-Down Straps

Straps are commercially available in varying lengths and with assorted hardware and tightening options. Nylon or polyester strapping with minimum 10,000 lb (4,500 kg) capacity is required for buoyancy control use with Infiltrator tanks. Place straps up and over the tank at specified locations only (see Figure 5). Tighten straps snugly with a ratchet or turnbuckle system to remove all slack and slightly pre-load the system. All connections, fittings, and hardware must be corrosion resistant or coated with epoxy or other corrosion-resistant materials to inhibit deterioration in the subsurface environment. Consider encapsulating such components in heat-shrink tubing or painting on additional corrosion-resistant coatings prior to burial.



## Concrete Deadmen Anchors

Recommended concrete deadmen anchors include filled plastic half pipe, precast parking bumpers and traffic barriers, and poured blocks. The weight of the deadmen anchors combined with the weight of soil above them provides buoyancy control when properly secured. Deadmen anchors are placed at the bottom of the tank excavation on opposite sides of the tank. The deadmen anchors are fastened to each other with tie-down straps placed up and over the tank at the locations specified for each tank model (see Figure 5).

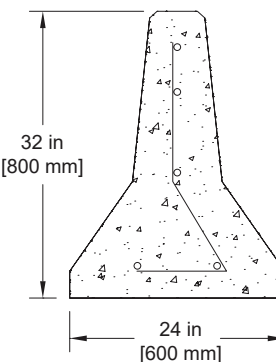
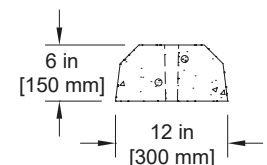


## Concrete-filled plastic half pipe

Use Schedule 40 PVC plastic pipe having a minimum inside diameter of 15 inches (375 mm) or HDPE corrugated pipe having a minimum inside diameter of 18 inches (450 mm) cut in half lengthwise. Fill with concrete having a minimum unit weight of 145 lbs/ft<sup>3</sup> (2.32 metric tons/m<sup>3</sup>) reinforced with three equally spaced 40-grade, 1/2-inch (13 mm) diameter steel bars. Weight is 61 lbs/ft (91 kg/m) minimum.

## Concrete parking bumper

Use commercially available steel-reinforced parking bumpers with typical dimensions of 12 inches wide by 6 inches high (300 mm x 150 mm). Weight is 58 lbs/foot (86 kg/m) minimum.



## Concrete traffic barrier

Use commercially available steel-reinforced concrete traffic barrier or equivalent. Typical dimensions include a 24-inch-wide base tapering to a 6-inch-wide top, with a height of approximately 32 inches (600 mm x 150 mm x 800 mm). Weight is 390 lbs/foot (580 kg/m) minimum.

## Poured Blocks

Concrete precasters can pour blocks of various dimensions and weights. Blocks are often an affordable option if they satisfy the weight requirements for use as buoyancy control (see Table 3 and the Supplemental Force section of Step 2 for more information).

## Helical Anchors

Chance™ No-Wrench Screw Anchors with a 6-inch (150 mm) diameter flight, Class 7, or equal. These anchors rely on the shear strength of the soil combined with the weight of the soil above the anchor flight to provide holding strength. Proper installation is to 4 feet (1.2 m) below the bottom of the tank excavation and to within 5° of alignment with the webbing load. Determine the proper locations for anchor installation to ensure that tie-down straps will be aligned properly for each tank model (see Step 3: Implementation), and follow anchor manufacturer installation instructions.

Typical working torque:  
 3/4" Rod 400 ft. lbs. (542 N·m)  
 1" Rod 1,000 ft. lbs. (1,356 N·m)  
 1 1/4" Rod 2,300 ft. lbs. (3,118 N·m)



## Step 1 – Determine Need for Buoyancy Control

Required information: the maximum height of water outside the tank and above the tank bottom AND the depth of soil cover above the tank top. Tank buoyancy control may be required if the water level outside the tank has the potential to rise 30 inches (750 mm) or more above the bottom of the tank, AND less than 12 inches (300 mm) of soil cover is to be placed as backfill over the tank top. Otherwise, no buoyancy control is required.

### Allowable Subsurface Water Elevation

Groundwater elevation, groundwater table, and water table are terms for the subsurface condition where water is held in the subsurface soil pores or rock. The seasonal high groundwater elevation represents the highest point the water table has the potential to reach at any time of the year, and is not necessarily the level at which groundwater may be observed seeping from the soil at the time of tank installation. In general, a qualified soil evaluator or engineer can estimate the seasonal high groundwater elevation from careful examination of the soil profile.

Under certain conditions, a perched water table may be present in the subsurface. A perched water table occurs where there is an impermeable or low-permeability soil that causes water to be present in the soil pores above the main water table. A perched water table elevation may exceed the seasonal high elevation of the main water table. The vertical position of the tank must account for both the seasonal high groundwater table and any existing or future perched water table condition. **Verify that the subsurface water level will not exceed the height of the outlet pipe saddle of the tank, as show in Tables 1 and 2, and Figure 1.**

### Table 2 Instructions

1. In the left-hand column of Table 2, locate the row corresponding to the height of the water elevation outside the tank and above the tank bottom (Parameter I) for the site conditions. See Figure 2.
2. Follow that row to the right until reaching the column corresponding to the depth of soil cover proposed above the tank top (Parameter II). See Figure 2.
3. If the tank model is described in that cell, then buoyancy control is required as described for the tank (proceed to Step 2). If the tank model is not listed in that cell, then no buoyancy control is required.
4. The tank shall not be installed where the water level outside the tank exceeds the height of the outlet pipe saddle. Follow guidelines in Tables 1 and 2.

**Table 2: Infiltrator tank models<sup>1</sup> and conditions requiring buoyancy control**

Parameter I: Water height <sup>2</sup> above tank bottom		Parameter II: Soil cover depth above tank top <sup>3</sup>	
		A	B
		6 in (150 mm) to 12 in (300 mm)	Above 12 in (300mm)
1	Above outlet pipe saddle <sup>4</sup>	Do not install	Do not install
2	36" (900 mm) to outlet pipe saddle	All models	None
3	30" (750 mm) to 36" (900 mm)	All models except IM-540 and IM-1060	None
4	Less than 30" (750 mm)	None	None

#### NOTES:

1. Infiltrator tank models include: IM-540, IM-1060, TW-1250, TW-1500 and IM-1530.
2. Water height corresponds to seasonal high groundwater elevation or perched water elevation measured from bottom-of-tank elevation.
3. Minimum 6 inches soil cover backfill required above all Infiltrator tanks.
4. The tank shall not be installed where the water level outside the tank exceeds the height of the outlet pipe saddle. Follow Table 1 guidelines.

### Design Example

A contractor plans to install an IM-1060 tank where the water level outside the tank has the potential to rise to 37 inches (940 mm) above the tank bottom (Parameter I), and the design plan calls for 8 inches (200 mm) of soil cover above the top of the tank (Parameter II). In Step 1, Table 2, a 37-inch (940-mm) exterior water height corresponds to row 2 (36 inches [900 mm] to outlet pipe saddle) under Parameter 1. The 8-inch (200-mm) soil cover corresponds to column A (6 inches [150 mm] to 12 inches [300 mm]) under Parameter II in Table 2. At the intersection of Parameter I, row 2 and Parameter II, column A, Cell 2A indicates "All models", meaning all tank models, including the IM-1060, require buoyancy control under these conditions. Referring to Step 2, Table 3, under the IM-1060 heading, Case 1 would apply for 37 inches (940 mm) of water above the bottom of tank and 8 inches (200 mm) of soil cover. Available options are as follows (see specific strapping and construction information under Step 3):

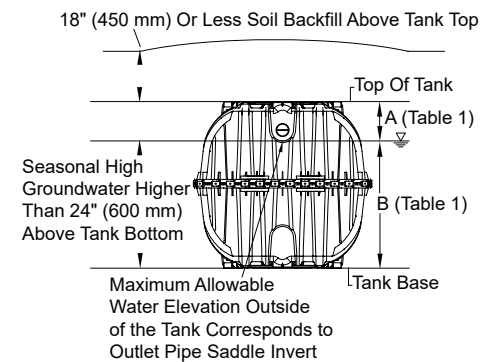
- If concrete block is specified to anchor the IM-1060, the total combined minimum weight of blocks placed on each side of the tank shall be 2,700 pounds (1,225 kg). The size and shape can be determined by locally available materials. Connect using two straps.
- For concrete-filled half pipe and concrete traffic barrier, the minimum length on each side of the tank would be 4.2 feet (1.3 m), while at least 4.5 feet (1.4 m) of concrete parking bumper would be required. These controls would be connected with two straps, ensuring that the control extends a minimum of 6 inches (150 mm) beyond the strap positions (see Figure 3).
- If helical anchors were selected, a minimum of two 6-inch (150 mm) diameter anchors per side of tank (4 total) would be installed using two straps.

