



Community Planning & Permitting

Courthouse Annex • 2045 13th Street • Boulder, Colorado 80302 • Tel: 303.441.3930 • Fax: 303.441.4856
Mailing Address: P.O. Box 471 • Boulder, Colorado 80306 • www.bouldercounty.gov

BOULDER COUNTY BOARD OF ADJUSTMENT
AGENDA ITEM
Wednesday September 4, 2024 4:00 P.M.

PUBLIC HEARING

STAFF PLANNER: Wesley Jefferies, Planner I

RECOMMENDATION: Staff recommends denial of the variance request

Docket VAR-24-0003: Harris Setback Reductions

Request:	Request to reduce the supplemental setback along Cherryvale Rd from 90 feet. (required) to 75 feet. (proposed) to increase the height of an existing residence on a 0.71-acre parcel at 5973 Dimmit Drive.
Location:	5973 Dimmit Drive, at the northwest corner of the intersection of Baseline Road and Cherryvale Road, Section 34, Township 1N, Range 70W.
Zoning:	Estate Residential (ER) Zoning District
Applicant/Owner:	Robert and Susie Harris

PACKET CONTENTS:

Item	Pages
○ Staff Recommendation	1 – 5
○ Application Materials (Attachment A)	A1 – 34
○ Referral Agency Responses (Attachment B)	B1 – 6
○ Adjacent Property Owner Comments (Attachment C)	C1
○ SPR-22-0043 Determination (Attachment D)	D1 – D54

SUMMARY

The applicant requests a reduction in the required supplemental setback along Cherryvale Road from 90 feet to 75 feet to allow them to increase the height of the existing residence. The residence is a nonconforming structure (Article 4-1002 of the Code), having been constructed in 1955, prior to the adoption of the supplemental setback requirements along Cherryvale Road. Therefore, the applicant cannot increase the height of the residence given the footprint is in the setback without obtaining a setback variance.

Staff recommends that this variance request be denied because the applicable review criteria in Article 4-1202.B.2 of the Boulder County Land Use Code (the Code) cannot be strictly met.

DISCUSSION

The subject property is located within the Gapter subdivision at the northwest corner of the intersection of Baseline Road, Cherryvale Road, and Dimmit Drive, immediately adjacent to the eastern boundary of the City of Boulder. The property is approximately 0.71-acres in size, is located in the Estate Residential zoning district, and is a legal building lot. Access to the parcel is via an existing driveway onto Dimmit Road.

As it proceeds south, Cherryvale Road changes classification from Collector to Minor Arterial where it intersects Baseline Road. On May 20, 2022, the County Engineer issued a memo clarifying that, as the property is located north of this intersection where the designation is Collector, the subject property is subject to the 90-foot supplemental setback rather than to the larger 110-foot setback associated Minor Arterial roadways.

On June 7, 2022, Boulder Community Planning and Permitting issued a Site Plan Review determination (SPR-22-0043, Attachment D) approving deconstruction and reconstruction of the existing residence and accessory structures. The approved site plan relocated the residence out of the required supplemental setback; however, a carport was approved at 80 feet 7.5 inches from the centerline of Cherryvale, pursuant to a Variance approving the setback reduction. The applicants indicate that they were unable to pursue the approved project further and have instead opted to renovate the existing residence. The applicants have now proposed an increase in the height of the residence from 14 feet 8.25 inches to 15 feet 7.5 inches. Because the current residence is a nonconforming structure within the setback, the applicants must obtain a setback variance prior to increasing the residence's height.

Staff notes that the general character of the neighborhood, specifically those residences along Cherryvale Road, has many nonconforming structures, as much of the area was developed prior to the adoption of the supplementary setbacks along major roads.



Figure 1: Aerial of subject property, outlined in red, with approximate location of 90-foot supplementary setback shown in blue.

A portion of the 100-year floodplain (Figure 2) extends approximately 40 feet on to the eastern portion of the property, however there is sufficient space outside of this area for development.



Figure 2: Aerial of subject property, with Floodplain Overlay District. Light blue area is 100-Year floodplain, yellow is 500-Year floodplain

Staff evaluation of the property identifies no particular physical circumstance that creates undue hardship. The lot is generally rectangular and flat, similar to other properties in the vicinity. The site plan provided by the applicants indicates an existing utility line that cuts across the center of the property, however there is sufficient space to allow for development outside of the setback at issue. Staff does not find existing nonconformity alone to be sufficient demonstration of hardship.

For these reasons, staff finds that the proposal cannot meet the Variance criteria described in the Code, and therefore recommend that the application be denied.

REFERRALS

The variance request was sent to property owners within 1,500 feet of the subject property, as well as all applicable referral agencies. Responses received by staff are attached to this staff recommendation (Attachments B) and summarized below.

Boulder County Floodplain Program: This team responded that the proposal is located outside the Floodplain Overlay (FO) District and had no conflict with the Floodplain. This team noted that any development within the Floodplain Overlay District would require a Floodplain Development Permit and must adhere to the requirements of Article 4-400 of the Code.

Xcel Energy: The Public Service Company of Colorado responded with no conflict with the setback reduction. The Company noted that they own and operate an existing intermediate pressure natural

gas distribution facility with the subject property, as well as electric distribution facilities along the south and east property lines.

Agencies indicating no conflicts: Boulder County Building Safety & Inspection Services Team, Boulder County Historic Preservation Team, Boulder County Development Review Team – Access & Engineering (DRT A&E), Boulder County Park and Open Space Natural Resource Planner, Mountain View Fire Rescue.

Agencies that did not respond: Boulder County Long Range Planning, Boulder County Public Health, Boulder County Assessor, Boulder County Attorney’s Office, Boulder County Parks & Open Space Real Estate Team, City of Boulder Planning & Development Services, City of Boulder Open Space and Mountain Parks, City of Lafayette Planning Division, City of Louisville Planning Department, and US Fish and Wildlife.

Adjacent Property Owners – 106 referrals were sent to nearby property owners, and staff received one response from a member of the public indicating support for the proposed setback reduction and an assertion that the required supplementary setback along Cherryvale is “obsolete.”

CRITERIA ANALYSIS

Per Article 3-100.A.18 of the Code the Board of Adjustment (BOA) may approve a variance from the terms of the Code as set forth in Article 4-1200. To grant a variance, the BOA must find that all of the following criteria from **Article 4-1202.B.2** of the Code are satisfied:

(a) There exist exceptional or extraordinary physical circumstances of the subject property such as irregularity, narrowness, shallowness, or slope;

Staff does not find that the subject parcel is encumbered by exceptional or extraordinary physical circumstances. The parcel is flat, with sufficient alternative locations for development that meets the supplemental setback. Approximately 0.11-acres of the parcel is encumbered by the 100-year floodplain. While there are additional permitting requirements, the property owners are not precluded from development within this area.

Therefore, staff finds this criterion is not met.

(b) Because of these physical circumstances, the strict application of the Code creates an exceptional or undue hardship upon the property owner;

Because staff does not find that there are exceptional or extraordinary physical circumstances on the parcel, the strict application of the Code does not create an exceptional or undue hardship on the property owner. The existing residence is located within the setback but there are other suitable development options, other than raising the height of the existing portion of the residence within the setback, that comply with current setback requirements.

Therefore, staff finds this criterion is not met.

(c) The hardship is not self-imposed;

Staff have not identified a hardship on the property owner. While staff does understand the desire to renovate the existing residence, as stated above there are other areas in which to do improvements that comply with the current setback requirements.

Therefore, staff finds this criterion is not met.

(d) The variance, if granted, will not adversely affect the uses of adjacent property as permitted under this code;

Staff does not anticipate that the proposed variance, if granted, will adversely affect the uses of adjacent properties as permitted under the Code, nor has any referral agency responded with such a concern. The proposed height increase of the structure is not anticipated to negatively impact the uses of adjacent property.

Therefore, staff finds this criterion is met.

(e) The variance, if granted, will not change the character of the zoning district in which the property is located, and is in keeping with the intent of the Code and the Boulder County Comprehensive Plan;

Staff does not have concerns that the variance will change the character of the zoning district in which the property is located if granted. Aerial photographs of the area around the subject parcel indicate that many nearby properties also have development that encroaches on the required supplemental setbacks.

Therefore, staff finds that this criterion is met.

(f) The variance, if granted, does not adversely affect the health, safety, and welfare of the citizens of Boulder County and is in accordance with the Comprehensive Plan and any applicable intergovernmental agreement affecting land use or development.

Staff does not have concerns that the variance will adversely affect the health, safety, and welfare of the citizens, nor will the proposed reduction in setback conflict with the Comprehensive Plan and any applicable intergovernmental agreement affecting land use or development.

Therefore, staff finds this criterion is met.

RECOMMENDATION

As discussed above, staff finds that three of the criteria for a variance cannot be met. Therefore, Community Planning & Permitting staff recommend that the Board of Adjustment **Deny Docket VAR-24-0003: Harris Setback Reductions.**



Boulder County Land Use Department

Courthouse Annex Building
 2045 13th Street • PO Box 471 • Boulder, Colorado 80302
 Phone: 303-441-3930 • Fax: 303-441-4856
 Email: planner@bouldercounty.org
 Web: www.bouldercounty.org/lu
 Office Hours: Mon., Wed., Thurs., Fri. 8 a.m. to 4:30 p.m.
 Tuesday 10 a.m. to 4:30 p.m.

Shaded Areas for Staff Only
Intake Stamp

Application Form

Project Number		Project Name	
<input type="checkbox"/> Limited Impact Special Use <input type="checkbox"/> Limited Impact Special Use Waiver <input type="checkbox"/> Modification of Special Use <input type="checkbox"/> Site Plan Review <input type="checkbox"/> Site Plan Review Waiver <input type="checkbox"/> Subdivision Exemption <input type="checkbox"/> Exemption Plat <input type="checkbox"/> 1041 State Interest Review <input type="checkbox"/> Other:	Application Deadline: First Wednesday of the Month	Application Deadline: Second Wednesday of the Month	
	<input checked="" type="checkbox"/> Variance <input type="checkbox"/> Appeal	<input type="checkbox"/> Sketch Plan <input type="checkbox"/> Preliminary Plan <input type="checkbox"/> Final Plat <input type="checkbox"/> Resubdivision (Replat) <input type="checkbox"/> Special Use/SSDP	<input type="checkbox"/> Rezoning <input type="checkbox"/> Road/Easement Vacation <input type="checkbox"/> Location and Extent <input type="checkbox"/> Road Name Change

Location(s)/Street Address(es) 933 Cherryvale Rd. / 5973 Dimmit Drive				
Subdivision Name				
Lot(s)	Block(s)	Section(s)	Township(s)	Range(s)
Area in Acres .71	Existing Zoning RR	Existing Use of Property Residential	Number of Proposed Lots	
Proposed Water Supply Private Well		Proposed Sewage Disposal Method Municipal Sewer		

Applicants:

Applicant/Property Owner Robert & Susie Harris			Email Address hillharris@msn.com	
Mailing Address 933 Cherryvale Rd.				
City Boulder	State Colorado	Zip Code 80303	Phone (720)635-0753	Fax
Applicant/Property Owner/Agent/Consultant			Email Address	
Mailing Address				
City	State	Zip Code	Phone	Fax
Agent/Consultant Ryan Gruver			Email Address ryan@meltondb.com	
Mailing Address 3082 Sterling Circle				
City Boulder	State CO	Zip Code 80301	Phone (303)473-9542	Fax

Certification (Please refer to the Regulations and Application Submittal Package for complete application requirements.)

I certify that I am signing this Application Form as an owner of record of the property included in the Application. I certify that the information and exhibits I have submitted are true and correct to the best of my knowledge. I understand that all materials required by Boulder County must be submitted prior to having this matter processed. I understand that public hearings or meetings may be required. I understand that I must sign an Agreement of Payment for Application processing fees, and that additional fees or materials may be required as a result of considerations which may arise in the processing of this docket. I understand that the road, school, and park dedications may be required as a condition of approval.

I understand that I am consenting to allow the County Staff involved in this application or their designees to enter onto and inspect the subject property at any reasonable time, without obtaining any prior consent.

All landowners are required to sign application. If additional space is needed, attach additional sheet signed and dated.

DocuSigned by: Robert Harris	Printed Name Robert Harris	Date 6/30/2024
Signature of Property Owner [Signature]	Printed Name Susie N Harris	Date 06/28/2024

The Land Use Director may waive the landowner signature requirement for good cause, under the applicable provisions of the Land Use Code.



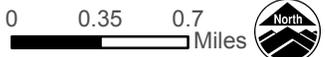
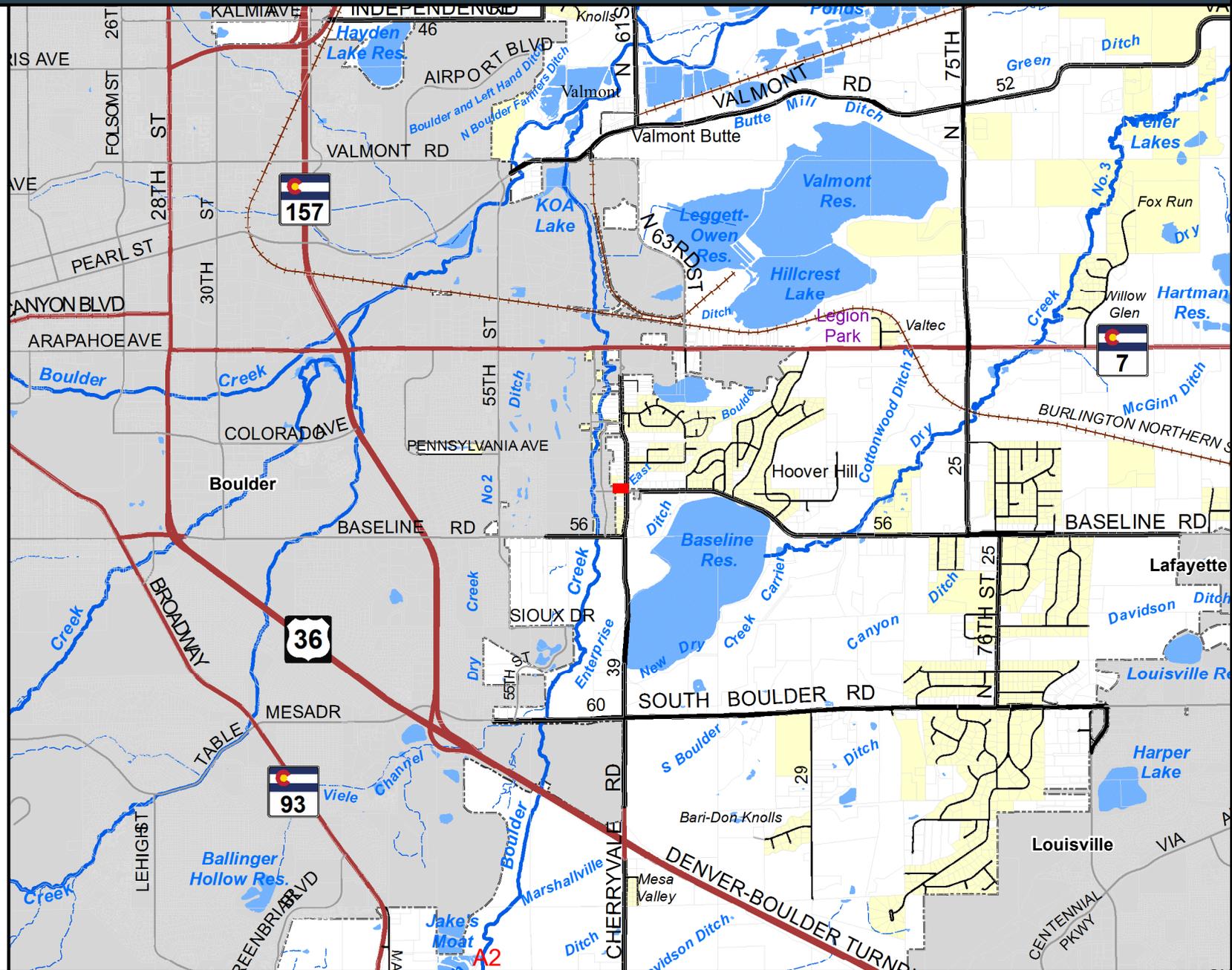
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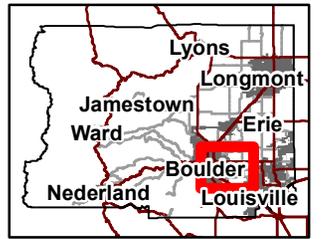
Vicinity

5973 DIMMIT DR

-  Subject Parcel
-  Municipalities
- Subdivisions**
-  Subdivisions



Area of Detail Date: 7/16/2024



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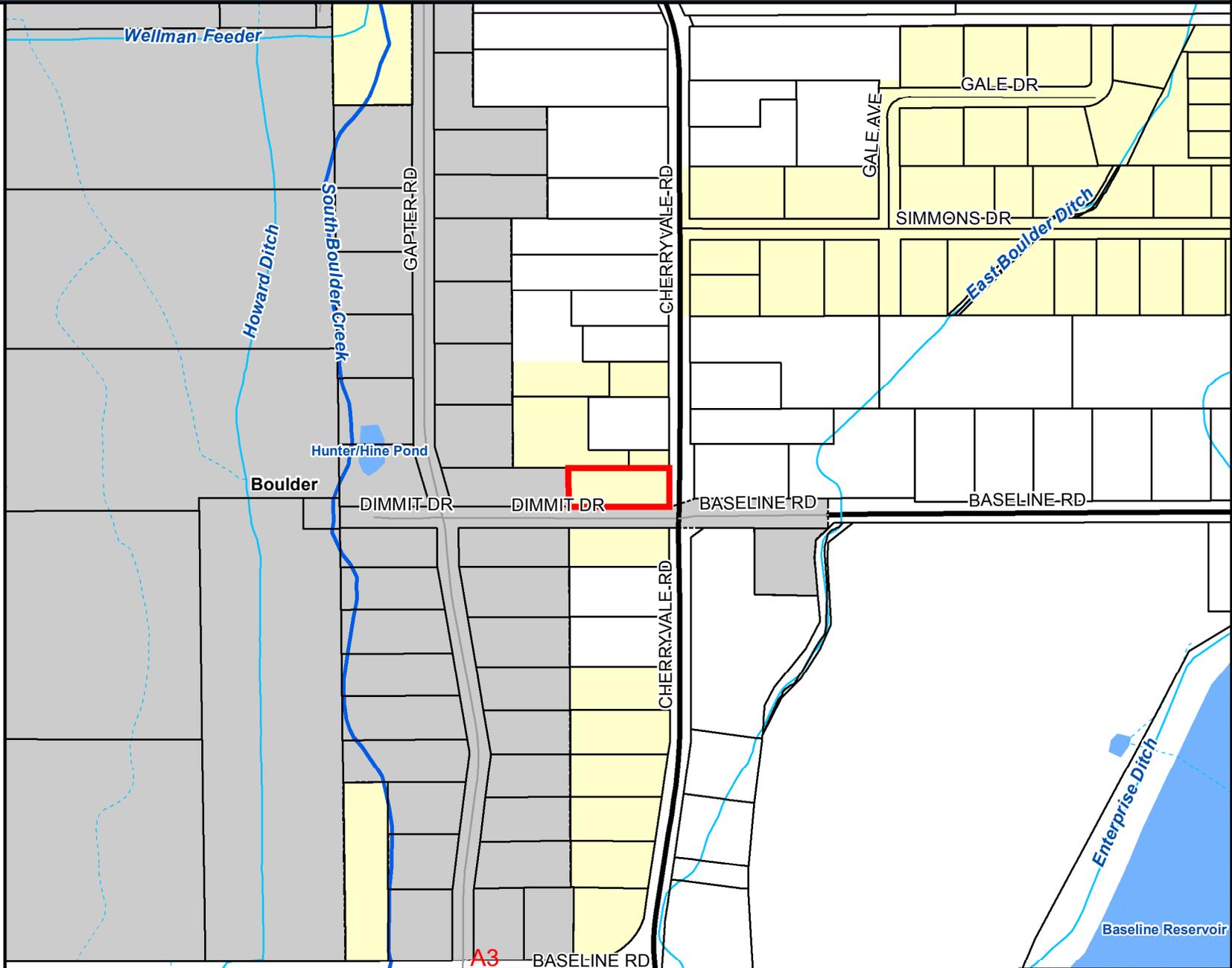
Location

5973 DIMMIT DR

Subject Parcel

Subdivisions

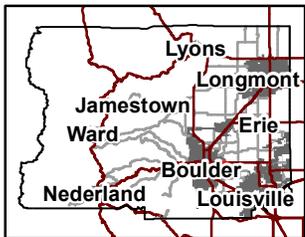
Subdivisions



0 0.035 0.07 Miles



Area of Detail Date: 7/16/2024



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Aerial

5973 DIMMIT DR

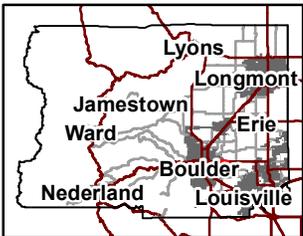
 Subject Parcel



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Area of Detail Date: 7/16/2024



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Aerial

933, 5973 DIMMIT DR

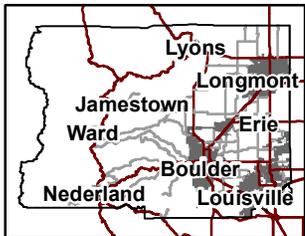
 Subject Parcel



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Area of Detail Date: 6/10/2021



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A5



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Comprehensive Plan

5973 DIMMIT DR

Subject Parcel

NLNA Buffer

Archeologically Sensitive Travel Routes

Archeologically Sensitive Travel Routes

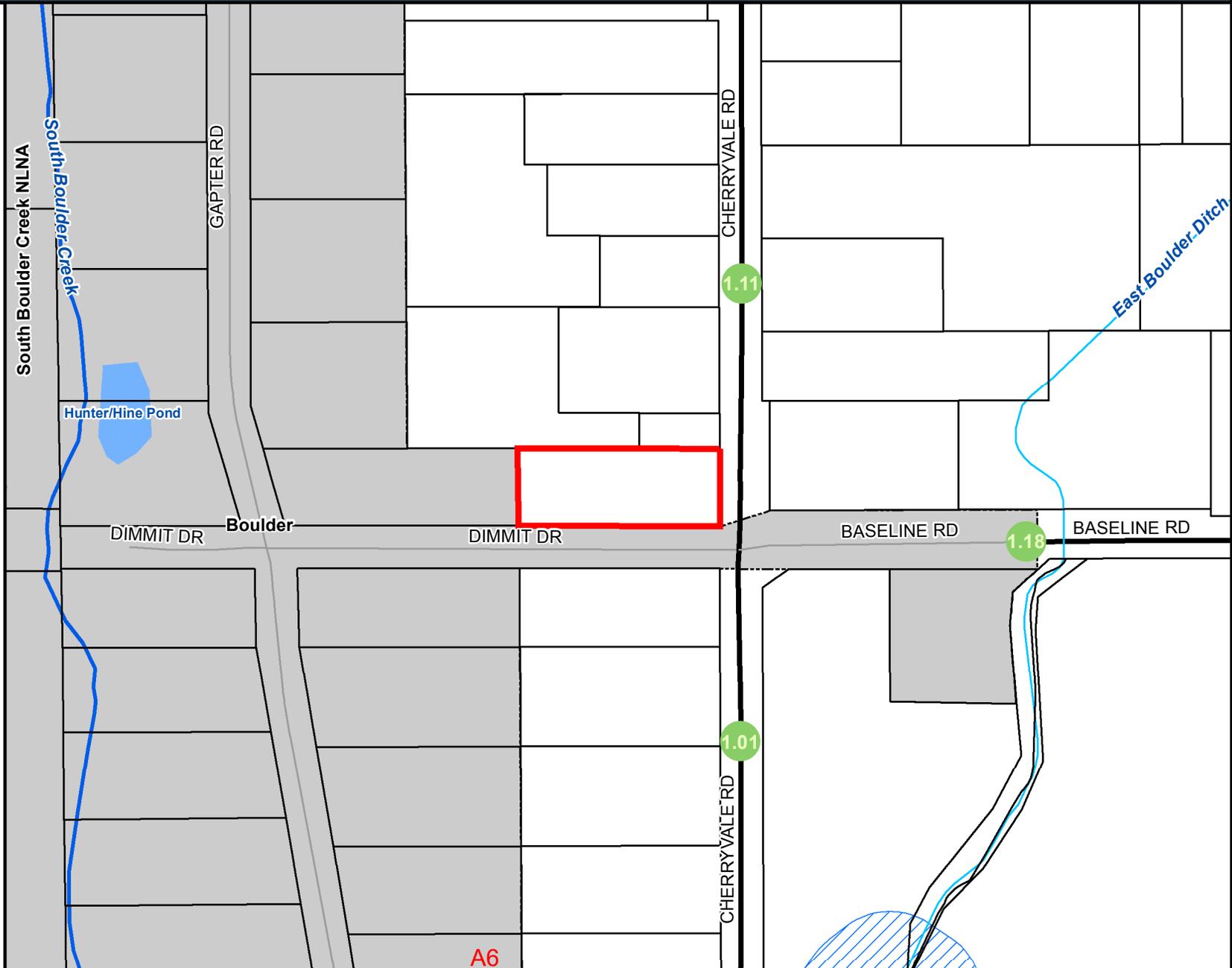
Riparian Areas

Wetlands

Riparian Habitat Connectors

Natural Landmarks
 Natural Areas

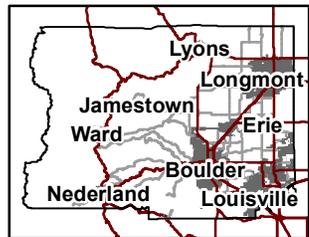
Rare Plant Areas



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A6



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Planning Areas

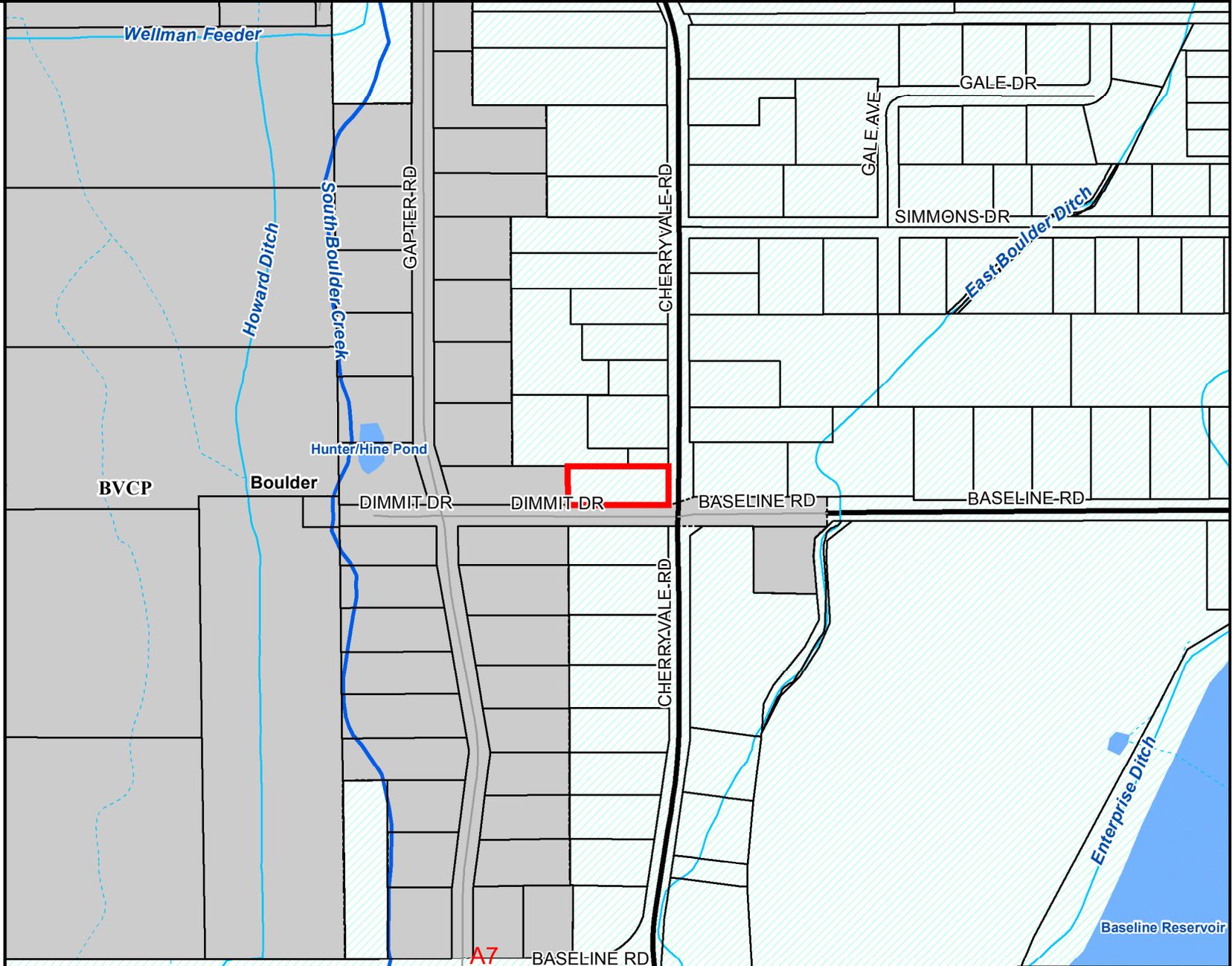
5973 DIMMIT DR

Subject Parcel

Active IGA Boundary

Active IGA Designation

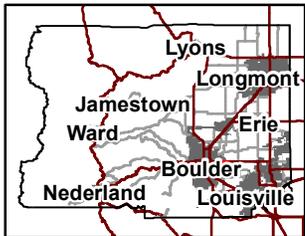
BVCP



0 0.035 0.07 Miles



Area of Detail Date: 7/16/2024



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Zoning

5973 DIMMIT DR

Subject Parcel

Zoning Districts

Estate Residential

Rural Residential

Ditch Setbacks

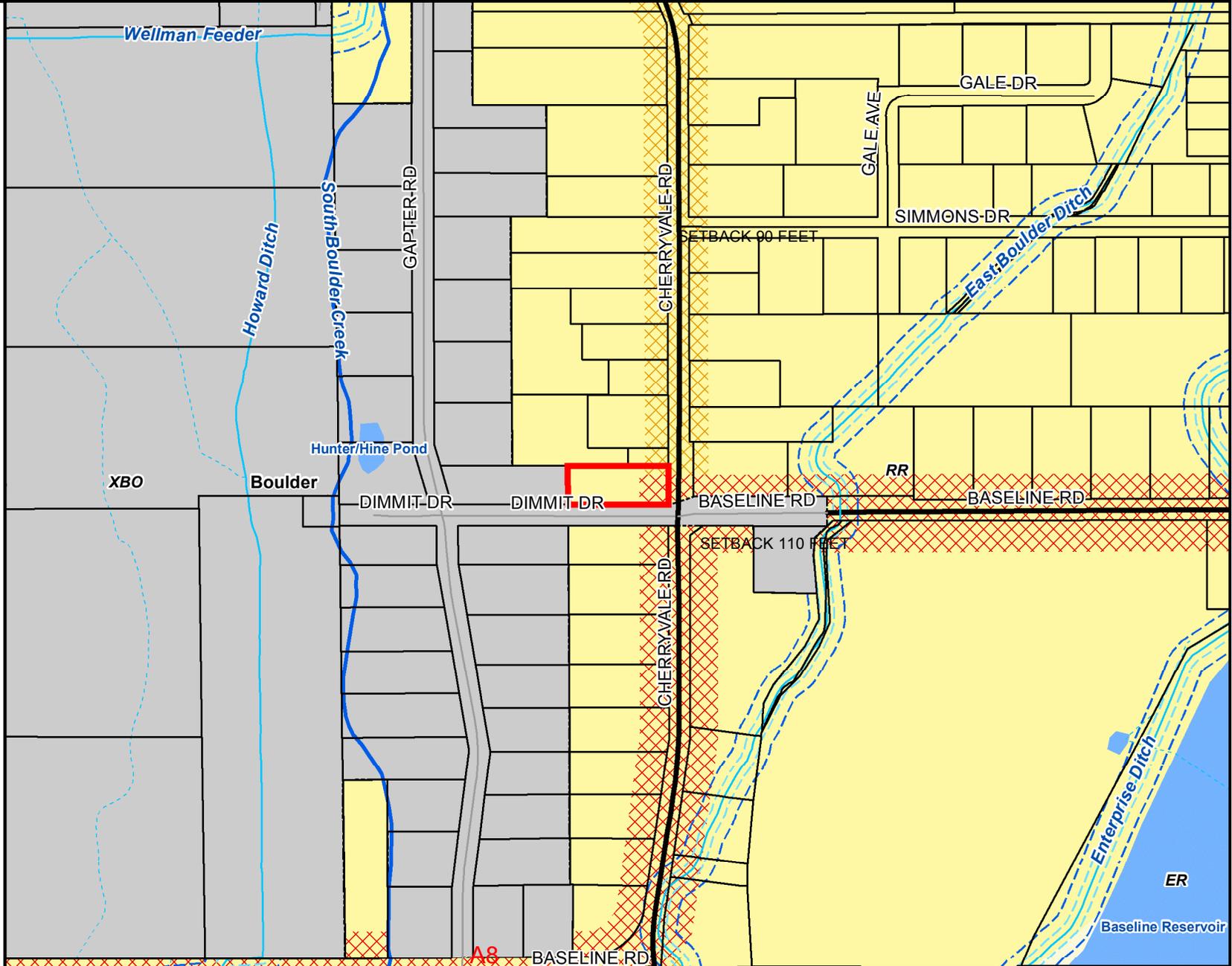
20 feet

50 feet

Major Road Setbacks

90 feet

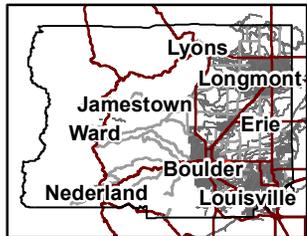
110 feet



0 190 380 Feet



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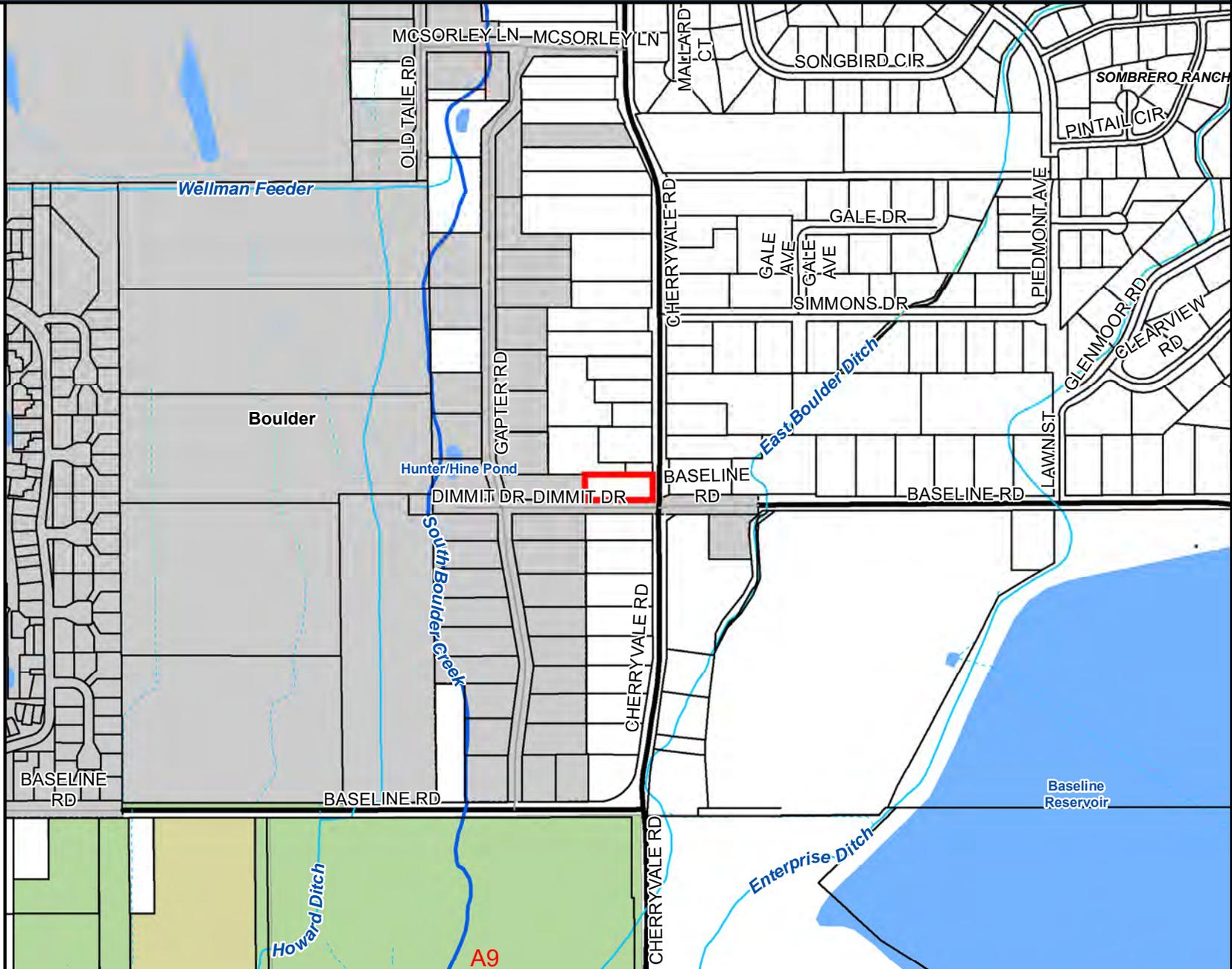
Public Lands & CEs