**Table 1: Maximum Allowable Subsurface Water Elevation**

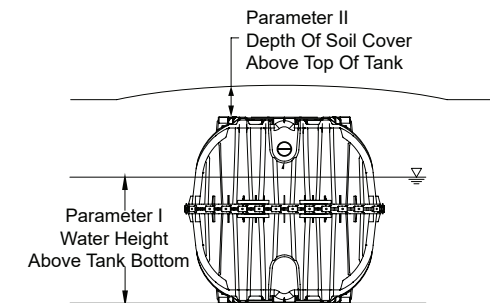
Tank Model	Vertical Distance to Maximum Allowable Water Elevation Outside of Tank	
	A - From Top of Tank	B - From Tank Base
IM-Series <sup>1</sup>	13" (330 mm)	43" (1,075 mm)
TW-Series <sup>2</sup>	11" (280 mm)	39" (975 mm)

1. IM-Series tanks include the IM-540, IM-1060 and IM-1530.
2. TW-Series tanks include the TW-1250 and TW-1500.

**Figure 1: Water Elevation**



**Figure 2: Buoyancy Control Parameters**



**Table 2: Infiltrator tank models and conditions requiring buoyancy control**

Parameter I: Water height above tank bottom		Parameter II: Soil cover depth above tank top	
		A	B
		6 in (150 mm) to 12 in (300 mm)	Above 12 in (300 mm)
1	Above outlet pipe saddle	Do not install	Do not install
2	36 in (900 mm) to outlet pipe saddle	All models	None
3	30 in (750 mm) to 36 in (900 mm)	All models except IM-540 and IM-1060	None
4	Less than 30 in (750 mm)	None	None



## Step 2 – Determine Buoyancy Control Method

Step 2 is used if the Step 1 analysis shows that buoyancy control is required for the tank model and the conditions of installation. As before, the maximum height of the water outside of the tank and above the tank bottom AND the depth of soil cover above the tank top must be known for the installation conditions to complete Step 2.

### Table 3 Instructions

For each tank model, find the Case row on the left side of the table that corresponds to both the water height (Parameter I) and soil cover measurements (Parameter II) for the tank installation conditions. Follow the row to the right for a listing of the appropriate buoyancy control methods for the installation conditions under each method description column. Refer to the Compatible Devices and Products and Step 3 – Implementation sections of this document for additional information.

**Table 3: Buoyancy Control Selection**

Case	Parameter I: Water height above tank bottom	Parameter II: Soil cover depth above tank top	Minimum supplemental force required <sup>1</sup> (total, both tank sides)	Buoyancy Control Methods (minimum per side of tank)			
				Concrete-filled half pipe (min. length/side)	Concrete parking bumpers (min. length/side)	Concrete traffic barriers (min. length/side)	Helical anchors (min. no./side)
<b>IM-540</b>							
1	36 in (900 mm) to outlet pipe saddle <sup>2</sup>	6 in (150 mm) to 12 in (300 mm)	2,200 lbs (1,000 kg)	3.8 ft (1.2 m)	3.8 ft (1.2 m)	3.8 ft (1.2 m)	2
<b>IM-1060</b>							
1	36 in (900 mm) to outlet pipe saddle <sup>2</sup>	6 in (150 mm) to 12 in (300 mm)	2,700 lbs (1,225 kg)	4.2 ft (1.3 m)	4.5 ft (1.4 m)	4.2 ft (1.3 m)	2
<b>TW-1250</b>							
1	30 in (750 mm) to 36 in (900 mm)	6 in (150 mm) to 12 in (300 mm)	1,900 lbs (865 kg)	5.5 ft (1.7 m)	5.5 ft (1.7 m)	5.5 ft (1.7 m)	2
2	36 in (900 mm) to outlet pipe saddle <sup>3</sup>	6 in (150 mm) to 12 in (300 mm)	5,100 lbs (2,325 kg)	6.5 ft (2.0 m)	8.0 ft (2.4 m)	5.5 ft (1.7 m)	2
<b>TW-1500</b>							
1	30 in (750 mm) to 36 in (900 mm)	6 in (150 mm) to 12 in (300 mm)	3,000 lbs (1,365 kg)	7.7 ft (2.3 m)	7.7 ft (2.3 m)	7.7 ft (2.3 m)	2
2	36 in (900 mm) to outlet pipe saddle <sup>3</sup>	6 in (150 mm) to 12 in (300 mm)	6,700 lbs (3,050 kg)	8.5 ft (2.6 m)	10.5 ft (3.2 m)	7.7 ft (2.3 m)	2
<b>IM-1530</b>							
1	30 in (750 mm) to outlet pipe saddle <sup>3</sup>	6 in (150 mm) to 12 in (300 mm)	4,300 lbs (1,955 kg)	6.3 ft (2.0 m)	6.5 ft (2.0 m)	6.3 ft (2.0 m)	2

#### NOTES:

1. See Supplemental Force discussion below.
2. IM-Series outlet pipe saddle height is 43 inches (1,075 mm) above tank bottom.
3. TW-1250 and TW-1500 outlet pipe saddle height is 39 inches (975 mm) above tank bottom.

### Supplemental Force

The minimum supplemental downward force required is included in Table 3 to allow custom buoyancy control methods. These values include a factor of safety of 1.5 applied to the calculated force required to restrain the tank. Custom-designed buoyancy control methods shall consider saturated conditions. So long as buoyancy control is provided that supplies the minimum weight listed in the table (for poured-concrete blocks or other methods designed by third parties), the tanks will be stable for the water height outside the tank and above the tank bottom and corresponding soil cover conditions. All Infiltrator strapping and fastening recommendations would still apply for custom-designed buoyancy control methods. Contact Infiltrator's Technical Services Department with any questions regarding supplemental force requirements.

### Step 3 – Implementation

Effective buoyancy control of Infiltrator tanks requires careful preparation, thorough excavation, precise placement, secure strapping and proper backfilling, as described and illustrated below.

#### Excavation Requirements

It is recommended that the excavation width provide a minimum of 36 inches (900 mm) clearance beyond the tank on all sides when utilizing buoyancy control. This will allow sufficient space within the excavation to place deadmen anchors and fasten strapping. The excavation should provide a minimum of 48 inches (1,200 mm) when using Chance™ No-Wrench Screw Anchors to allow for room to properly install the screw anchors. The actual excavation size shall be determined by the installer. Refer to Infiltrator IM- and TW-Series Tank Installation Instructions for additional excavation procedures.

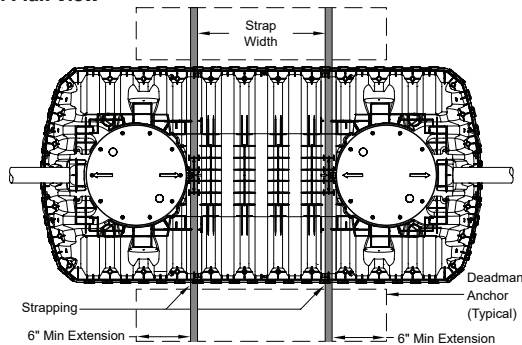
#### Concrete-filled Half Pipe Construction

Concrete-filled half pipe shall be supported with soil or other stabilizing means below the pipe haunches prior to concrete placement. The stabilization shall prevent the pipe from rolling during placement and curing of the concrete. Concrete shall be allowed to cure for a minimum of one day prior to tank backfilling.