933, 5973 DIMMIT DR

Subject Parcel

Boulder County Open Space

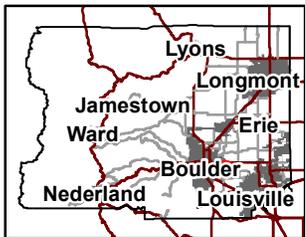
- County Open Space
- City Parks and Open Space
- OSMP Properties



0 0.05 0.1 Miles



Area of Detail Date: 6/10/2021



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Prebles

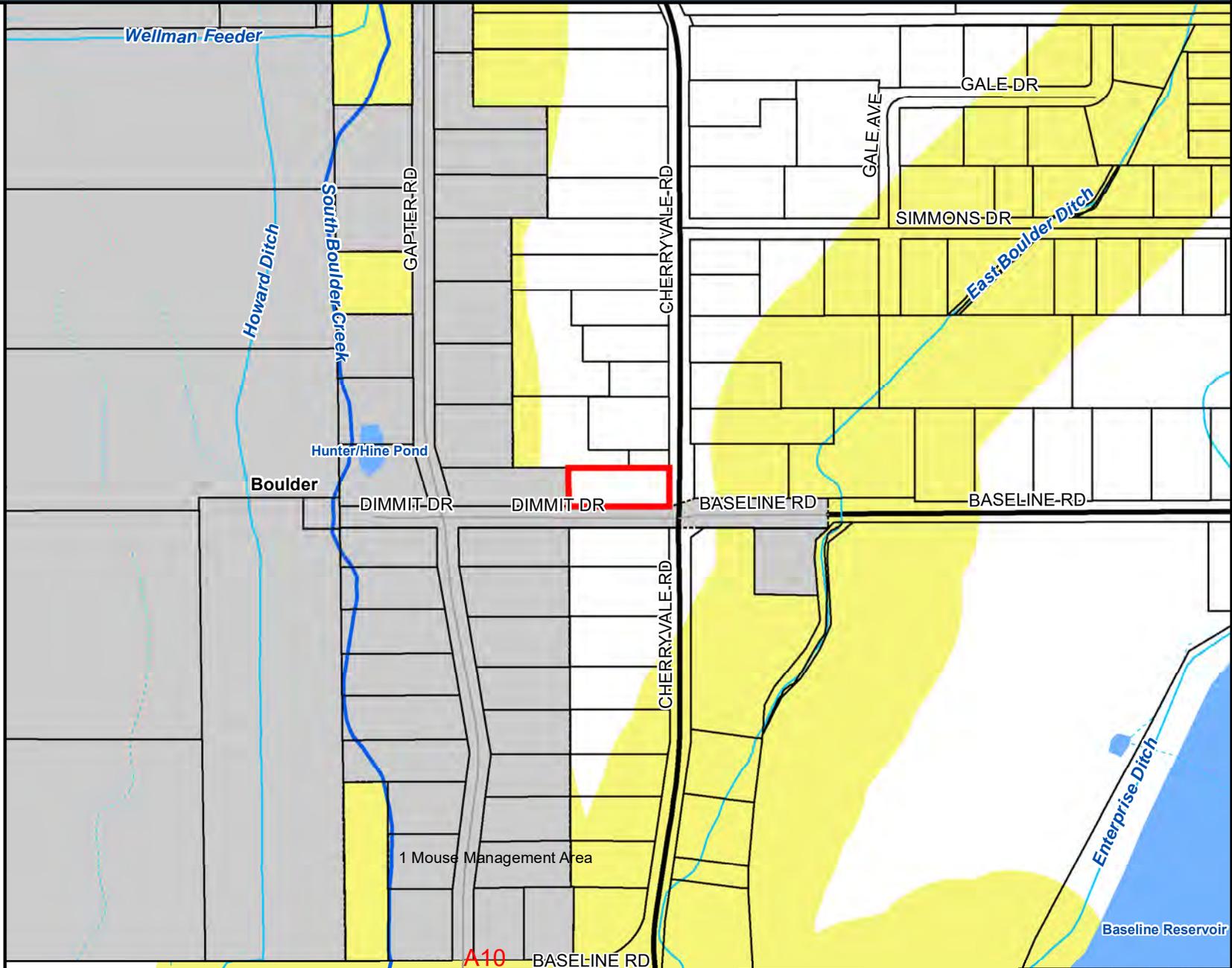
933, 5973 DIMMIT DR

 Subject Parcel

Note: This map's legend shows all Preble's Priority Zones as mapped by Boulder County. The subject property may not contain all zones. Refer to the USFWS Memo dated 9/17/03 to determine when projects require review by USFWS for Preble's.

Prebles

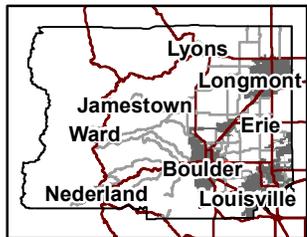
 Zone 1 Mouse Management Area



0 0.035 0.07 Miles



Area of Detail Date: 6/10/2021



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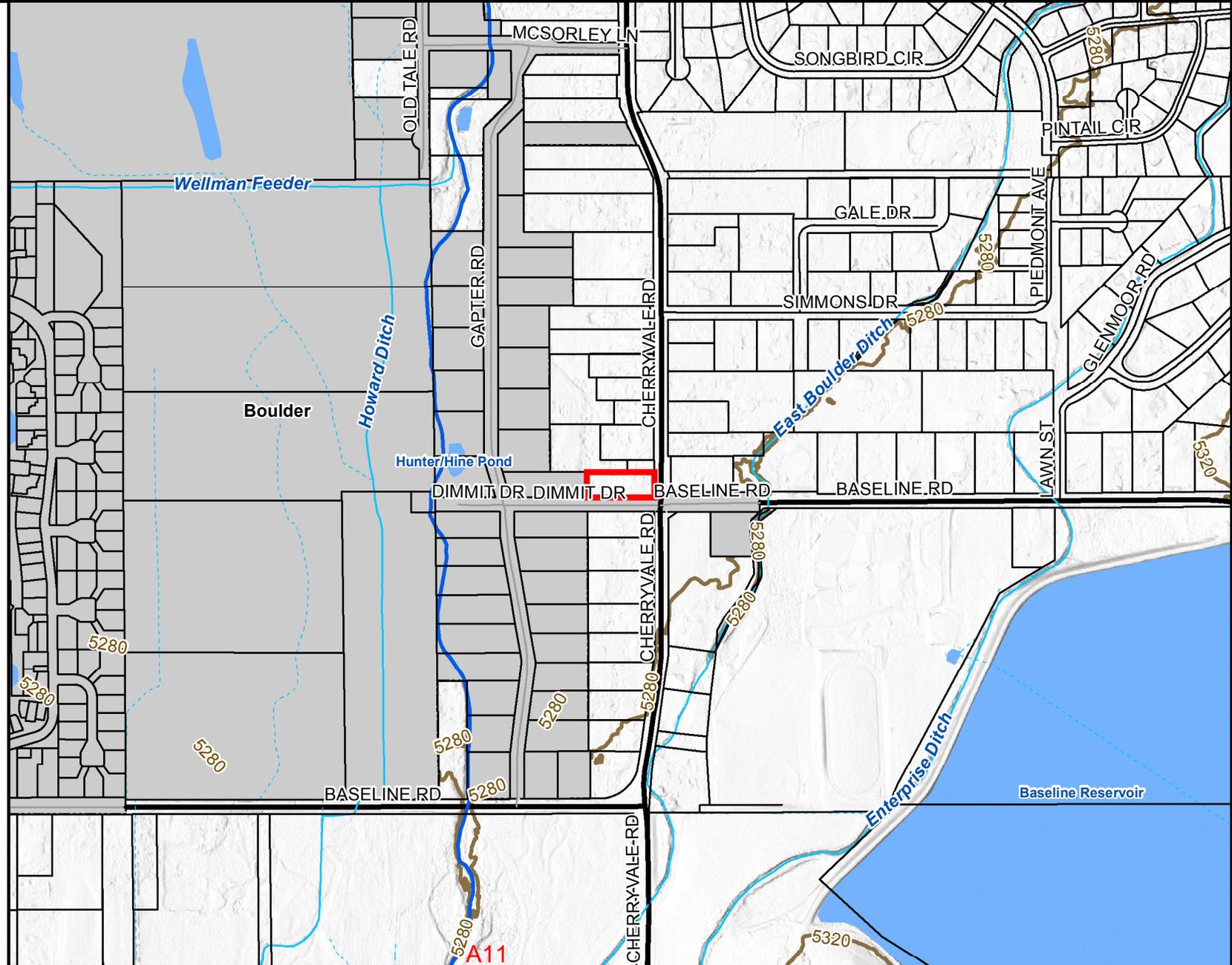
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Elevation Contours

5973 DIMMIT DR

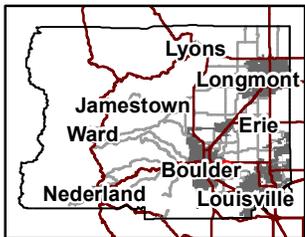
- Subject Parcel
- Contours 40'



0 0.05 0.1 Miles



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Floodplain
5973 DIMMIT DR

Subject Parcel

Floodplain

Floodway

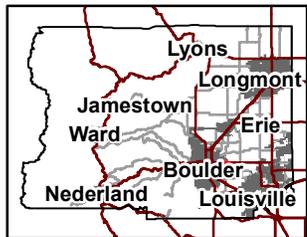
100-Year Floodplain

500-Year Floodplain

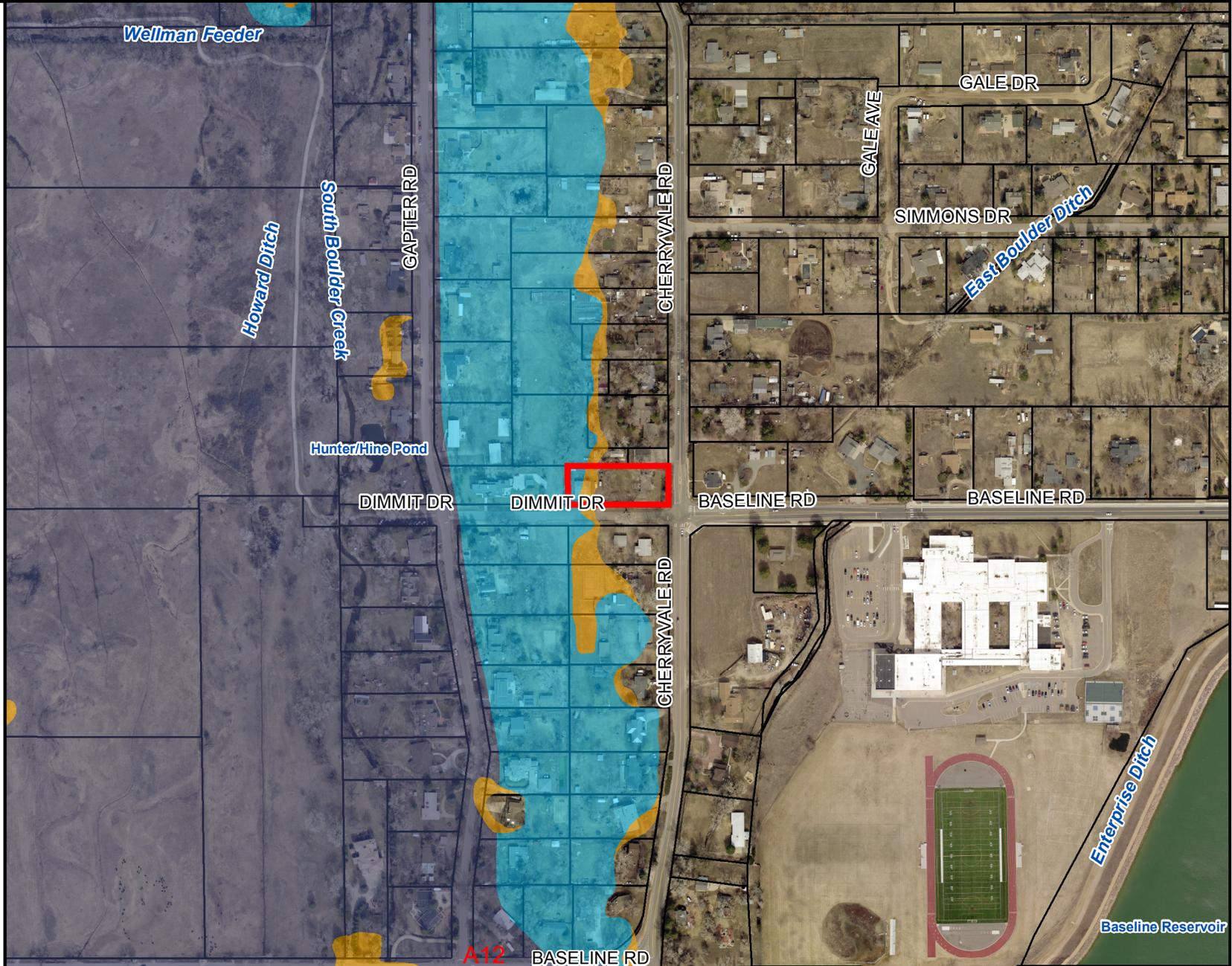
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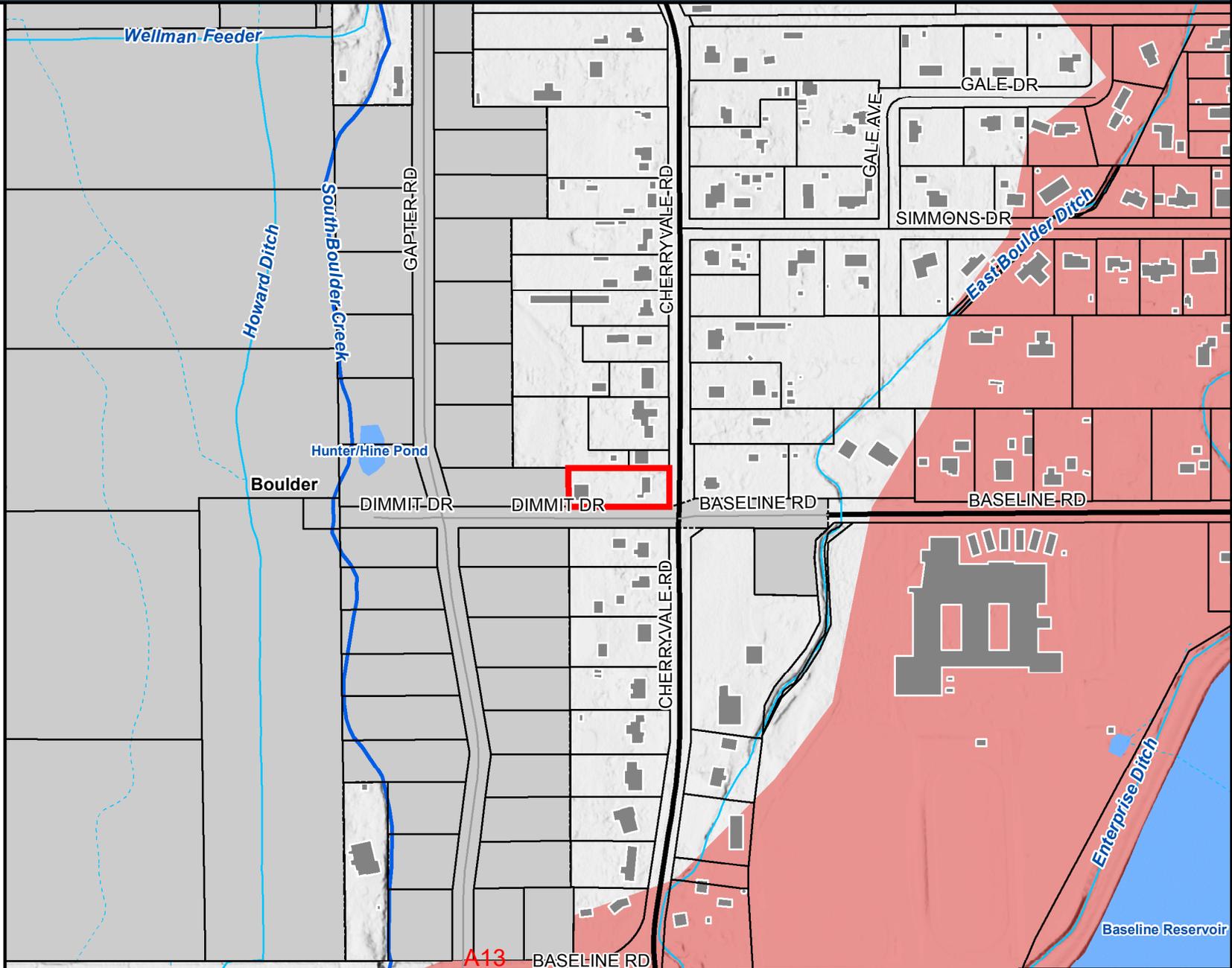
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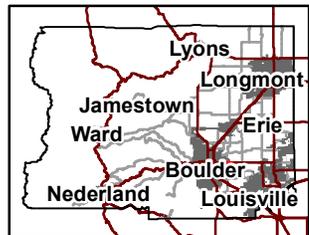
Geologic Hazards

5973 DIMMIT DR

- Subject Parcel
- Very High Swelling Soil Potential
- Moderate Swelling Soil Potential



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 Email: planner@bouldercounty.org
<http://www.bouldercounty.org/lu/>
 Office Hours: Monday — Friday 8:00 AM to 4:30 PM

Intake Stamp:
Docket #:

Board of Adjustment (BOA) Hardship Statement

Explain how the following hardship criteria for granting a variance have been satisfied. Please feel free to attach your statements using a separate piece of paper.

A. There exists exceptional or extraordinary physical circumstances of the subject property such as irregularity, narrowness, shallowness, or slope.

Due to major road setbacks from Cherryvale & Baseline, established after the construction of the home, the owners are not allowed to make structural changes without a variance.

B. Because of these physical circumstances, the strict application of this Code would create an exceptional or undue hardship up the property owner.

The home was built in 1955 with 7'-3" ceiling height and a 2x6 raftered roof with minimal heal height at the eaves. As is, the home has a minimal ceiling height and is limited in terms of insulation at the roof eaves which makes the house less desirable than it's neighbors in the county.
--

C. The hardship is not self-imposed.

The home and the other homes along Cherryvale was built well before the major road setbacks were put in place, rendering most of the homes along Cherryvale Rd. Non-compliant and precluded from making structural improvements.
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D. The variance, if granted, will not adversely affect the use of adjacent property as permitted under this Code.

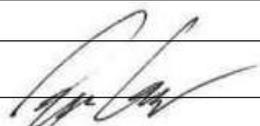
The proposed improvement would raise the ridge of the ridge of the roofline by approx. 12" but the footprint would remain in place and the scale of the house in relation to the neighborhood would be minimally affected.
--

E. That the variance, if granted, will not change the character of the zoning district in which the property is located, and is in keeping with the intent of this Code and the *Boulder County Comprehensive Plan*; and,

The footprint of the home will not be affected, the distance to the property lines and the street will not change. There also would not be any change to the existing trees or landscaping. The only change would be a minimal change to the ridge line of the home.
--

F. That the variance, if granted, does not adversely affect the health, safety, and welfare of the citizens of Boulder County.

By replacing the roof structure which allows the home to have a proper roof insulated to current code (R54) the energy demand for conditioning the home's interior would be dramatically reduced, lessening the home's burden on the energy grid and the communities services.
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Applicant or Agent Signature: 	Date: 6-30-2024
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3D PERSPECTIVE



ZONING CODE INFORMATION

LEGAL DESCRIPTION: LOT 1 GAPTER
 ZONE DISTRICT: RR
 HISTORIC DISTRICT: N/A
 HISTORIC DESIGNATION: N/A
 FLOODPLAIN DESIGNATION: N/A
 LOT SIZE (SF/ACRE): 30,876 SF / .71 ACRE
 ALLOWED STORIES: N/A
 PROPOSED STORIES: N/A
 YEAR CONSTRUCTED: 1955
 FRONT SETBACK REQUIRED: 25'
 REAR SETBACK REQUIRED: 30'
 SIDE SETBACK REQUIRED: 7'

BUILDING CODE INFORMATION

JURISDICTION: COUNTY OF BOULDER
 APPLICABLE CODES:
 2015 INTERNATIONAL BUILDING CODE (IBC),
 2015 INTERNATIONAL EXISTING BUILDING CODE (IEBC),
 2015 INTERNATIONAL RESIDENTIAL CODE (IRC),
 2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC),
 2015 INTERNATIONAL FIRE CODE (IFC),
 2015 INTERNATIONAL MECHANICAL CODE (IMC),
 2015 INTERNATIONAL PLUMBING CODE (IPC),
 2015 INTERNATIONAL FUEL GAS CODE (IFGC),
 2020 NATIONAL ELECTRICAL CODE (NEC),
 BOULDER COUNTY BUILDING CODE AMENDMENTS TO THE 2015 IRC

CONSTRUCTION TYPE: VB
 SPRINKLED: NO
 FLOODPLAIN: ZONE X

BUILD SMART SUMMARY:
 ALTERATIONS/REMODEL/REPAIRS - WORK OVER \$100,000
 (CHOOSE 5)

- CHOOSE (5) RETROFIT MEASURES
- 1- REPLACE BOILER (EXISTING)
- 2- REPLACE WATER HEATER (EXISTING)
- 3- EX. ELECTRIC VEHICLE CHARGING OUTLET
- 4- WATER EFFICIENCY RETROFIT - EXISTING CLOTHES WASHER & DISHWASHER
- 5- EXISTING RADON SYSTEM

PROJECT DESCRIPTION

An interior renovation of the living and kitchen (715 SF). Demo and replacement of roof (1,345 sf). Replacement of select windows and doors.

PROJECT TEAM

Owner/Client:
 ROBERT & SUSIE HARRIS
 933 Cherrylvale Road /
 5973 Dimmit Drive
 Boulder CO 80303
 Client Contact
 720.635.0753 - v
 hillharris@msn.com

Structural Engineer:
 ANTHEM STRUCTURAL
 2213 Central Avenue
 Boulder, CO 80301
 Contact: Dan Knapp
 dknapp@anthemstructural.com
 303.848.8497 x1

Architect:
 MELTON DESIGN/BUILD
 3082 Sterling Cir.
 Boulder, CO 80301
 Contact: Ryan Gruver
 ryan@meltontdb.com
 303.473.9542 - v

Interior Designer:
 MELTON DESIGN/BUILD
 3082 Sterling Cir.
 Boulder, CO 80301
 Contact: Jessica Walsh
 jessica@meltontdb.com
 303.473.9542 - v

General Contractor:
 MELTON DESIGN/BUILD
 3082 Sterling Cir.
 Boulder, CO 80301
 Contact: Graham Steers
 graham@meltontdb.com
 303.473.9542, x-105

Soils Engineer / Surveyor:
 GEOMET ENGINEERING
 1530 55th St #110
 Boulder, CO 80303
 Contact: Ryne Mettler, P.E.
 mettler@geometengineering.com
 209.712.2168 - v

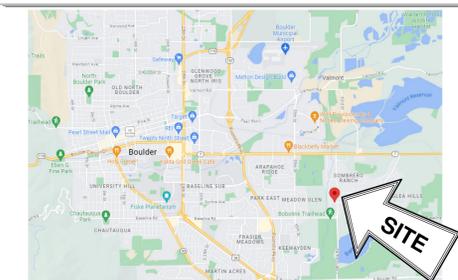
GENERAL NOTES

- ALL WORK TO BE DONE IN ACCORDANCE WITH CONSTRUCTION CRITERIA AND ALL LOCAL AND GOVERNING CODES.
- CONTRACTOR TO VERIFY EXACT UTILITY LOCATIONS BEFORE TRENCHING IF REQUIRED
- FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION - NOTIFY DESIGNER W/ ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO DEMOLITION - NOTIFY DESIGNER W/ ANY DISCREPANCIES PRIOR TO DEMOLITION.
- DEMOLISH EXISTING WALLS ON PLAN AS INDICATED IN DRAWINGS, WHILE REROUTING NECESSARY PLUMBING, ELECTRICAL, AND MECHANICAL AS REQUIRED.
- DO NOT SCALE DRAWINGS, WORK TO FIGURED DIMENSIONS.
- DRAWING DIMENSIONS AT EXIST. WALL LOCATIONS ARE TO FINISHED MATERIAL U.N.O. DRAWING DIMENSIONS AT NEW WALL LOCATIONS ARE TO ROUGH FRAMING U.N.O.
- CASEWORK DIMENSIONS ARE TO FACE OF CABINET U.N.O.
- GC TO REFERENCE INTERIOR DESIGNER'S SPECS FOR CABINETS, CASEWORK, COUNTERTOPS, AND APPLIANCES GOVERN THESE DRAWINGS.
- ALL RENDERINGS ARE BASED ON CURRENT DEVELOPMENT CONCEPTS, WHICH ARE SUBJECT TO CHANGE DURING THE DESIGN PROCESS. THE MATERIALS, FINISHES, SCALES, PROPORTIONS, AND LIGHTING DEPICTED MAY NOT REFLECT THE FINISHED PRODUCT.

ABBREVIATIONS

@	AT	H/C	HANDICAPPED
AB	ANCHOR BOLT	HDWD	HARDWOOD
ABV	ABOVE	HDWR	HARDWARE
AC	AIR CONDITIONER	HM	HOLLOW METAL
AD	ADDENDA	HORZ	HORIZONTAL
ADJ	ADJUSTABLE	HT	HEIGHT
AFF	ABOVE FINISHED FLOOR	HVAC	HEATING VENTILATION & AIR CONDITIONING
AL	ALUMINUM	ID	INSIDE DIAMETER
ALT	ALTERNATE	INS	INSULATION
ARCH	ARCHITECTURAL	INSUL	INSULATION
BD	BOARD	INT	INTERIOR
BLDG	BUILDING	LOC	LOCATION
BLK	BLOCK	LVL	LAMINATED VENEER LUMBER
BLKG	BLOCKING	LT	LIGHT
BM	BEAM	MCL	MICROLAM
BO	BOTTOM OF	MAX	MAXIMUM
BOD	BASIS OF DESIGN	MFR	MANUFACTURER
BOT	BOTTOM	MECH	MECHANICAL
BTM.	BOTTOM	MIN	MINIMUM
BRG	BEARING	MTL	METAL
BTWN	BETWEEN	(N)	NEW
CIP	CAST-IN-PLACE	N/S	NORTH/SOUTH
CLR.	CLEAR	NOM	NOMINAL
CMU	CONCRETE MASONRY UNIT	NTS	NOT TO SCALE
COL	COLUMN	OC	ON CENTER
CONC	CONCRETE	OH	OVER HANG
CONN	CONNECTION	OVHD	OVERHEAD
CONT	CONTINUOUS	PL	PROPERTY LINE
CTR	CENTER	PLAM	PLASTIC LAMINATE
CT	CERAMIC TILE	PLYWD	PLYWOOD
CL	CENTER LINE	PT	PRESSURE TREATED
DBL	DOUBLE	RE:	REFERENCE
DIA	DIAMETER	REF	REFRIGERATOR
DIR	DIRECTION	REINF	REINFORCE
DIM	DIMENSION	REQ'D	REQUIRED
DTL	DETAIL	RM	ROOM
DW	DISHWASHER	RO	ROUGH OPENING
DWG	DRAWING	SFR	SINGLE FAMILY RESIDENCE
EA	EACH	SHT	SHEET
ELEV	ELEVATION	SIM	SIMILAR
EQ	EQUAL	SPEC	SPECIFICATION
E-W	EAST-WEST	SOG	SLAB-ON-GRADE
ELEC	ELECTRICAL	S.S.	STAINLESS STEEL
ELEV	ELEVATION	STD	STANDARD
EQ	EQUAL	STL	STEEL
EQUIP	EQUIPMENT	STRUCT	STRUCTURAL
(E)	EXISTING	THK	THICK
EX	EXISTING	TO	TOP OF
EXP	EXPANSION	TYP	TYPICAL
EXT	EXTERIOR	T&B	TOP & BOTTOM
FDN	FOUNDATION	T&G	TONGUE & GROOVE
FF	FINISHED FLOOR	UNO	UNLESS NOTED OTHERWISE
FF&E	FURNITURE, FIXTURES, & EQUIPMENT	VCT	VINYL COMPOSITION TILE
FIN	FINISH	VIF	VERIFY IN FIELD
FLD	FIELD	VERT	VERTICAL
FOB	FACE OF BRICK	W/	WITH
FT	FEET	W/O	WITHOUT
FTG	FOOTING	WWF	WELDED WIRE FABRIC
GALV	GALVANIZED		
GRD BM	GRADE BEAM		
GYP BD	GYP SUM BOARD		
HC	HOLLOW CORE		

VICINITY MAP



DRAWING SHEET INDEX

A0.0	CODE SUMMARY, GENERAL NOTES, & LEGENDS
A0.1	ARCHITECTURAL SITE PLAN
A0.2	DEMO PLANS
A0.4	SITE CONDITION PHOTOS
A1.1	MAIN LEVEL FLOOR PLAN
A1.3	ROOF PLAN
A2.0	EXTERIOR ELEVATIONS
A2.1	EXTERIOR ELEVATIONS
A3.0	BUILDING/WALL SECTIONS
A5.0	DETAILS
A5.1	TRUSS PROFILES
A6.0	WINDOW + DOOR SCHEDULES
A7.0	REFLECTED CEILING PLAN
A8.0	ENLARGED FLOOR PLANS & INTERIOR ELEVATIONS
M1.0	MAIN LEVEL M.E.P. PLAN

STAMP



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NO.	REVISION DESCRIPTION	DATE

Harris Residence
 933 Cherrylvale Road / 5973 Dimmit Drive
 Boulder, Colorado 80303
 Addition/Renovation

Permit

CODE SUMMARY, GENERAL NOTES, & LEGENDS

SHEET SIZE: 24X36

JOB NO: 220680

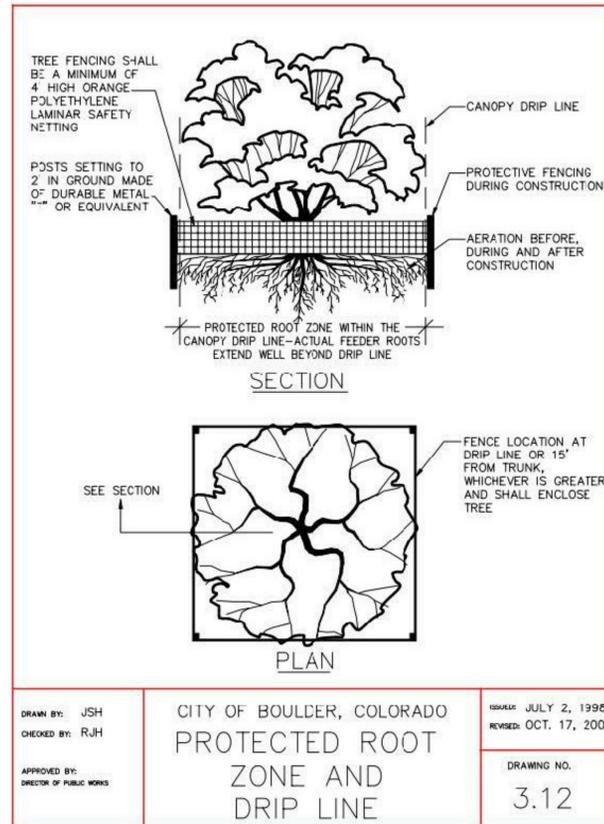
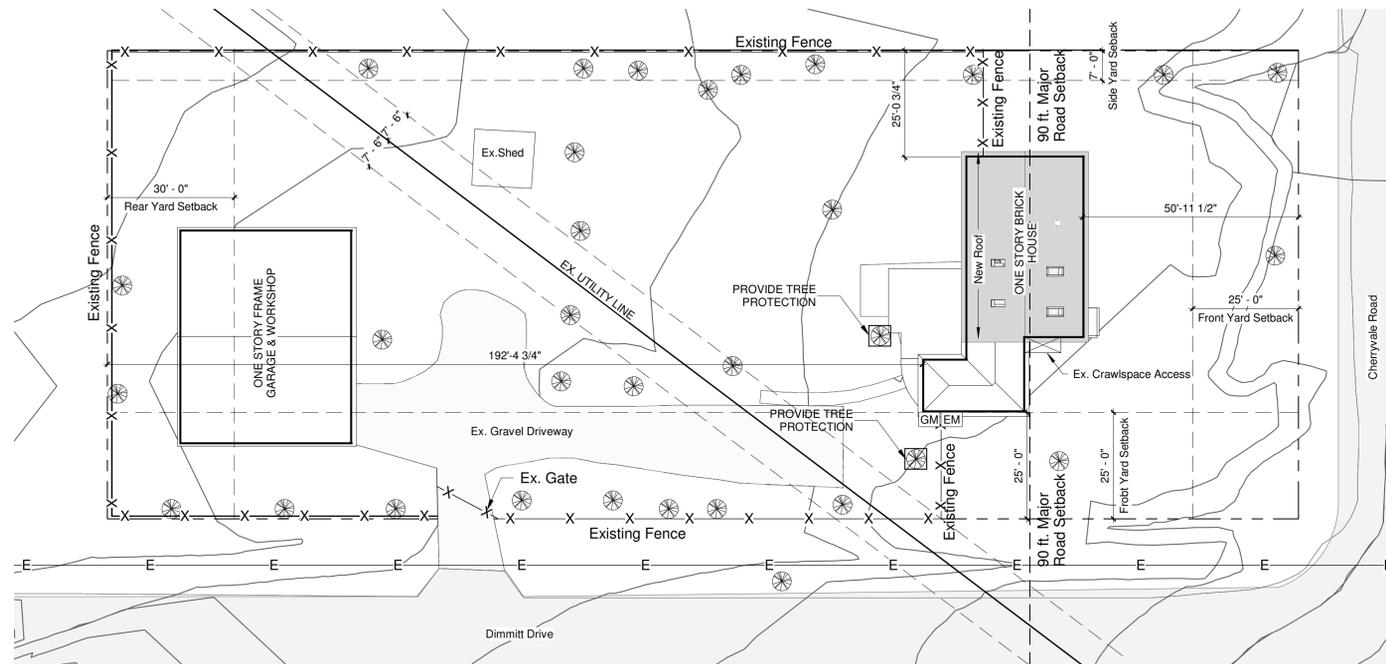
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CHECKED: RG