#### Placement of Deadmen and Anchors

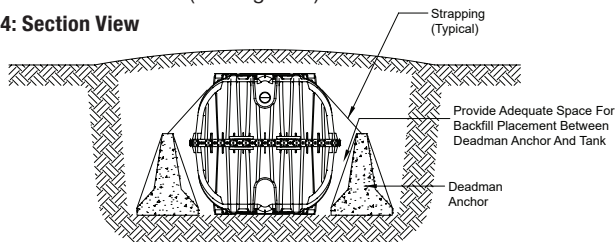
Concrete deadman anchors are to be installed at the bottom of the tank excavation, parallel to the long axis of the tank (see Figure 3).

Figure 3: Plan View



The deadmen should be placed close to, but not touching, the tank on both sides of the tank to allow the placement of backfill between the deadman anchor and tank sidewall (see Figure 4).

Figure 4: Section View

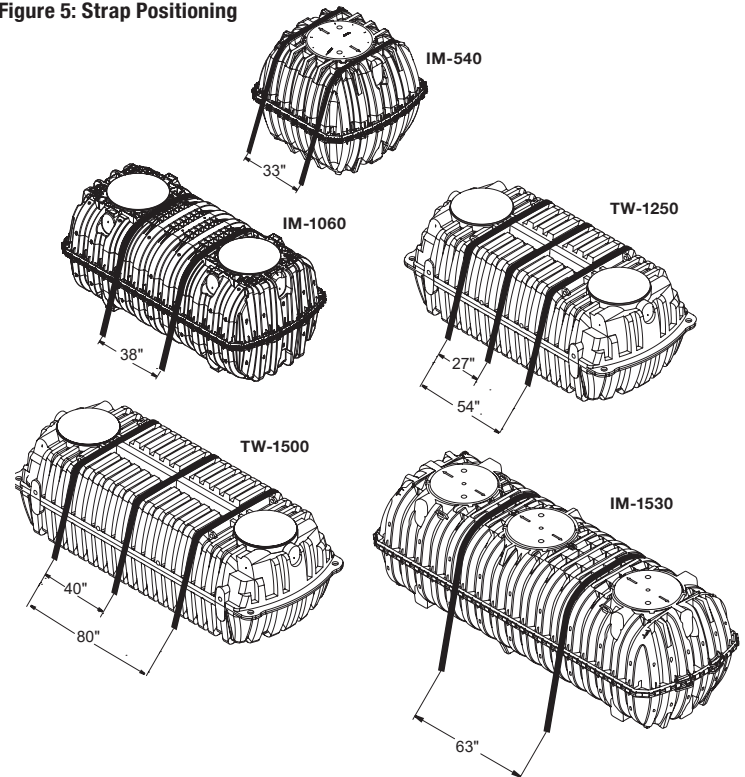


Helical anchors should be installed so that the eye loop is level with the bottom of the tank excavation. They must be in line with the tank model strapping locations (see Figure 5) or lifting lugs, as appropriate. Anchors must also be installed at such a distance from and angle to the tank so that the strapping is within 5° of alignment with the anchor shaft per manufacturer's recommendations.

#### Strapping

Preparation and fastening of webbing to/over the tanks is critical for tank stability under constant and fluctuating water conditions both inside and outside the tank. Straps must be placed at the specified strapping locations for each model as illustrated in Figure 5. The IM-Series tank strapping locations correspond to structurally reinforced areas of the tank body. These locations correspond to corner lifting lugs and alignment with interior structural bulkheads for the TW-1250 and TW-1500 models. The IM-Series tanks do not have corner lifting lugs for fastening strapping. Straps must never be placed over access openings, lids, or inlet/outlet piping. Straps must be tightened with a ratchet or turnbuckle system to remove slack and slightly pre-load the system.

Figure 5: Strap Positioning



#### STRAPPING NOTES:

1. The buoyancy control shall be centered across the straps (excludes helical anchors). The control shall extend a minimum of 6 inches (150 mm) beyond the maximum strap width (see Figures 3 and 5).
2. The minimum deadman length corresponds to the tank model-specific strap width plus 12 inches (300 mm).
3. The TW-1250 and TW-1500 shall be secured to the buoyancy control using three straps (excludes helical anchors).
4. For helical anchors installed on the TW-1250 and TW-1500, the outside straps shall be used to connect the 2 anchors per tank side. No center strap is required.

#### Backfill and Cover

Place backfill between deadman anchor and tank sidewall to fully fill void and tank body corrugations. A minimum 6" layer (150 mm) of suitable cover material is required over all Infiltrator tank installations. Mound cover to direct surface water drainage away from the tank excavation footprint. Establish a strong stand of erosion-resistant vegetation. Refer to Infiltrator IM- and TW-Series Tank Installation Instructions for complete backfilling and cover procedures.

#### General Specifications

- Prior to ground disturbance, check for subsurface obstructions and utilities in conformance with applicable requirements.
- Excavations shall conform to applicable safety regulations.
- Follow manufacturer instructions for all products and devices used for Infiltrator tank buoyancy control.
- Buoyancy control methods described herein do not account for unanticipated conditions such as surface flooding or other natural disasters, unintended removal of cover fill over tank, etc.
- Buoyancy control methods described herein are recommendations only; consult a professional engineer if desired.



**INFILTRATOR**  
systems inc.

4 Business Park Road  
P.O. Box 768  
Old Saybrook, CT 06475  
860-577-7000 • Fax 860-577-7001  
1-800-221-4436  
[www.infiltratorsystems.com](http://www.infiltratorsystems.com)

U.S. Patents: 4,759,661; 5,017,041; 5,156,488; 5,336,017; 5,401,116; 5,401,459; 5,511,903; 5,716,163; 5,588,778; 5,839,844 Canadian Patents: 1,329,959; 2,004,564 Other patents pending. Infiltrator, Equalizer, Quick4, and SideWinder are registered trademarks of Infiltrator Systems Inc. Infiltrator is a registered trademark in France. Infiltrator Systems Inc. is a registered trademark in Mexico. Contour, MicroLeaching, PolyTuff, ChamberSpacer, MultiPort, PosiLock, QuickCut, QuickPlay, SnapLock and StraightLock are trademarks of Infiltrator Systems Inc. PolyLok is a trademark of PolyLok, Inc. TUF-TITE is a registered trademark of TUF-TITE, INC. Ultra-Rib is a trademark of IPEX Inc.

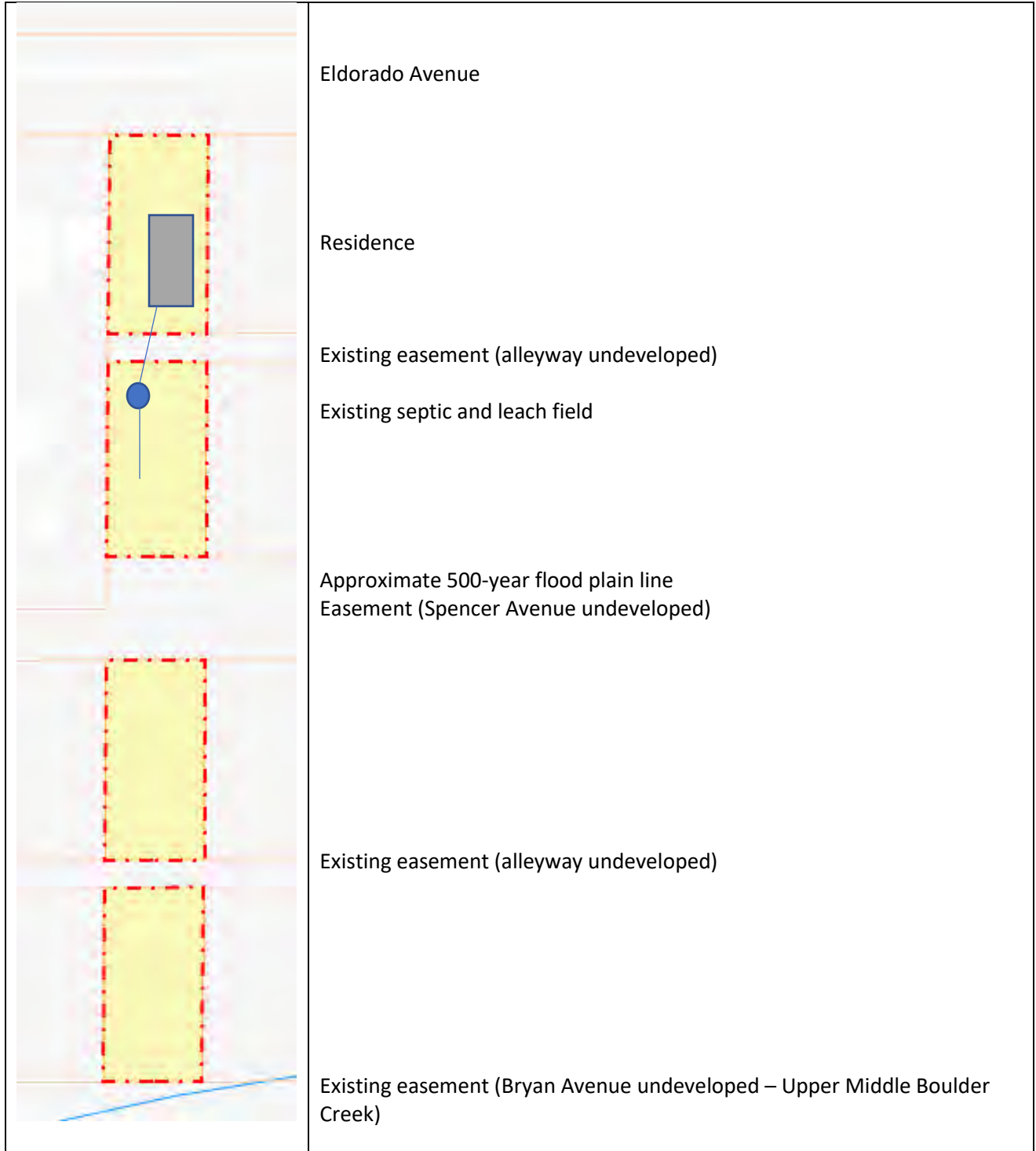
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TANK03 0214