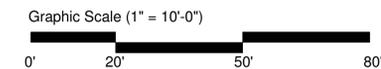
A0.0

1 SITE PLAN
1" = 20'-0"



SITE PLAN LEGEND

- Property or Zone Lot Line ————
- Required or Zone Lot Setback - - - - -
- 65% / 35% Zone Lot Depth Line ·······
- Spot Elevations at Original Grade ↕
- Exterior Building Footprint —————
- Roof Line - - - - -
- Structure Footprint - - - - -
- Perimeter Drain ————
- Utilities Overhead —OVH—OVH—OVH—OVH—
- Sewer Line —S—S—S—S—S—S—S—S—
- Fence —X—X—X—X—X—X—X—X—
- Water Line —W—W—W—W—W—W—
- Gas Line —G—G—G—G—G—G—
- Electrical Line —E—E—E—E—E—E—
- Deciduous Tree Gas Meter
- Coniferous Tree Electrical Meter
- Various Shrubs Electrical Panel
- Telephone Riser
- Water Meter



GENERAL SITE PLAN NOTES

- ALL WORK TO BE DONE IN ACCORDANCE WITH CONSTRUCTION CRITERIA AND ALL LOCAL GOVERNING CODES.
- EXISTING LANDSCAPING TO REMAIN U.N.O.
- FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION & NOTIFY DESIGNER W/ ANY DISCREPANCIES PRIOR TO CONSTRUCTION
- EXISTING CONC. CURB & GUTTER TO REMAIN U.N.O.
- RE: A102 FOR ADDITIONAL ROOF INFORMATION
- ALL GRADES TO SLOPE AWAY FROM STRUCTURE FOR A DISTANCE OF 5'-0", MIN 5% SLOPE
- ALL DOWNSPOUTS SHALL DISCHARGE ONTO CONC. SPLASH BLOCKS, & DISCHARGE MIN. 3'-0" FROM SIDE PROPERTY LINE
- CONTRACTOR TO VERIFY EXACT UTILITY LOCATIONS BEFORE TRENCHING.
- SUMP PUMP AND DISCHARGE LINE TO BE SIZED BY LICENSED PLUMBING CONTRACTOR FOR CAPACITY AND SCOPE.
- WEED BARRIER AND GRAVEL OR CRUSHED ROCK. A WEED BARRIER AND GRAVEL OR CRUSHED ROCK NOT LESS THAN 3/4-INCH IN DIAMETER APPLIED AT LEAST 2 INCHES THICK MUST BE INSTALLED BENEATH DECKS, UNENCLOSED FLOORS, AND AROUND THE PERIMETER OF THE BUILDING TO EXTEND AT LEAST 3 FEET BEYOND THE EXTERIOR WALLS AND AT LEAST 2 FEET BEYOND THE DRIP LINES OF DECKS, BAY WINDOWS AND OTHER EAVES AND OVERHANGS. (PER R327.4.13.1 AMENDMENTS TO BC BUILDING CODE)

MELTON
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STATE OF COLORADO
RYAN GRUVER
000405269
LICENSED ARCHITECT
7-1-2024

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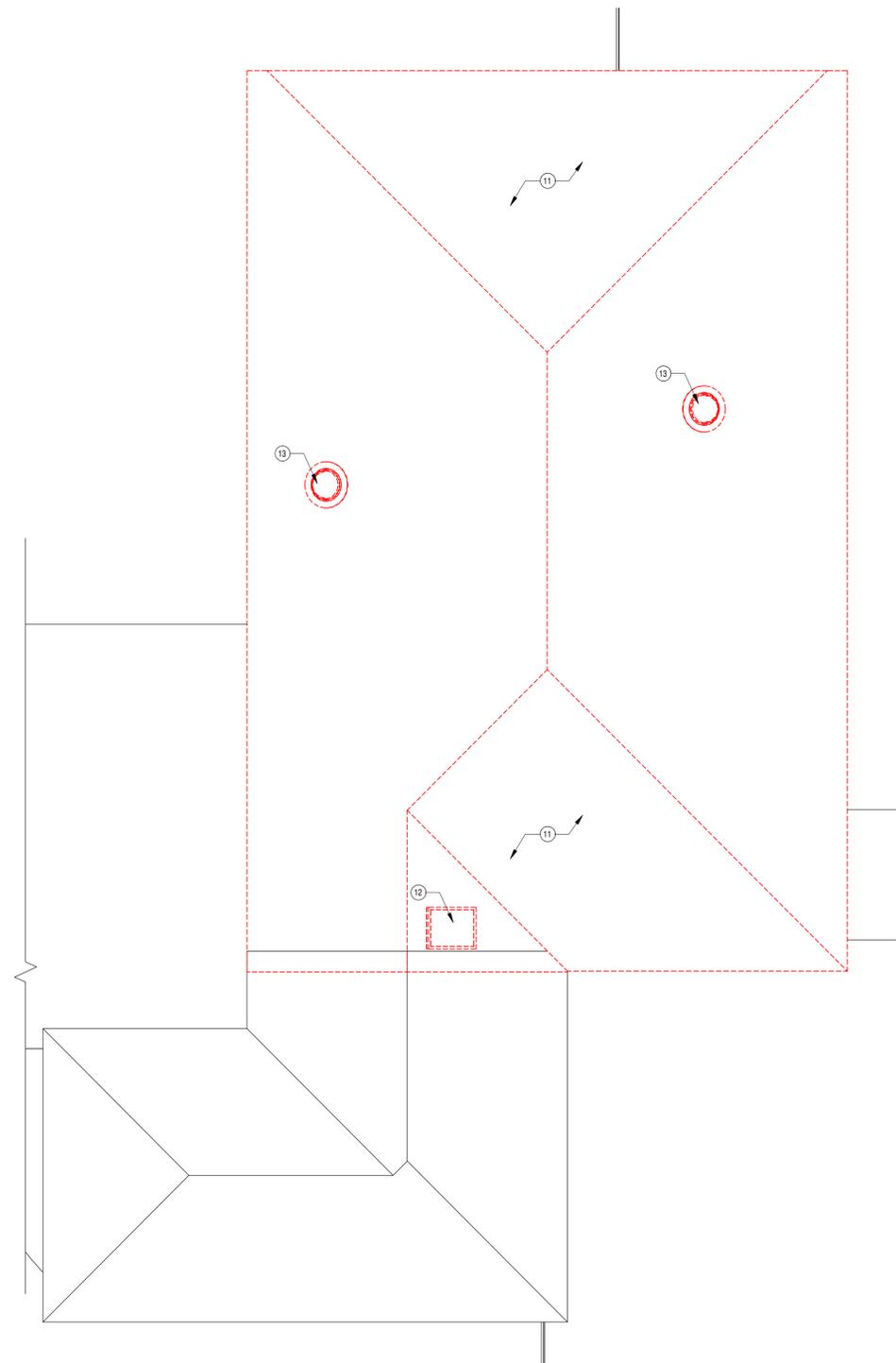
Permit

ARCHITECTURAL
SITE PLAN

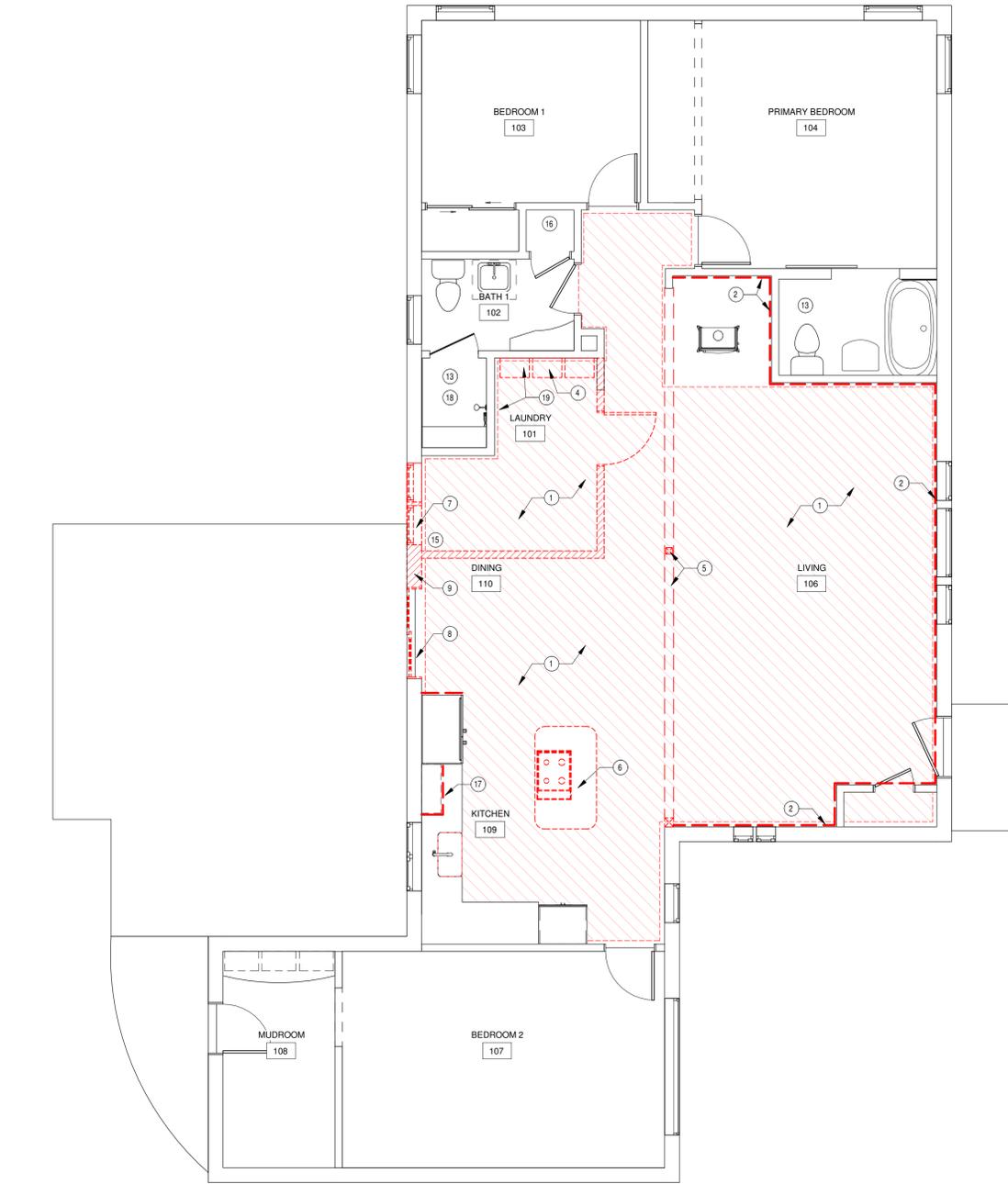
SHEET SIZE: 24X36

JOB NO:	220680
DATE:	07/1/24
DRAWN:	NS
CHECKED:	RG

A0.1



2 ROOF PLAN
1/4" = 1'-0"



1 MAIN LEVEL DECONSTRUCTION PLAN
1/4" = 1'-0"



DEMO PLAN LEGEND

- TYPICAL EXISTING WALLS TO REMAIN
- DEMO EXISTING WALLS
- DEMO AREA
- ADD/ ALT AREA

GENERAL DEMO PLAN NOTES

- WHETHER SPECIFICALLY INDICATED OR NOT, GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING PORTIONS OF EXISTING CONSTRUCTION AS REQUIRED TO COMPLETE WORK INDICATED.
- NO USE OF SALVAGED MATERIAL UNLESS SPECIFICALLY NOTED WILL BE ALLOWED.
- THE OWNER WILL HAVE FIRST RIGHT OF REFUSAL FOR ALL SALVAGE. COORDINATE WITH OWNER.
- REMOVE DEBRIS FROM SITE IMMEDIATELY AND DISPOSE OF LEGALLY.
- THE BUILDING AND GROUNDS SHALL BE KEPT CLEAN AND FREE OF REFUSE AT ALL TIMES.
- GC TO COORDINATE BRACING W/ STRUCTURAL ENGINEER PRIOR TO DEMOLITION
- FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO DEMOLITION - NOTIFY DESIGNER W/ ANY DISCREPANCIES PRIOR TO DEMOLITION.
- DEMOLISH EXISTING WALLS ON PLAN AS INDICATED IN DRAWINGS, WHILE REROUTING NECESSARY PLUMBING, ELECTRICAL, AND MECHANICAL AS REQUIRED.
- **ADDITIONAL SUSTAINABILITY MEASURES (CONSTRUCTION WASTE MANAGEMENT)** - NEW CONSTRUCTION, ADDITIONS, AND RENOVATIONS MUST COMPLY WITH CONSTRUCTION WASTE RECYCLING. AN APPLICANT FOR A BUILDING PERMIT FOR A NEW DWELLING OR AN ADDITION TO AN EXISTING DWELLING SHALL DEMONSTRATE ALL RECYCLABLE WOOD, METAL, AND CARDBOARD MATERIALS, WILL BE DONATED, REUSED, OR RECYCLED. DECONSTRUCTION MANAGEMENT. AN APPLICANT PROPOSING TO DEMOLISH MORE THAN 50 PERCENT OF EXTERIOR WALLS SHALL DEMONSTRATE THROUGH A DECONSTRUCTION PLAN THAT AT LEAST 65 PERCENT OF THE EXISTING BUILDING MATERIALS BY WEIGHT FROM THE DECONSTRUCTION, EXCLUDING CONCRETE AND ASPHALT, WILL BE DIVERTED FROM THE LANDFILL FOR REUSE OR RECYCLING. (PER IRC R324.1 & R324.2)

SHEET NOTES # - apply across all demo drawings

- 1 DEMO WOODEN F.F.
- 2 DEMO WALL CROWN
- 4 DEMO CABINERY & SALVAGE APPLIANCES FOR RE-USE
- 5 DEMO WOODEN BEAM & COLUMN
- 6 DEMO KITCHEN ISLAND, CABINERY, AND APPLIANCES
- 7 DEMO WINDOW, PREPARE FOR NEW OPENING, PER SCHEDULE
- 8 DEMO DOOR, PREPARE FOR NEW OPENING, PER SCHEDULE
- 9 DEMO WALL, PREPARE FOR NEW OPENING, PER SCHEDULE
- 11 DEMO ROOF, STRUCTURE, INSULATION, AND CEILING BELOW
- 12 DEMO SKYLIGHT
- 13 DEMO SOLAR TUBE TO BE REPLACED
- 15 REMOVE WATER FILTER & SOFTENER, SALVAGE FOR RE-INSTALL
- 16 DEMO WATER HEATER
- 17 SALVAGE CABINERY PANELING AND CROWN AS NEEDED FOR ROOF DEMO TO BE RE-INSTALLED
- 18 CAREFULLY DEMO CEILING TILE, PRESERVE WALL TILE
- 19 RELOCATE EX. STEAM SHOWER UNIT IN CRAWL SPACE PER DETAIL 5/A5.0 IN NEW LOCATION



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DEMO PLANS

SHEET SIZE: 24X36

JOB NO: 220680

DATE: 07/1/24

DRAWN: NS

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A0.2



Existing Front



Existing Back



Existing Crawlspace



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SITE CONDITION PHOTOS

SHEET SIZE: 24X36

JOB NO: 220680

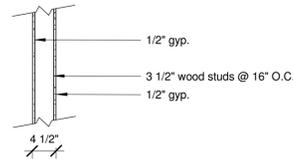
DATE: 07/11/24

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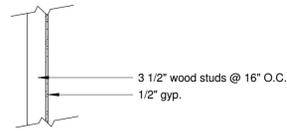
A0.4

WALL ASSEMBLIES



W-1 - Interior Partition Wall Assembly

Notes:
XX* indicates top of wall elevation



W-2 - Interior Partition Wall Gyp. 1 side

Notes:
XX* indicates top of wall elevation

PLAN LEGEND

Plan Detail: 1 SIM A101 (Detail number, Sheet number)

Building & Wall Section: 1 SIM A101 (Direction of wall cut, Building Section Number, Sheet where shown)

Interior Elevation Marker: 1 Ref A101 (Drawing/Detail Number, Sheet where shown)

Elevation Marker: 10'-0" AFF (Exact Dimension, Description as Req'd)

Room Designation: 101

Partition Type: P1

Window Tag: 11

Door Tag: 101

Keyed Sheet Note: 1

Centerline: CL

Property Line: PL

Revision Indicator: 1

Elevation Tag: 1

Gas Meter: GM Telephone Riser: TR

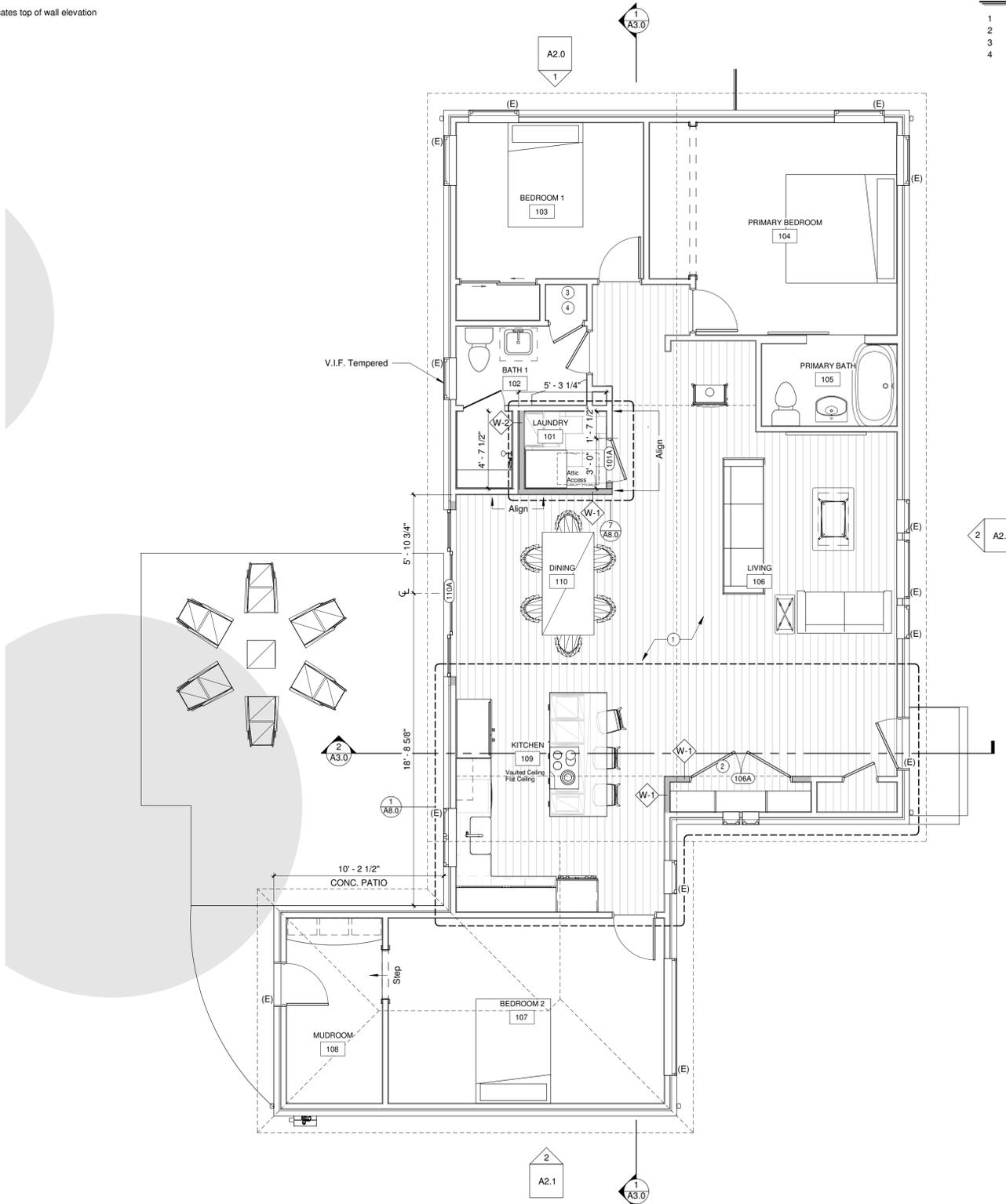
Electrical Meter: EM Water Meter: WM

Electrical Panel: ELEC

Graphic Scale (1/4" = 1'-0")

SHEET NOTES

- 1 NEW WOODEN FLOOR PER PSS
- 2 NEW WALLS & DOOR NOT INCLUDED IN ADD/ALT
- 3 NEW TANKLESS WATER HEATER
- 4 RE-INSTALL WATER FILTER & SOFTENER



1 MAIN LEVEL PLAN
1/4" = 1'-0"

GENERAL PLAN NOTES

- THE PARTITION TYPES AND PARTITION DETAILS ARE THE MOST TYPICAL USED. WHERE A PARTITION TYPE OR PARTITION DETAIL VARIES ONLY SLIGHTLY FROM A DRAWN TYPE OR DETAIL, THE ABBREVIATION "SIM" SHALL BE USED ADJACENT TO THE PARTITION TYPE REFERENCE OR DETAIL REFERENCE. ANY PARTITION TYPE OR PRINCIPAL PARTITION DETAIL NOT TYPICAL OR EVEN SIMILAR SHALL BE CONSTRUCTED IN A LOGICAL MANNER, USING PRINCIPLES EVIDENT IN THE DESIGN OF TYPICAL AND SIMILAR TYPES AND DETAILS, COMPLYING WITH FINISH REFERENCES.
- DRAWING DIMENSIONS AT EXISTING WALL LOCATIONS ARE TO FINISHED MATERIAL U.N.O.
- DRAWING DIMENSIONS AT NEW WALL LOCATIONS ARE TO ROUGH FRAMING U.N.O.
- ALL VERTICAL DIMENSIONS ARE DENOTED FROM T.O. SLAB OR T.O. SUBFLOOR, U.N.O.
- DOOR & WINDOW DIMS. ARE TO CENTERLINE U.N.O.
- CASEWORK DIMS. ARE TO FACE OF CABINET U.N.O.
- WHERE PARTITIONS OR WALLS HAVE BEEN REMOVED, PATCH & FINISH TO MATCH ADJACENT SURFACES.
- ALL GYP. BOARD TO MATCH EX. U.N.O.
- U.N.O., DRYWALL FINISH TO MATCH EXISTING
- TILE BACKER BOARD SHALL BE INSTALLED BEHIND ALL WET LOCATION TILE FINISH
- GC SHALL PROVIDE CONTINUOUS INSULATION ON ALL PLUMBING SUPPLY & WASTE LINES @ EXTERIOR WALLS WITHIN 24" OF EXTERIOR WALLS
- ALL GLASS @ SHOWER LOC. MUST BE TEMP. GLASS
- P.T. WOOD TO BE USED WHEN WOOD IS IN CONTACT WITH CONCRETE FOUNDATION
- BASE & CASE TO MATCH EX. PROFILE AND FINISH U.N.O.
- FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION
- NOTIFY DESIGNER W/ ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- DO NOT SCALE DRAWINGS, WORK TO FIGURED DIMS.
- RE: INTERIOR DESIGNER'S SPEC'S FOR CABINETS, CASEWORK, COUNTERTOPS, FIXTURE SELECTIONS, & APPLIANCE INFORMATION
- INTERIOR DESIGNER'S SPEC'S FOR CABINETS, CASEWORK, COUNTERTOPS, AND APPLIANCES GOVERN THESE DRAWINGS.
- **AIR SEALING/INS.** - ALL (NEW) ACCESS PANELS REQ. R15 MIN. RIGID FOAM APPLIED TO BACK SIDE, WEATHER STRIPPING TO BE APPLIED TO ALL 4 EDGES OF PANEL

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MAIN LEVEL FLOOR PLAN

SHEET SIZE: 24X36

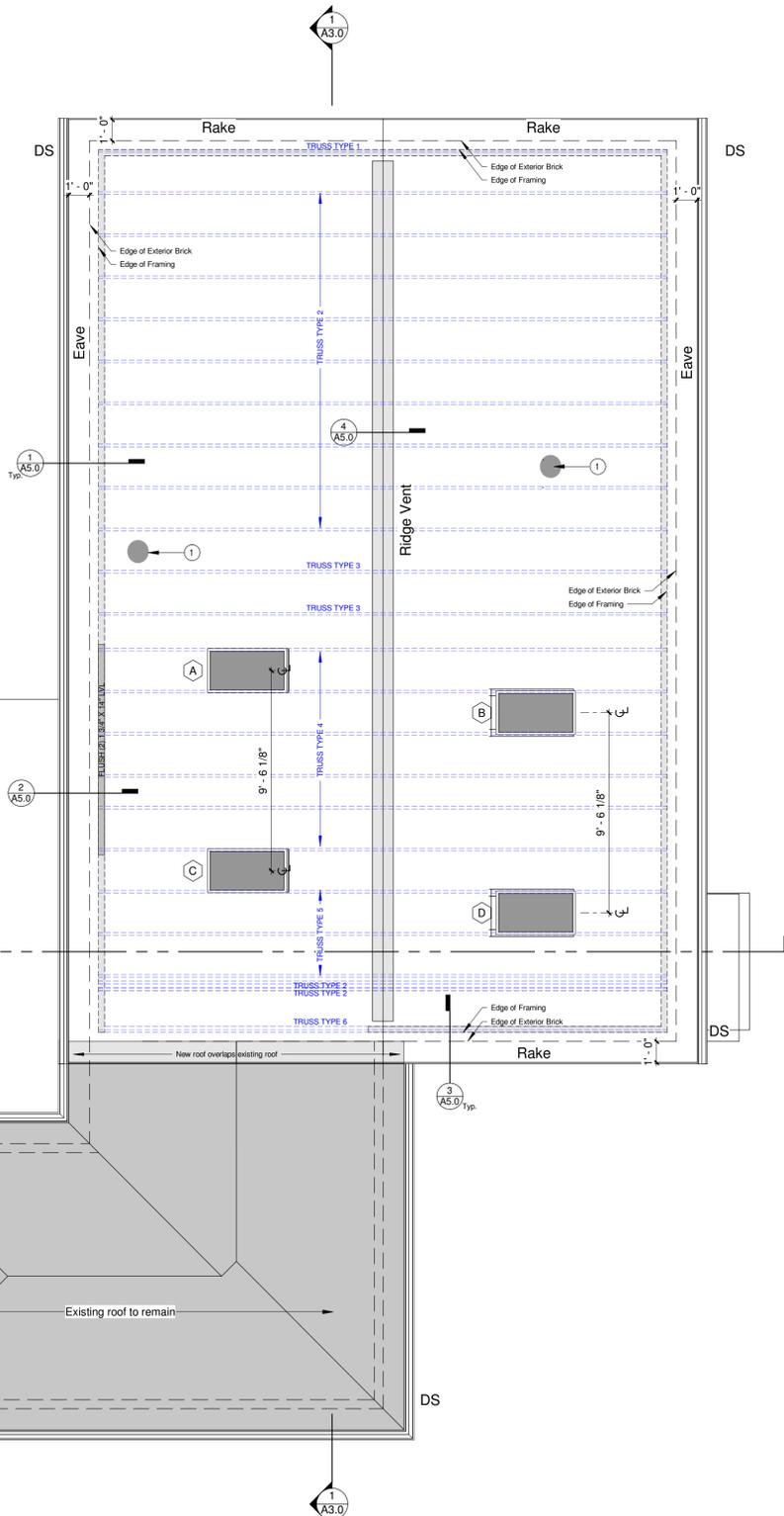
JOB NO: 220680

DATE: 07/11/24

DRAWN: KL

CHECKED: RG

A1.1



1 ROOF PLAN
1/4" = 1'-0"

ROOF PLAN LEGEND

- Plan Detail: Detail number: 1, Sheet number: A101
- Building & Wall Section: Direction of wall cut, Building Section Number, Sheet where shown
- Elevation Marker: Exact Dimension, Designation as Roof
- Window/Skylight Tag: 11
- Keyed Sheet Note: 1
- Centerline: Centerline
- Property Line: Property Line
- Revision Indicator: Revision Indicator

Graphic Scale (1/4" = 1'-0")



GENERAL ROOF PLAN NOTES

- ALL DIMENSIONS ARE FOR GENERAL ARRANGEMENT AND LOCATION ONLY. ACTUAL REQUIREMENTS AND DIMENSIONS ARE TO BE VERIFIED AND COORDINATED WITH EQUIPMENT, OTHER CONSTRUCTION TRADES, SHOP DRAWINGS AND STRUCTURAL FRAMING.
- RE: SITE PLAN FOR GUTTERS & DOWNSPOUTS INFO.
- FLASH ALL ROOF TO WALL & ROOF TO ROOF CONNECTIONS AND ALL ROOF PENETRATIONS
- ALL FLOOR & ROOF TRUSSES TO BE FABRICATED AND DESIGNED UNDER THE SUPERVISION OF A COLORADO LICENSED STRUCTURAL ENGINEER
- ALL OVER FRAMING TO BEAR DIRECTLY ON TRUSSES OR OVER SOLID INTERMEDIATE BLOCKING BETWEEN TRUSSES.
- EACH ATTIC SPACE AT NEW TRUSSES TO HAVE 22"X30" ATTIC ACCESS LOCATED IN A HALLWAY OR OTHER READILY ACCESSIBLE LOCATION. HEADROOM SHALL BE A MINIMUM 30". WEATHER STRIP AND INSULATE ALL NEW ATTIC ACCESS.

SHEET NOTES #

1 New sola-tube, coordinate location with interior plan.



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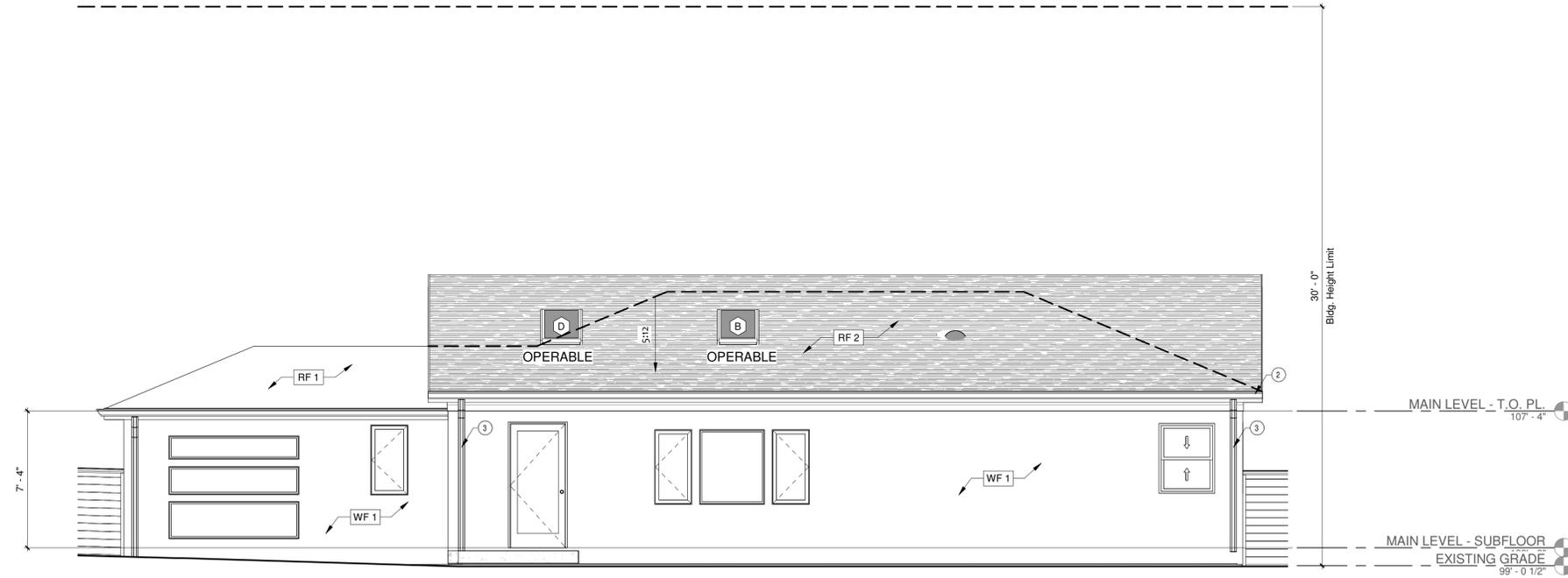


NO.	REVISION DESCRIPTION	DATE

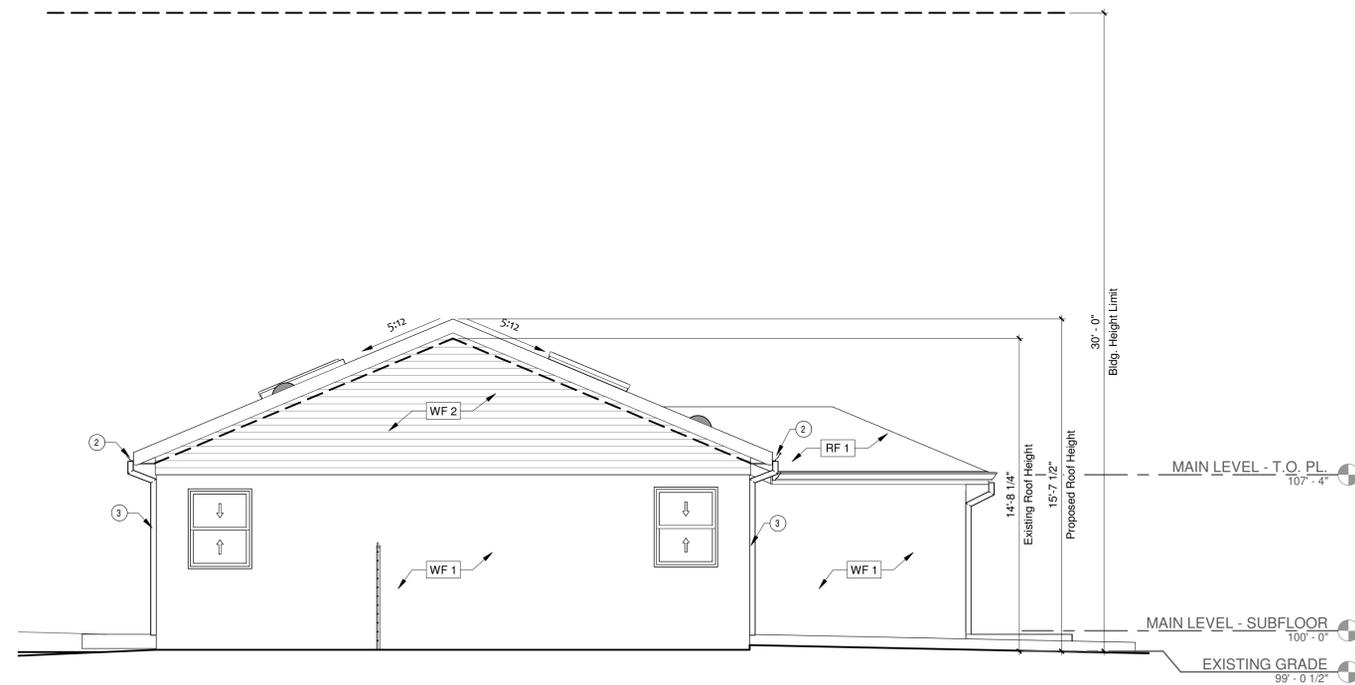
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Permit	
ROOF PLAN	
SHEET SIZE: 24X36	
JOB NO:	220680
DATE:	07/1/24
DRAWN:	NS
CHECKED:	RG

A1.3



2 EAST ELEVATION
1/4" = 1'-0"



1 NORTH ELEVATION
1/4" = 1'-0"

ELEVATION LEGEND

- EXISTING ROOFLINE
- WF 1 EXISTING BRICK
- WF 2 PATCH WALL (TBD)
- RF 1 EXISTING ROOF
- RF 2 ASPHALT ROOF W/ICE & WATER SHIELD / VENTED

- RE: ASSEMBLIES FOR ADDITIONAL INFO (A1.1, A3.0, & A6.0)

03R4211C S4-ALE (1/4" = 8" - 0") 16'

GENERAL ELEVATION NOTES

- WINDOWS MARKED (T) SHALL COMPLY 2018 IRC SECTION R308.4 REGARDING HAZARDOUS LOCATIONS
- WINDOWS MARKED (E) TO COMPLY WITH 2018 IRC SECTION R310 FOR EMERGENCY EGRESS
- GC TO PROVIDE FLASHING, CAULKING OR OTHER MEANS NECESSARY TO PREVENT MOISTURE PENETRATION AT ALL MATERIAL TRANSITIONS
- GC TO PROVIDE MEMBRANE FLASHING 12" AROUND WINDOW OPENINGS.
- GC TO PROVIDE GUTTERS AND DOWNSPOUTS ON ALL ROOFS TYP., PROVIDE SPLASH BLOCKS, OR LEADERS (MIN. 5'-0" EXTENSION)
- SEE ROOF PLANS FOR OVERHANG DEPTHS
- WINDOWS THAT ARE TAGGED ARE NEW OR REPLACED, EX. WINDOWS TO REMAIN ARE NOT TAGGED, TYP.