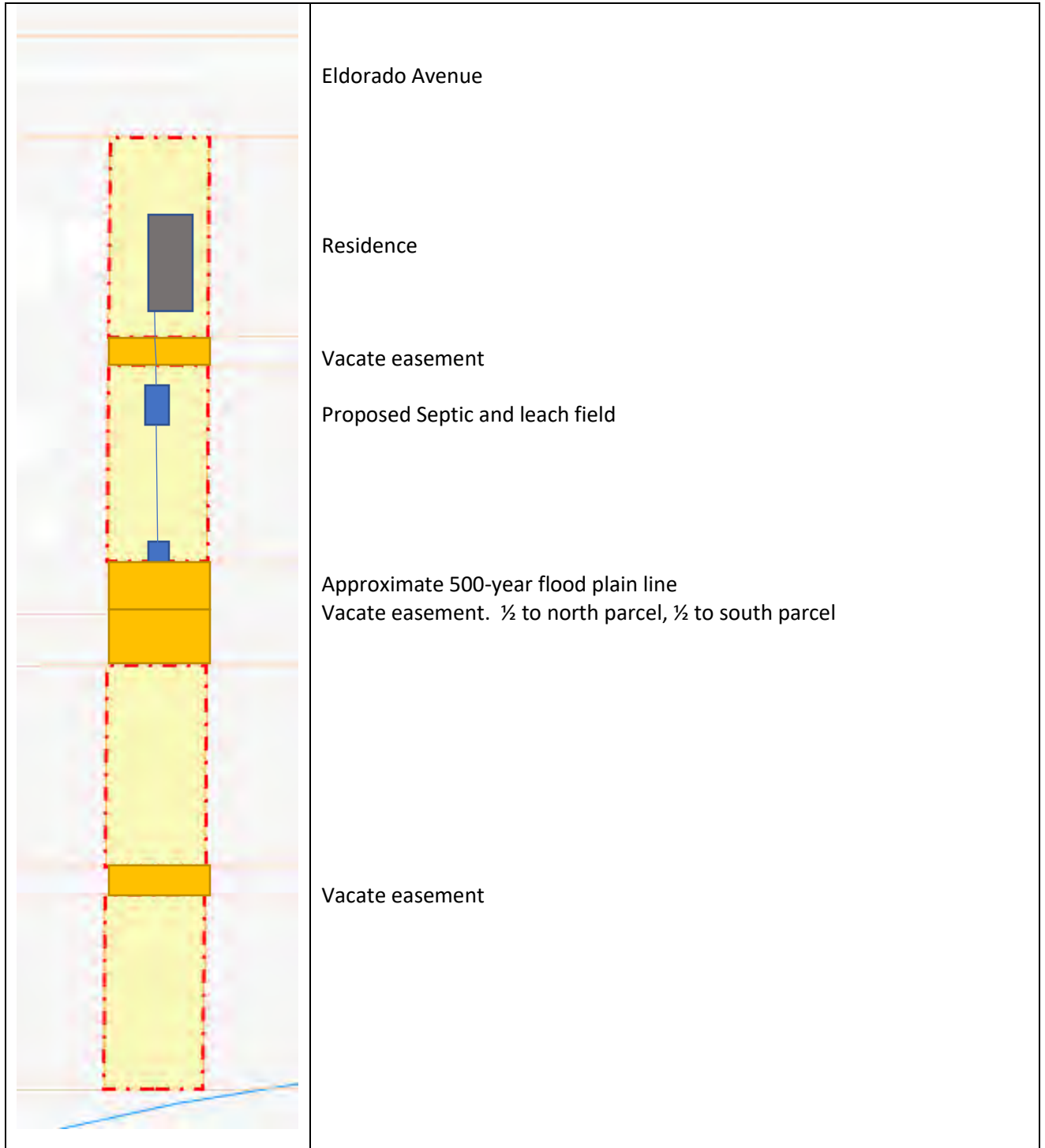
### SITE PLAN

940 Eldorado Avenue  
Nederland, CO  
(Parcels 158320011003 & 158320016003)

#### EXISTING LAYOUT



PROPOSED PLAN



Arial view





# Community Planning & Permitting

Courthouse Annex • 2045 13th Street • Boulder, Colorado 80302  
 Mailing Address: P.O. Box 471 • Boulder, Colorado 80306  
 303-441-3930 • [www.BoulderCounty.gov](http://www.BoulderCounty.gov)

MEMO TO: Referral Agencies, FPD and Adjacent Property Owners  
 FROM: Sam Walker, Planner II  
 DATE: January 9, 2024  
 RE: Docket V-23-0002

## **Docket V-23-0002: Frick Vacation**

Request: Request to vacate portions of the alley rights-of-way that bisect 940 Eldorado Avenue (Parcel 158320011003) and 0 Bryan Avenue (Parcel 158320016003) as well as the portion of Spencer Avenue that divides the two parcels.

Location: 940 Eldorado Avenue, on the south side of Eldorado Avenue approximately 300 feet west of the intersection of Eldorado Avenue and 9th Street in the Eldora Townsite, in Section 21, Township 1S, Range 73W.

Zoning: Forestry (F) Zoning District

Applicants/  
 Owners: Robert J. Frick & Carol A. Flowers

A Vacation (V) may be requested in order for public rights of way to be conveyed to adjacent property owners. The Vacation process includes a public hearing before the Planning Commission and Board of County Commissioners. All adjacent property owners and holders of liens, mortgages, easements or other rights in the subject property are notified of these hearings.

The Community Planning & Permitting staff, Planning Commission, and County Commissioners value comments from individuals and referral agencies. Please check the appropriate response below or send a letter to the Community Planning & Permitting Department via mail (PO Box 471, Boulder, CO 80306) or email to [planner@bouldercounty.org](mailto:planner@bouldercounty.org). All comments will be made part of the public record and given to the applicant. Only a portion of the submitted documents may have been enclosed; you are welcome to call the Community Planning & Permitting Department at 303-441-3930 or email [planner@bouldercounty.org](mailto:planner@bouldercounty.org) to request more information. If you have any questions regarding this application, please contact me at 303-441-1418 or email [plorange@bouldercounty.org](mailto:plorange@bouldercounty.org) to request more information.

Please return responses to the above address by **January 24, 2024**.

We have reviewed the proposal and have no conflicts.  
 Letter is enclosed.

Signed  PRINTED Name Jessica Fasick  
 Agency or Address CP&P Historic Review  
 Date 1/9/24



# Community Planning & Permitting

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Mailing Address: P.O. Box 471 • Boulder, Colorado 80306  
303-441-3930 • [www.BoulderCounty.gov](http://www.BoulderCounty.gov)

**TO:** Sam Walker, Community Planning & Permitting Department

**FROM:** Jessica Fasick, Historic Review, Community Planning & Permitting Department

**DATE:** January 9, 2024

**SUBJECT:** Docket V-23-0002: Frick Vacation

An Architectural Inventory Form was completed on the property at 940 Eldorado in 1997 and found that the cabin should be considered eligible for landmark status with Boulder County under Criteria 1 and 4. Preservation staff has no objections to docket V-23-0002: Frick Vacation, but would encourage the owners to consider landmarking their cabin in the future and note that future alterations to the exterior of the cabin will likely require review by the Historic Preservation Advisory Board. Please feel free to reach out to us at [historic@bouldercounty.gov](mailto:historic@bouldercounty.gov) for more information.

## Walker, Samuel

---

**From:** Northrup, Elizabeth (Liz)  
**Sent:** Thursday, January 11, 2024 3:58 PM  
**To:** Walker, Samuel  
**Cc:** Carden, Timothy  
**Subject:** RE: Referral Packet for Docket V-23-0002: Frick Vacation at 940 Eldorado Avenue

Hi Sam,

I reviewed the referral packet for V-23-0002 and as proposed this project should not affect any of the nearby conservation easement properties.

Thank you,  
 Liz

**Liz Northrup** | Conservation Easement Program Supervisor  
 she/her/hers  
 Boulder County Parks & Open Space  
 5201 St. Vrain Road  
 Longmont, CO 80503  
 303-678-6253 (office)  
[enorthrup@bouldercounty.gov](mailto:enorthrup@bouldercounty.gov)  
[Boulder County Open Space Website](#)



*New: Boulder County has a new website: [BoulderCounty.gov](https://www.bouldercounty.gov)! Bookmark it today. Email addresses will transition at a later date.  
 Nuevo: ¡El condado de Boulder tiene un nuevo sitio web: [BoulderCounty.gov](https://www.bouldercounty.gov)! Márcalo hoy. Los correos electrónicos harán la transición en una fecha posterior.*

---

**From:** Morgan, Heather <hmorgan@bouldercounty.gov>  
**Sent:** Tuesday, January 9, 2024 10:53 AM  
**To:** Atherton-Wood, Justin <jatherton-wood@bouldercounty.gov>; Moline, Jeffrey <jmoline@bouldercounty.gov>; eldoracivicassociate@gmail.com; Brent Tregaskis <btregaskis@eldora.com>; Hunter Wright <hwright@eldora.com>; tbrock@eldora.com; magnoliaforestgroup@gmail.com; teagenblakey@protonmail.com; BDRCO@xcelenergy.com; Donna.L.George@xcelenergy.com; planner@nederlandco.org; townadmin <townadmin@nederlandco.org>; sarah.brucker@state.co.us; Inspections@NFPD.org; !LongRange <longrange@bouldercounty.gov>; Historic <historic@bouldercounty.gov>; #WildfireMitigation <WildfireMitigation@bouldercounty.gov>; Floodplain Admin <floodplainadmin@bouldercounty.gov>; Transportation Development Review <TransDevReview@bouldercounty.gov>; #AssessorReferral <AssessorReferral@bouldercounty.org>; #CAreferral <CAreferral@bouldercounty.gov>; #Cerefferral <Cerefferral@bouldercounty.gov>; Oehlkers, Jason <joehlkers@bouldercounty.gov>; Allshouse, Alycia <aallshouse@bouldercounty.gov>; Kiepe, Bob <bkiepe@bouldercounty.gov>; Stadele, Lee <leestadele@bouldercounty.gov>; Stadele, Lee <leestadele@flagstaffsurveying.com>; Flax, Ron <rflax@bouldercounty.gov>; Frederick, Summer <sfrederick@bouldercounty.gov>; HealthWaterQuality-EnvironmentalBP LU <HealthWQ-EnvironBPLU@bouldercounty.gov>; Huebner, Michelle



<mhuebner@bouldercounty.gov>; Milner, Anna <amilner@bouldercounty.gov>; Sanchez, Kimberly <ksanchez@bouldercounty.gov>; Skufca, Erika <eskufca@bouldercounty.gov>; West, Ron <rowest@bouldercounty.gov>  
**Cc:** Walker, Samuel <swalker@bouldercounty.gov>; Bowers, James <jbowers@bouldercounty.gov>  
**Subject:** Referral Packet for Docket V-23-0002: Frick Vacation at 940 Eldorado Avenue

Please find attached the public notice and referral packet for Docket **V-23-0002: Frick Vacation at 940 Eldorado Avenue.**

Please return responses and direct any questions to [Sam Walker](mailto:swalker@bouldercounty.gov) by **January 24, 2024**. (Boulder County internal departments and agencies: Please attach the referral comments in Accela.)

Thank you,



**Heather Morgan | Lead Administrative Technician**

**Planning Division | Boulder County Community Planning & Permitting**

P.O. Box 471, Boulder, CO 80306 | Courthouse Annex—2045 13th St., Boulder, CO 80302

[hmorgan@bouldercounty.gov](mailto:hmorgan@bouldercounty.gov) | (720) 864-6510 | [www.boco.org/cpp](http://www.boco.org/cpp)

*My usual working hours are Monday-Friday, 7:30 a.m.-4:00 p.m.*

*Boulder County has migrated all email to the .gov domain. Please update your contact lists to reflect the change from [hmorgan@bouldercounty.org](mailto:hmorgan@bouldercounty.org) to [hmorgan@bouldercounty.gov](mailto:hmorgan@bouldercounty.gov). **Emails sent to both .org and .gov addresses will continue to work.** This work is part of the migration to the .gov domain that began in July 2022 when the Boulder County website moved to [www.bouldercounty.gov](http://www.bouldercounty.gov). This move to the .gov domain provides a higher level of cybersecurity protection.*



# Public Health

## Environmental Health Division

January 24, 2024

TO: Staff Planner, Community Planning and Permitting

FROM: Carl Job, Environmental Health Specialist

SUBJECT: V-23-0002: Frick Vacation

OWNER: FRICK

PROPERTY ADDRESS: 940 ELDORADO AVENUE

SEC-TOWN-RANGE: 21 -1S -73

The Boulder County Public Health (BCPH) – Environmental Health division has reviewed the submittals for the above referenced docket and has the following comments.

### OWTS:

1. An onsite wastewater treatment system (OWTS) permit has not been issued by BCPH for this property. The existing OWTS is unapproved and not in compliance with BCPH OWTS regulations. The owner must take action to replace the unapproved OWTS or face potential enforcement actions by BCPH.
2. The owner or their agent (e.g., contractor) must apply for an OWTS permit, and the OWTS permit must be issued prior to installation and before a building permit can be obtained. The OWTS must be installed, inspected, and approved before a Certificate of Occupancy or Final Building Inspection approval will be issued by Community Permitting and Planning.
3. Some elements of the engineering design from 2019 are no longer valid and must be resubmitted in accordance with BCPH OWTS regulations.
4. Setbacks between all buildings and the OWTS serving this property and OWTS serving neighboring properties, must be in accordance with the Boulder County OWTS Regulations, Table 7-1.
5. If the owner elects to decommission the existing unapproved OWTS, then they are required to properly abandon the existing OWTS under Section 12.3 of the Boulder County OWTS Regulations.

This concludes comments from the Boulder County Public Health – Environmental Health division at this time. For additional information on the OWTS application process and regulations, refer to the following website: [www.SepticSmart.org](http://www.SepticSmart.org). If you have additional questions about OWTS, please do not hesitate to email [HealthOWS@bouldercounty.org](mailto:HealthOWS@bouldercounty.org)

Cc: OWTS file, owner, Community Permitting and Planning



**Right of Way & Permits**

1123 West 3<sup>rd</sup> Avenue  
Denver, Colorado 80223  
Telephone: **303.571.3306**  
Facsimile: 303.571.3284  
Donna.L.George@xcelenergy.com

January 10, 2024

Boulder County Community Planning and Permitting  
PO Box 471  
Boulder, CO 80306

Attn: Sam Walker

**Re: Frick Vacation, Case # V-23-0002**

Public Service Company of Colorado's Right of Way & Permits Referral Desk has reviewed the alley vacation for **Frick Vacation** and has **no apparent conflict**.