SHEET NOTES # - apply across all elevation pages

- 1 PATCH, REPAIR, AND FILL W/ BRICK AS NEEDED
- 2 NEW K-STYLE GUTTERS
- 3 NEW DOWN SPOUT

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EXTERIOR ELEVATIONS

SHEET SIZE: 24X36

JOB NO: 220680

DATE: 07/1/24

DRAWN: NS

CHECKED: RG

A2.0

NO.	REVISION DESCRIPTION	DATE

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Permit

EXTERIOR ELEVATIONS

SHEET SIZE: 24X36

JOB NO: 220680

DATE: 07/11/24

DRAWN: NS

CHECKED: RG

A2.1

ELEVATION LEGEND

- EXISTING ROOFLINE
- WF 1 EXISTING BRICK
- WF 2 PATCH WALL (TBD)
- RF 1 EXISTING ROOF
- RF 2 ASPHALT ROOF W/ICE & WATER SHIELD / VENTED

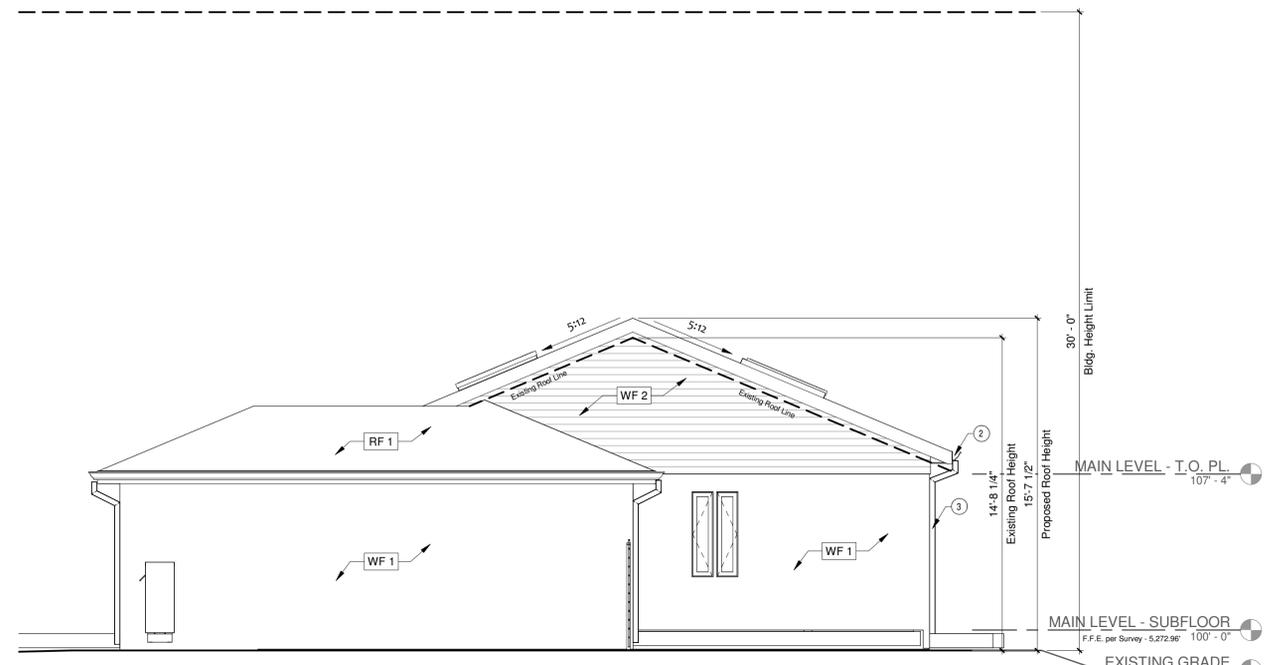
- RE: ASSEMBLIES FOR ADDITIONAL INFO (A1.1, A3.0, & A6.0)
03RA211C S4-ALE (1/4" = 8" - 0") 16'

GENERAL ELEVATION NOTES

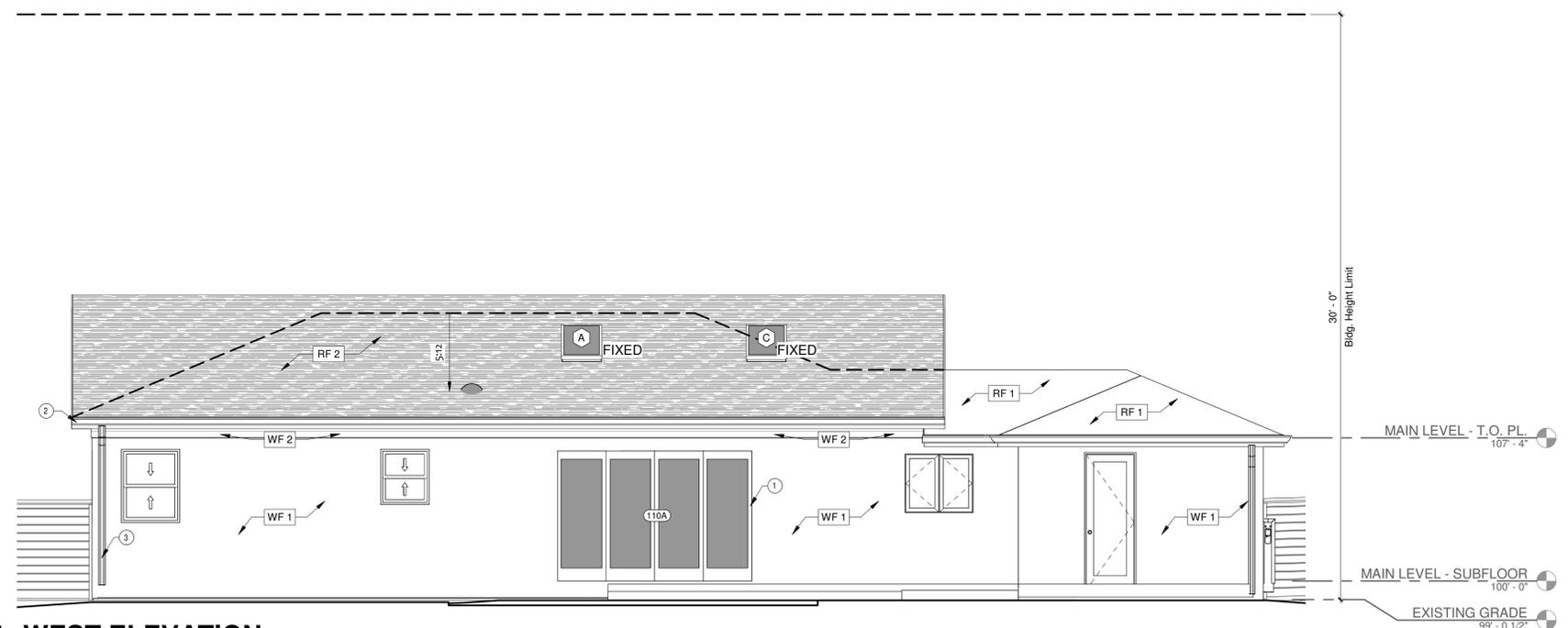
- WINDOWS MARKED (T) SHALL COMPLY 2018 IRC SECTION R308.4 REGARDING HAZARDOUS LOCATIONS
- WINDOWS MARKED (E) TO COMPLY WITH 2018 IRC SECTION R310 FOR EMERGENCY EGRESS
- GC TO PROVIDE FLASHING, CAULKING OR OTHER MEANS NECESSARY TO PREVENT MOISTURE PENETRATION AT ALL MATERIAL TRANSITIONS
- GC TO PROVIDE MEMBRANE FLASHING 12" AROUND WINDOW OPENINGS.
- GC TO PROVIDE GUTTERS AND DOWNSPOUTS ON ALL ROOFS TYP., PROVIDE SPLASH BLOCKS, OR LEADERS (MIN. 5'-0" EXTENSION)
- SEE ROOF PLANS FOR OVERHANG DEPTHS
- WINDOWS THAT ARE TAGGED ARE NEW OR REPLACED, EX. WINDOWS TO REMAIN ARE NOT TAGGED, TYP.

SHEET NOTES # - apply across all elevation pages

- 1 PATCH, REPAIR, AND FILL W/ BRICK AS NEEDED
- 2 NEW K-STYLE GUTTERS
- 3 NEW DOWN SPOUT



2 SOUTH ELEVATION
1/4" = 1'-0"



1 WEST ELEVATION
1/4" = 1'-0"



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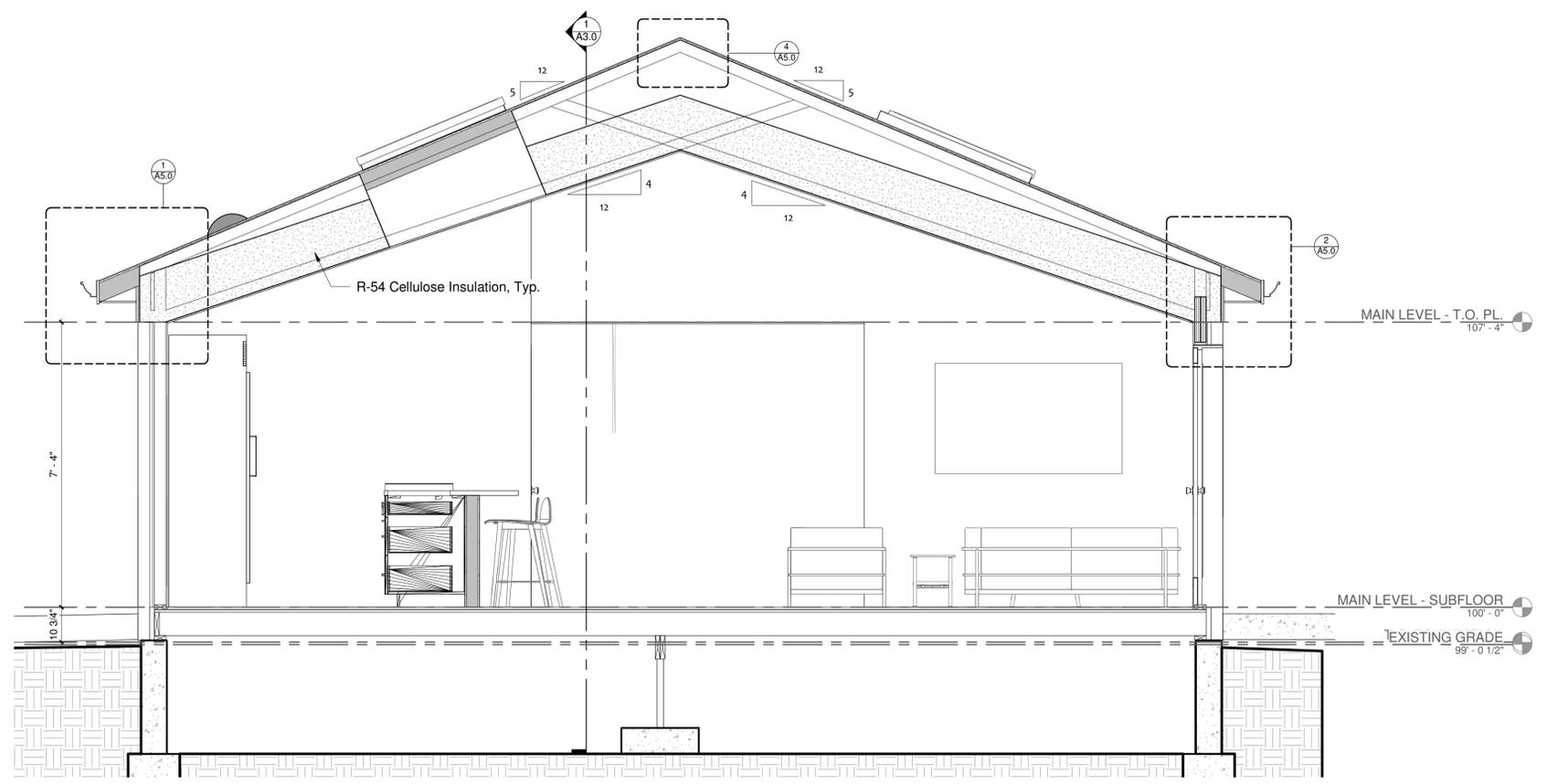


GENERAL SECTION NOTES

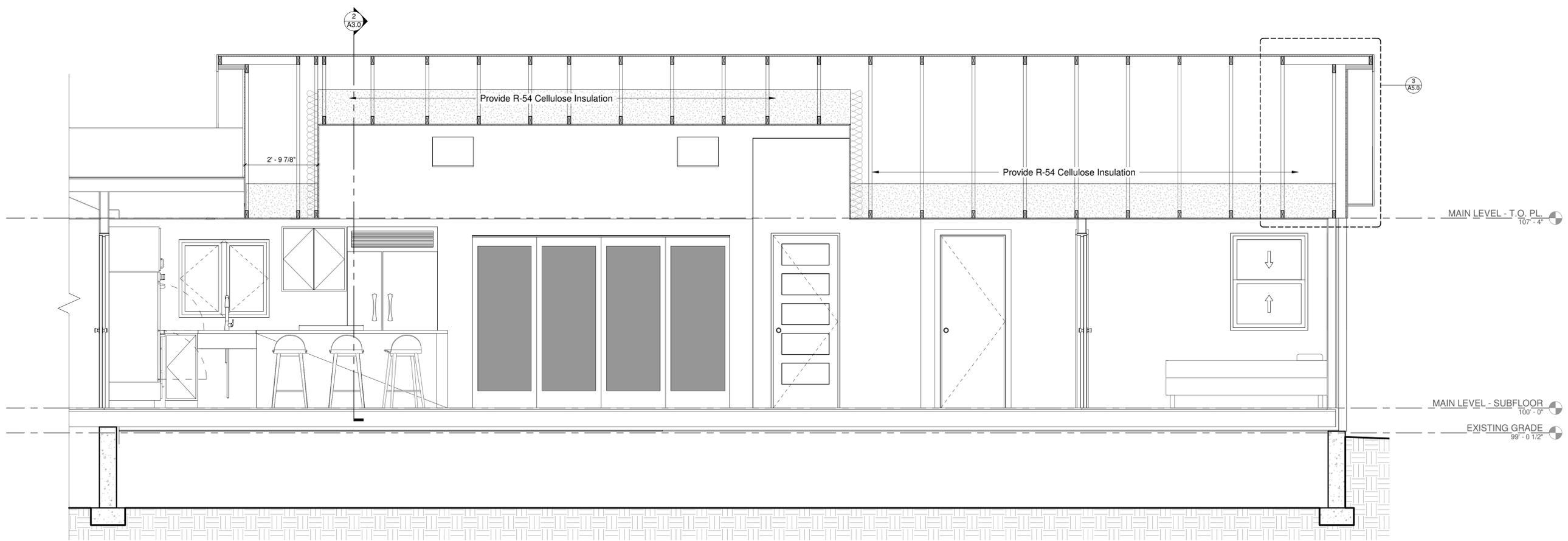
- ALL AIR BARRIERS AND INSULATION SHALL BE INSTALLED TO MANUFACTURER'S SPECIFICATIONS.
- NEW WALLS, WINDOWS, PENETRATIONS (PLUMBING, DUCT, UTILITY, ETC.) SHALL BE SEALED PER CITY OF BOULDER ENERGY CONSERVATION CODE (COBECC) AND CURRENT IRC REQUIREMENTS.
- CONTINUOUS AIR AND THERMAL BARRIER SHALL BE PROVIDED AT NEW WALLS.
- GRAPHIC SCALE BELOW (1/2" = 1' - 0")
- GRAPHIC SCALE BELOW (1/4" = 1' - 0")
- AIR SEALING/INS. (RIM JOISTS) - ALL (NEW) RIM JOISTS TO HAVE 2" RIGID INS. OR CLOSED CELL SPRAY INS., RIGID INS. SHALL BE CAULKED
- AIR SEALING (EXT. SHEATHING) - ALL (NEW) SHEATHING PENETRATIONS TO BE SEALED WITH CLOSED CELL SPRAY FOAM OR CAULK
- AIR SEALING (ATTIC) - ALL (NEW) ATTIC UTILITY PENETRATIONS TO BE SEALED WITH CLOSED CELL SPRAY FOAM OR CAULK

SHEET NOTES # - apply across all section pages

1 Not Used - Section Sheet Note



2 TRANSVERSE SECTION
1/2" = 1'-0"



1 Longitudinal Section
1/2" = 1'-0"

NO.	REVISION DESCRIPTION	DATE

Harris Residence
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Addition/Renovation

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BUILDING/WALL SECTIONS

SHEET SIZE: 24X36

JOB NO: 220680

DATE: 07/1/24

DRAWN: NS

CHECKED: RG

A3.0

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DETAIL LEGEND

Graphic Scale: 1/8" = 1'-0"



Graphic Scale: 1/4" = 1'-0"



Graphic Scale: 1/2" = 1'-0"



Graphic Scale: 3/4" = 1'-0"