Donna George  
Right of Way and Permits  
Public Service Company of Colorado dba Xcel Energy  
Office: 303-571-3306 – Email: donna.l.george@xcelenergy.com



# Community Planning & Permitting

Courthouse Annex • 2045 13th Street • Boulder, Colorado 80302 • Tel: 303.441.3930  
Mailing Address: P.O. Box 471 • Boulder, Colorado 80306 • [www.bouldercounty.gov](http://www.bouldercounty.gov)

## Building Safety & Inspection Services Team

### MEMO

**TO:** Sam Walker, Planner II  
**FROM:** Michelle Huebner, Plans Examiner Supervisor  
**DATE:** January 9, 2024

**RE:** Referral Response, Docket V-23-0002: Request to vacate portions of the alley rights-of-way that bisect 940 Eldorado Avenue (Parcel 158320011003) and 0 Bryan Avenue (Parcel 158320016003) as well as the portion of Spencer Avenue that divides the two parcels.

Thank you for the referral. We have reviewed the proposal and have no conflicts with it.

If the applicants should have questions or need additional information, we'd be happy to work with them toward solutions that meet minimum building code requirements. Please call (720) 564-2640 or contact us via e-mail at [building@bouldercounty.org](mailto:building@bouldercounty.org)



## Parks & Open Space

5201 St. Vrain Road • Longmont, CO 80503  
 303-678-6200 • POSinfo@bouldercounty.org  
 www.BoulderCountyOpenSpace.org

**TO:** Sam Walker, Community Planning & Permitting Department  
**FROM:** Ron West, Natural Resource Planner  
**DATE:** January 26, 2023  
**SUBJECT:** Docket V-23-0002, Frick, 940 Eldorado Avenue

Staff has reviewed the submitted materials, and can only support part of the proposal. Vacating the northern alley right-of-way is acceptable since this is necessary for the septic system. However, none of Spencer Avenue should be vacated, nor should the southern alley.

The undeveloped ROW of Spencer Avenue provides an east/west access for Eldora locals. This access is still intact between 10<sup>th</sup> and 5<sup>th</sup> streets. Whether or not there is an existing social trail in the ROW at the subject location is not material, since public use may only be occasional or sporadic. In general, the ROWs in the townsite have historically been used for public use -- as it should remain.

A long and comprehensive planning process in 2009, at the instigation of the Planning Commission and with input from town residents, determined that any vacations of the remaining Eldora ROWs should be carefully considered, on a site-by-site basis. During one iteration of the plan, all of Spencer Avenue was designated for retention. It is the longest and most intact ROW in the entire townsite, and it connects six north/south ROWs – from 10<sup>th</sup> Street all the way to 5<sup>th</sup> Street. Since Middle Boulder Creek does not follow any ROW at all, Spencer and the six north/south ROW's maintain access to the creek for fishing and general recreation.

Staff's general rule-of-thumb for the consideration of vacations is this – “Don't give away the Peoples' land.” Once it is gone, it is gone forever. The northern alley can be vacated, but the other two pieces should not be given away.



**COLORADO**  
 Division of Water Resources  
 Department of Natural Resources

January 24, 2024

Sam Walker, Planner II  
 Boulder County Community Planning & Permitting  
 Transmission via email: [swalker@bouldercounty.gov](mailto:swalker@bouldercounty.gov)

Re: Frick Vacation  
 Plan Number V-23-0002  
 Lots 11-12, 37-38, Block 40, Eldora  
 SE¼ NE¼ Sec. 20, T1S, R73W, 6<sup>th</sup> P.M.  
 Water Division 1, Water District 6

Dear Mr. Walker:

We have reviewed the above referenced request for an easement vacation. The submitted material does not qualify as a “subdivision” as defined in section 30-28-101(10)(a) of the Colorado Revised Statutes (“C.R.S.”). Therefore, pursuant to the State Engineer’s March 4, 2005 and March 11, 2011 memorandums to county planning directors, this office will only perform a cursory review of the referral information and provide informal comments regarding the proposed water supply. The comments do not state an opinion on the adequacy of the water supply plan for this project or the ability of the water supply plan to satisfy any County regulations or requirements, and cannot be used to guarantee the physical availability of water.

The application seeks to vacate an alley easement and avenue easement between Parcel R0026483 (Lots 11-12, Block 40, Eldora) and Parcel R0026482 (Lots 37-38, Block 40, Eldora). The vacated easements would be assigned to the existing parcels. Parcel R0026483 contains a single-family dwelling.

The water supply for the dwelling is an existing well with permit no. 193619. Permit no. 193619 limits the use of groundwater from the well to ordinary household purposes inside one single-family dwelling, with no irrigation or other outside use allowed. The easement vacation will not impact the validity of permit no. 193619.

This office has no concerns regarding the proposed easement vacation. Should you or the applicants have any questions regarding this matter, please contact Kate Fuller at this office (303-866-3581 ext. 8245 or [kathleen.fuller@state.co.us](mailto:kathleen.fuller@state.co.us)).

Sincerely,

Kate Fuller, P.E.  
 Water Resources Engineer

Cc: Applicant(s)  
 Referral file no. 31159  
 Well permit file no. 193619





# Community Planning & Permitting

Courthouse Annex • 2045 13th Street • Boulder, Colorado 80302

Mailing Address: P.O. Box 471 • Boulder, Colorado 80306 •

Tel: 303-441-3930 • [www.BoulderCounty.gov](http://www.BoulderCounty.gov)

January 24, 2024

**TO:** Sam Walker, Planner II; Community Planning & Permitting, Development Review Team - Zoning

**FROM:** Anita Riley, Principal Planner; Community Planning & Permitting, Development Review Team – Access & Engineering

**SUBJECT:** Docket # V-23-0002: Frick Vacation – 940 Eldorado Avenue

The Development Review Team – Access & Engineering has reviewed the above referenced docket and has the following comments:

1. The subject property is adjacent to El Dorado Avenue, a paved Boulder County owned and maintained right-of-way (ROW) with the Functional Classification of Collector. Legal access is demonstrated via adjacency to this public ROW.
2. The subject property is bisected from west to east by two ROWs platted as alleys and a ROW platted as Spencer Avenue. The parcel is bordered to the south by a ROW platted as Bryan Avenue.
3. No road improvements have been constructed in the identified ROWs and there is not a foreseeable need for the ROWs.
4. The identified ROWs are not used for existing access and this proposal does not affect legal access to any surrounding parcels.
5. As presented, the proposal meets the requirements of the Boulder County Multimodal Transportation Standards.

This concludes our comments at this time.



## Community Planning & Permitting

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303-441-3930 • [www.BoulderCounty.gov](http://www.BoulderCounty.gov)

January 10, 2024

To: Sam Walker, Planner II  
From: Sarah Heller, Floodplain Program Planner

Subject: Docket V-23-0002: Frick Vacation  
Request: Request to vacate portions of the alley rights-of-way that bisect 940 Eldorado Avenue (Parcel 158320011003) and 0 Bryan Avenue (Parcel 158320016003) as well as the portion of Spencer Avenue that divides the two parcels.  
Location: 940 Eldorado Avenue, on the south side of Eldorado Avenue approximately 300 feet west of the intersection of Eldorado Avenue and 9<sup>th</sup> Street in the Eldora Townsite, in Section 21, Township 1S, Range 73W.

The Community Planning & Permitting Department – Floodplain Management Program has reviewed the above referenced docket and has the following comments:

1. We have no concern with the vacation request in the Floodplain Overlay (FO) District. No development in the FO District is proposed at this time, so no Floodplain Development Permit (FDP) is required.

Additional Information: A portion of the property is located within the Middle Boulder Creek Floodway. Any future development within the FO District, including improvements to existing structures, will require an FDP and must adhere to requirements of Article 4-400 of the Boulder County Land Use Code.

Please contact Sarah Heller at [sheller@bouldercounty.gov](mailto:sheller@bouldercounty.gov) to discuss this referral.

This concludes our comments at this time.



Boulder County Community Planning and Permitting

Attn: Sam Walker, Planner

RE: Docket V-23-0002 Frick Vacation

To Whom It May Concern:

By this letter I am requesting that a stipulation allowing continued pedestrian access be included as part of this proposed vacation. It appears from the maps that this vacation would include land that is currently and has historically been a natural area integral to Eldora, enjoyed by locals for many years. Specifically, the land along and to the north of the creek and also the woods that extend north from the creek must remain open.

This is not a new idea. Continued pedestrian access has been part of vacations granted in Eldora in the past. An example of this occurred as part of the vacation in Eldora that was granted at 165 Eldorado.Ave.

The vacation requestors have already posted a No Trespassing sign on a part of their property which has been historically used for more than 25 years.

Thank you for your consideration,

Audrey Godell  
135 S. 8<sup>th</sup> St.  
Eldora, CO 80466  
720-438-8730

**Walker, Samuel**

---

**From:** Wufoo  
**Sent:** Sunday, January 28, 2024 3:17 PM  
**To:** LU Land Use Planner  
**Subject:** [EXTERNAL] Ask a Planner - David Hallock - V-23-0002 -

If your comments are regarding a specific Docket, please enter the Docket number: V-23-0002

Name: David Hallock

Email Address: eldoradh@rmi.net

Phone Number: (928) 474-9475

Please enter your question or comment: Regarding the Frick Vacation it is not clear from the available information whether or not the north 1/2 of Bryan Ave ROW is being vacated. The Departments Cover Memo only mentions the two alleys and Spencer. The applicants "Statement of Easement Vacation" makes it look like they are also applying to vacate a portion of Bryan Ave: "one-half of the undeveloped Bryan Ave easement (north half) would be assigned to the parcel R0026482." None of the maps indicate what is actually being vacated, only the parcels owned by applicant.

Please clarify.

Thank you.

Public record acknowledgement:

I acknowledge that this submission is considered a public record and will be made available by request under the Colorado Open Records Act.

## Walker, Samuel

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**From:** Walker, Samuel  
**Sent:** Wednesday, January 31, 2024 3:37 PM  
**To:** eldoradh@rmi.net  
**Subject:** RE: [EXTERNAL] Ask a Planner - David Hallock - V-23-0002 -

Good afternoon David,

Thank you for your comments. My understanding is that the proposal would not include a vacation of the northern portion of the Bryan Avenue right-of-way. A site plan submitted by the applicant only includes the two alleyways and Spencer Avenue as was noted in the project description. However, the discrepancy between the plan and application narrative has been noted by staff as well, and I've already reached out to the applicant for a clarification.

I have added your comments below and in a previous email to the project file, and they are now a part of the public record for the proposal. Your comments will be forwarded to the Planning Commission and the Board of County Commissioners for their consideration.

Please feel free to reach out to me directly with any additional comments or questions.

### Sam Walker

Planner II | Boulder County Community Planning & Permitting  
 2045 13th Street, Boulder, CO 80302  
 Ph: 720-564-2738  
[swalker@bouldercounty.gov](mailto:swalker@bouldercounty.gov)



*Boulder County has migrated all email to the .gov domain. Please update your contact lists to reflect the change from [swalker@bouldercounty.org](mailto:swalker@bouldercounty.org) to [swalker@bouldercounty.gov](mailto:swalker@bouldercounty.gov). **Emails sent to both .org and .gov addresses will continue to work.** This work is part of the migration to the .gov domain that began in July 2022 when the Boulder County website moved to [www.bouldercounty.gov](http://www.bouldercounty.gov). This move to the .gov domain provides a higher level of cybersecurity protection*

-----Original Message-----

**From:** Wufoo <[no-reply@wufoo.com](mailto:no-reply@wufoo.com)>  
**Sent:** Wednesday, January 31, 2024 12:57 PM  
**To:** LU Land Use Planner <[planner@bouldercounty.gov](mailto:planner@bouldercounty.gov)>  
**Subject:** [EXTERNAL] Ask a Planner - David Hallock - V-23-0002 -

If your comments are regarding a specific Docket, please enter the Docket number: V-23-0002

Name: David Hallock

Email Address: [eldoradh@rmi.net](mailto:eldoradh@rmi.net)

Phone Number: (928) 474-9475

Please enter your question or comment: Regarding this vacation, the staff cover letter states that the two alleys and Spencer Ave are being vacated. The applicants letter also states "one-half of undeveloped Bryan Ave easement (north half) would be assigned to the parcel R0026482."

Is the vacation of a portion of Bryan Ave a part of this application?

Public record acknowledgement:

I acknowledge that this submission is considered a public record and will be made available by request under the Colorado Open Records Act.

**Walker, Samuel**

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**From:** Walker, Samuel  
**Sent:** Monday, February 12, 2024 9:43 AM  
**To:** kk kelly  
**Subject:** RE: [EXTERNAL] Docket V-23-0002: Frick Vacation  
**Attachments:** v-23-0002-referral-packet.pdf; Site Plan - 940 Eldorado Avenue, Nederland, CO.docx

Good morning Karen,

I'm sorry that you've had issues accessing the application materials. I've attached a PDF copy of the referral packet as well as a clarified site plan that was submitted by the applicant. You can find the docket webpage by clicking [this link](#). You can also access the online version of the referral packet directly at [this link instead](#).

**Sam Walker**

Planner II | Boulder County Community Planning & Permitting  
 2045 13th Street, Boulder, CO 80302  
 Ph: 720-564-2738  
[swalker@bouldercounty.gov](mailto:swalker@bouldercounty.gov)



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**From:** kk kelly <mostkaren@gmail.com>  
**Sent:** Friday, February 9, 2024 12:59 PM  
**To:** LU Land Use Planner <planner@bouldercounty.gov>  
**Subject:** [EXTERNAL] Docket V-23-0002: Frick Vacation

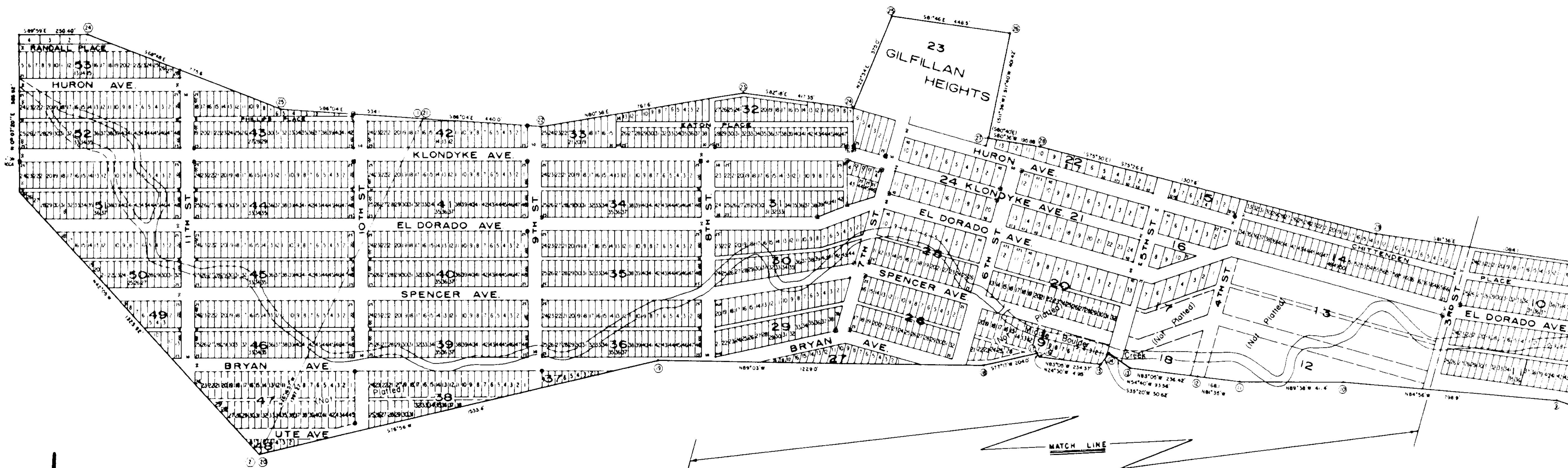
to: Sam Walker

I own 860 Eldorado Ave in Eldora and have concerns about the above referenced Proposal. I have been unsuccessful at opening the docket on your website, either on my desktop computer or my iPhone. The tiny picture of the Subject Parcel on the January 9, 2024 letter is obviously too small for anyone to read. Please email me a decent sized picture of the Subject Parcel as soon as reasonably possible. I must know how it impacts me. What property do they currently own and what are they asking to have Vacated?

This entire process has been distressing. I can't be the only one who can't open the docket. Can you please provide more information as to how to access it ?

Thank you  
 Karen Mosteller

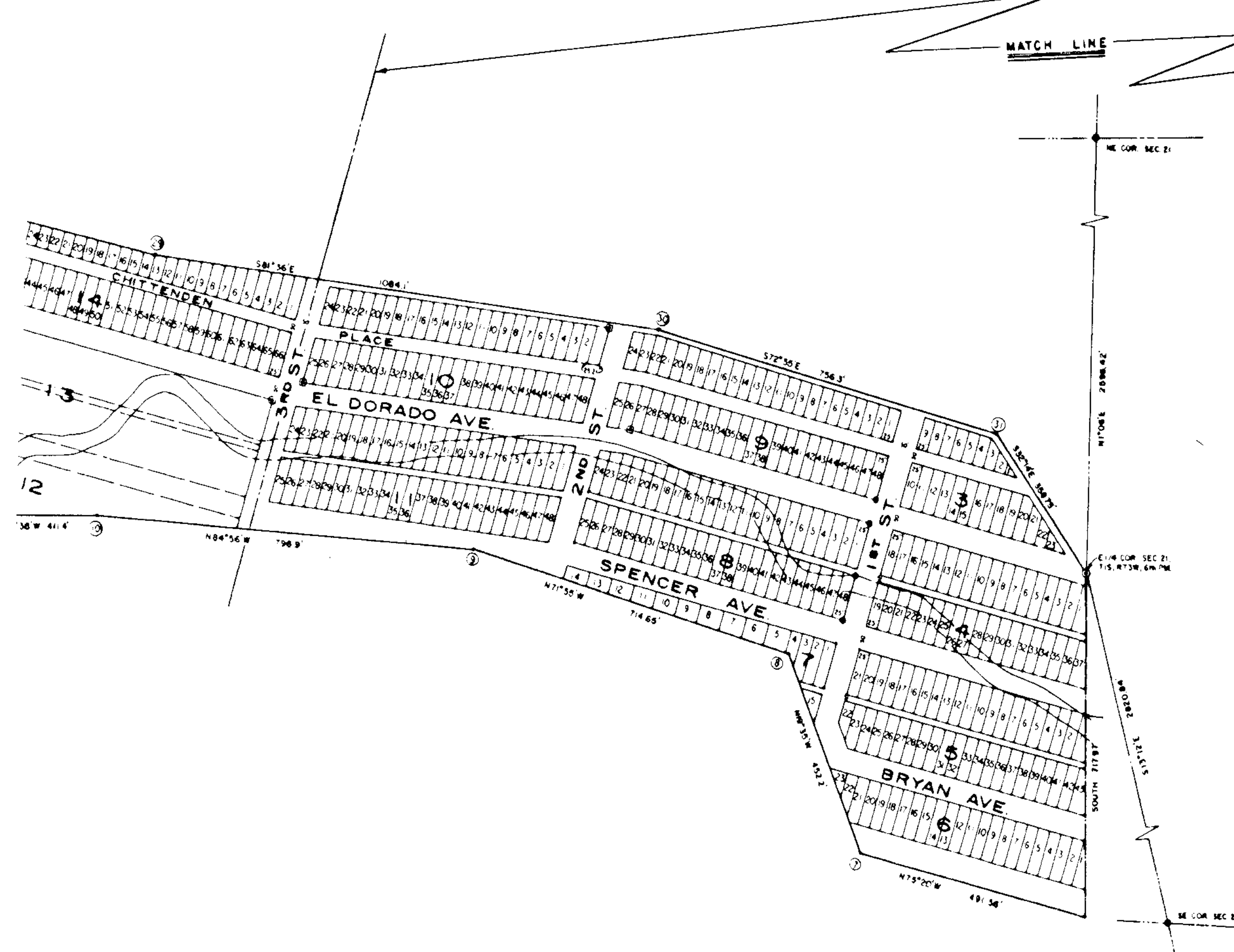




### LEGEND

- ⊙ CORNERS OF HAPPY VALLEY PLACER, SUR. NO. 12354
- ⊙ CORNERS OF HAPPY VALLEY PLACER NO. 1, SUR. NO. 12354
- IRON PINS AT BLOCK CORNERS
- IRON PINS W/BRASS CAPS AT BLOCK CORNERS
- STONES AT BLOCK CORNERS

SCALE 1" = 200'



# ELDORA

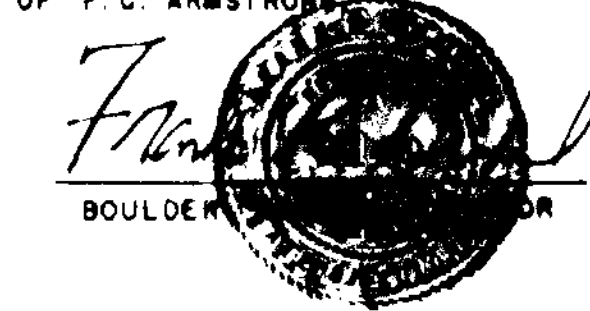
A SUBDIVISION OF A PART OF SECS. 20 & 21, T1S R73W 6th P.M., BOULDER COUNTY, COLORADO

### SURVEYOR'S CERTIFICATE

THIS MAP IS FILED FOR THE PURPOSE OF SHOWING THAT THE BOUNDARIES OF ELDORA, A SUBDIVISION OF A PART OF SECTIONS 20 & 21, T1S, R73W OF THE 6TH P.M., BOULDER COUNTY, COLORADO AS RECORDED IN PLAT BOOK 2 AT PAGE 139 OF THE BOULDER COUNTY RECORDS ARE IDENTICAL TO THE BOUNDARIES OF THE HAPPY VALLEY PLACER, SURVEY NUMBER 12354, AND THE HAPPY VALLEY PLACER NUMBER 1, SURVEY NO. 12354, EXCEPT FOR THE EAST AND WEST BOUNDARIES OF SAID SUBDIVISION. THE EAST BOUNDARY OF SAID SUBDIVISION HAS BEEN FIXED ON THIS MAP AS A LINE RUNNING SOUTH FROM THE EAST ONE QUARTER (E<sup>1</sup>/<sub>4</sub>) CORNER OF SAID SECTION 21, AND THE WEST BOUNDARY OF SAID SUBDIVISION HAS BEEN FIXED ON THIS MAP ACCORDING TO EXISTING MONUMENTS ON THE GROUND.

FROM TIME TO TIME, THE OWNERS OF SAID SUBDIVISION HAVE CAUSED A NUMBER OF MONUMENTS TO BE SET AT VARIOUS BLOCK CORNERS, AND THESE MONUMENTS WHICH ARE KNOWN TO ME ARE SHOWN ON THE ACCOMPANYING PLAT. REPORTEDLY, THESE MONUMENTS WERE ESTABLISHED BY F. C. ARMSTRONG MANY YEARS AGO AND TO MY KNOWLEDGE THEY HAVE BEEN USED EXCLUSIVELY AS THE BASIS FOR LOCATING THE PROPERTY LINES WITHIN SAID SUBDIVISION.

LOT LINES IN BLOCKS 37, 38, 47, 48, 19 & THE SOUTH ONE HALF OF BLOCK 20 MARKED "NOT PLATTED" ON THE ORIGINAL PLAT OF SAID SUBDIVISION, HAVE ACTUALLY BEEN DIVIDED INTO LOTS AND IN SOME CASES HAVE BEEN CONVEYED AS CERTAIN LOTS IN SAID BLOCKS. THESE LOT LINES ARE SHOWN ACCORDING TO AN UNRECORDED MAP FROM THE FILES OF F. C. ARMSTRONG.



### CLERK AND RECORDER'S CERTIFICATE

STATE OF COLORADO )  
 ) 1985  
 COUNTY OF BOULDER )

I HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED IN MY OFFICE AT 3:50 PM O'CLOCK JANUARY 27 A.D. 1985, AND IS FILED IN PLAT BOOK H - PAGE 47

FEES ~~XXXX~~ PAID

*[Signature]*  
 RECORDER  
*[Signature]*  
 DEPUTY