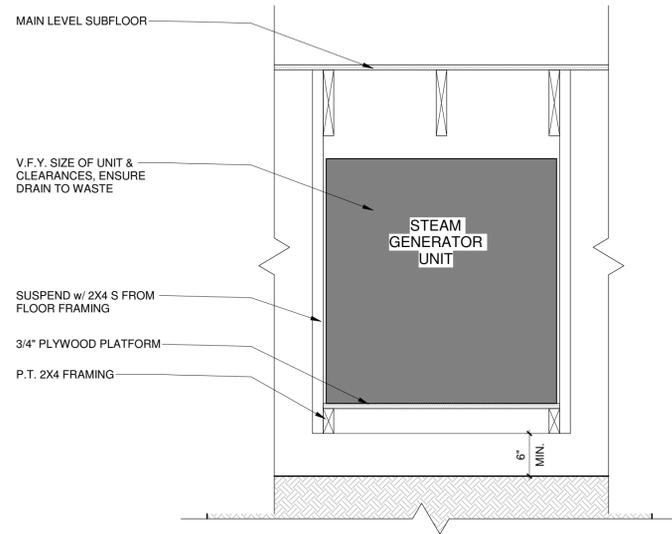
Graphic Scale: 1" = 1'-0"



Graphic Scale: 1 1/2" = 1'-0"

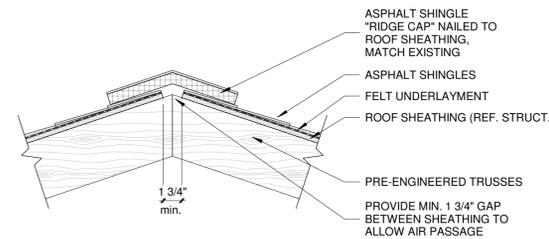


Graphic Scale: 3" = 1'-0"



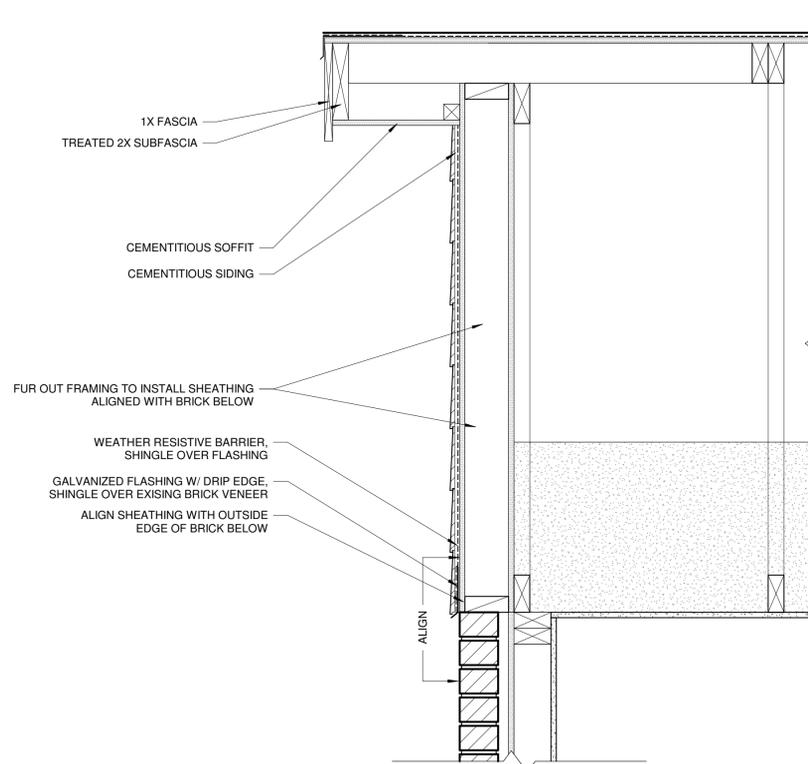
5 Steam Generator Support

1" = 1'-0"



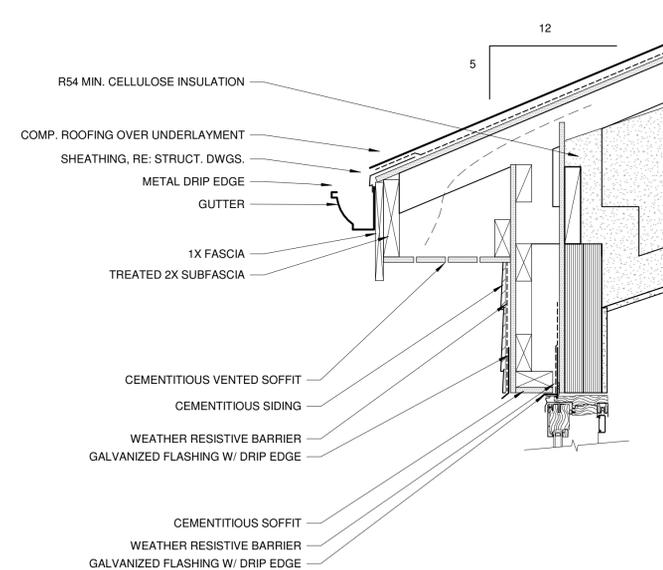
4 Ridge Vent

1 1/2" = 1'-0"



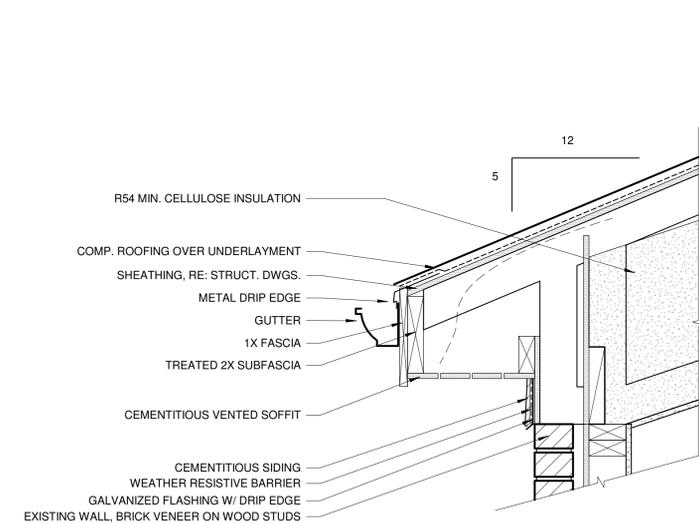
3 Gable end wall

1 1/2" = 1'-0"



2 Vented Eave @ Flush Structural Header

1 1/2" = 1'-0"



1 Vented Eave

1 1/2" = 1'-0"



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DETAILS

SHEET SIZE: 24X36

JOB NO: 220680

DATE: 07/1/24

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A5.0



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TRUSS PROFILES

SHEET SIZE: 24X36

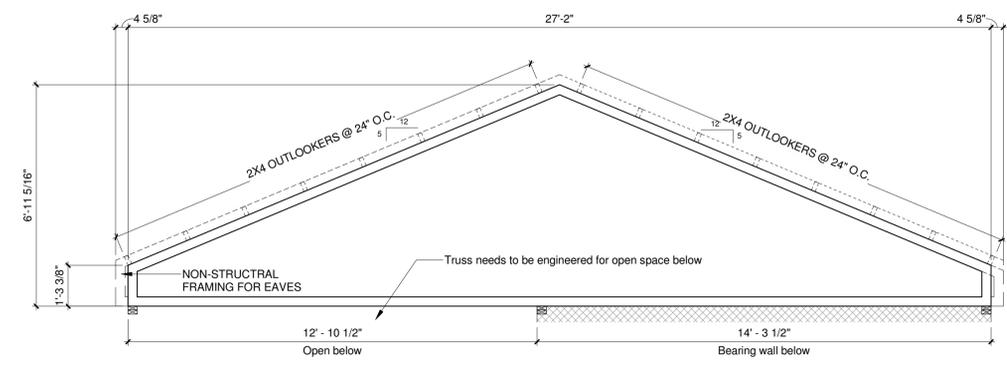
JOB NO: 220680

DATE: 07/1/24

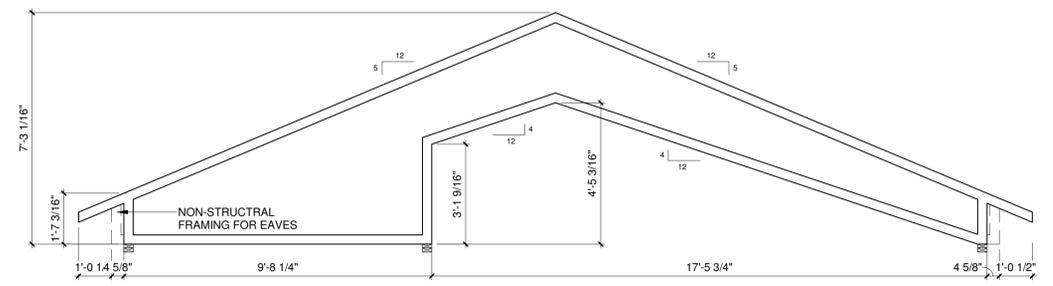
DRAWN: Author

CHECKED: RG

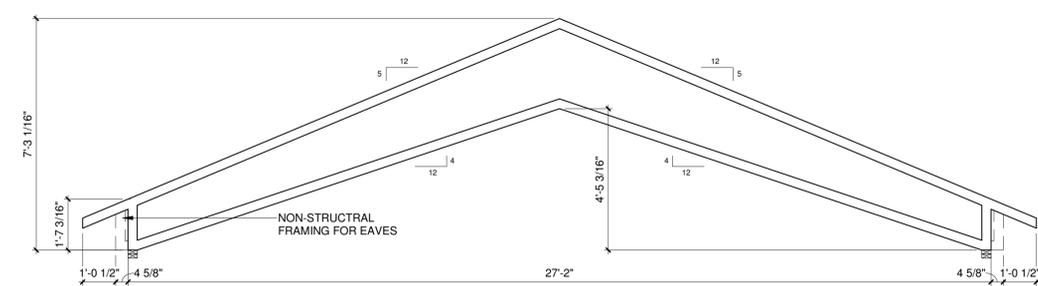
A5.1



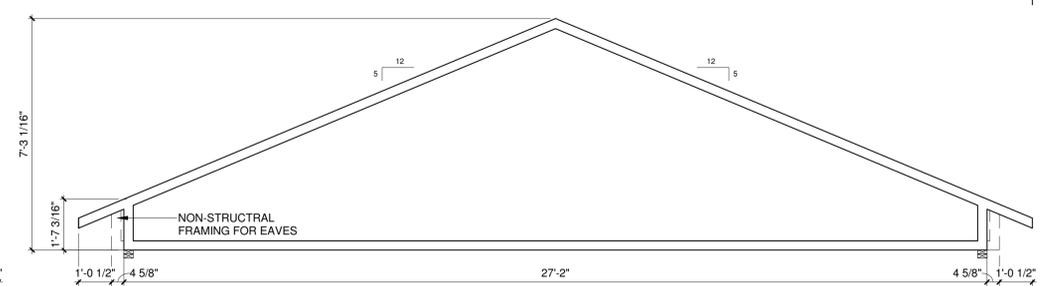
Truss type 6 - Structural gable-end truss



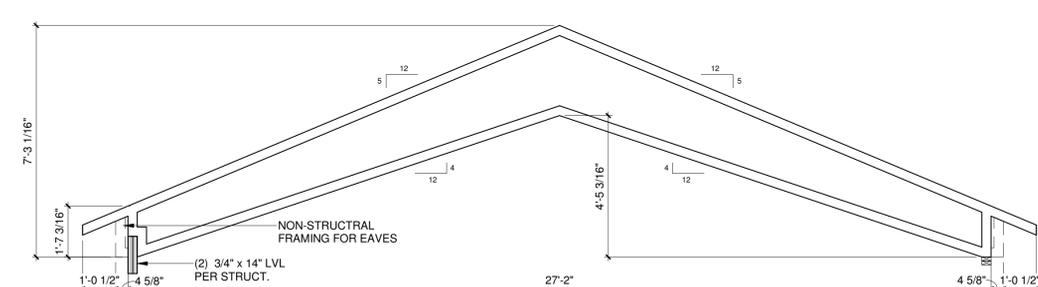
Truss type 3 - flat & vaulted



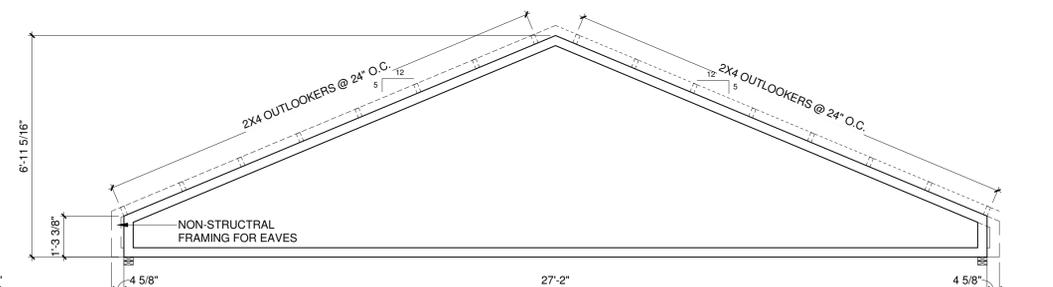
Truss type 5 - vaulted ceiling



Truss type 2 - flat ceiling



Truss type 4 - vaulted w/ flush beam @ one end



Truss type 1 - Gable-end truss

1 Truss Profiles
3/8" = 1'-0"

BIM 360://Harris/Harris - 220680.rvt

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DOOR SCHEDULE

RE: GENERAL DOOR NOTES BELOW FOR ADDT. INFO.

SYM. #	UNIT SIZE		DESCRIPTION						DOOR HARDWARE		COMMENTS
	W	H	DOOR TYPE	MFR.	MODEL	OPERATION	EXT. FINISH	INT. FINISH	TYPE	FINISH	
101A	2' - 6"	6' - 8"	4 light, int.	N/A	N/A	LH Swing	N/A	N/A	Passage	Use Existing	EXISTING DOOR TO BE RE-INSTALLED
106A	6' - 0"	6' - 8"	Double Swing			DOUBLE SWING	Primed & Painted	Primed & Painted	Dummy Lever	Satin nickel	REMOVED FROM SCOPE IF ADD ALT. 2 IS ACCEPTED
110A	10' - 0"	6' - 8"	Bi-part sliding door	TBD	TBD	OXXO	Clad Black	Primed & painted	Flush interior lockable	WHITE	WHITE INTERIOR

GENERAL DOOR NOTES

- G.C. TO VERIFY ALL ROUGH OPENINGS PRIOR TO ORDERING.
- ALL EXTERIOR DOOR SIDES TO BE PRIMED & PAINTED U.N.O.
- RE: GENERAL NOTES FOR BASE & CASE PROFILE / FINISH
- REVIEW PRIVACY GLASS OPTIONS & TRANSPARENCY W/OWNER PRIOR TO ORDERING.
- REVIEW HANDING, SCREEN LOC., & HARDWARE W/OWNER PRIOR TO ORDERING.
- GLAZING TO BE TEMPERED TO MEET CODE REQUIREMENT.
- RE: ALL FLOOR PLANS FOR COMPLETE DOOR SCHEDULE
- ALL EXTERIOR DOOR FRAMES TO BE SEALED W/CLOSED CELL SPRAY FOAM INS.

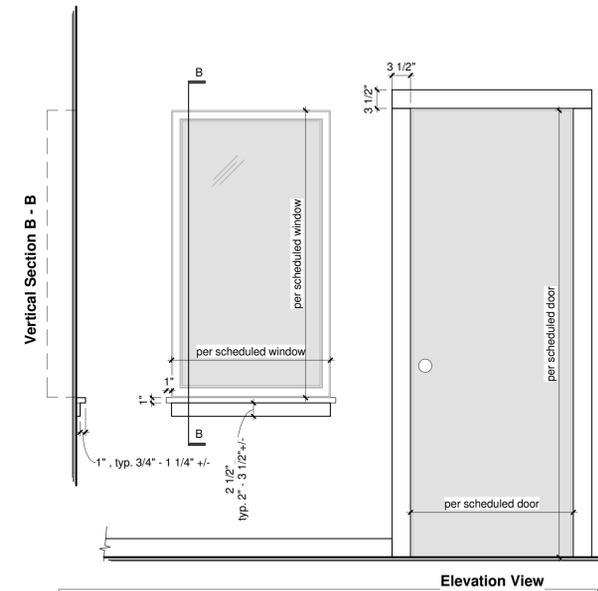
WINDOW SCHEDULE

RE: GENERAL WINDOW NOTES BELOW FOR ADDT. INFO.

SYM. #	UNIT SIZE		DESCRIPTION							FINISH		ENERGY CODE		COMMENTS	
	W	H	OPERATION	MATERIAL	SILL HT.	HEAD HT.	MFR.	MODEL	SCREEN	EXT.	INT.	HARDWARE	U-FACTOR		PG RATING
A	2' - 0"	4' - 0"	Fixed				Velux	Solar					0.43 or Better	26 or Better	
B	2' - 0"	4' - 0"	Vented				Velux	Solar	Yes				0.43 or Better	26 or Better	
C	2' - 0"	4' - 0"	Fixed				Velux	Solar					0.43 or Better	26 or Better	
D	2' - 0"	4' - 0"	Vented				Velux	Solar	Yes				0.43 or Better	26 or Better	

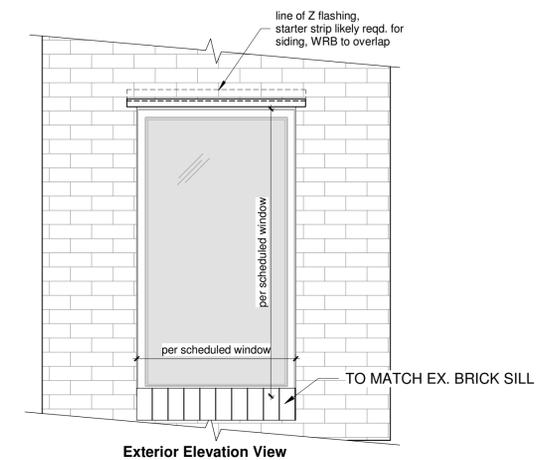
GENERAL WINDOW NOTES

- G.C. TO VERIFY ALL ROUGH OPENINGS PRIOR TO ORDERING.
- WINDOWS TO BE TEMPERED TO MEET CODE REQUIREMENTS.
- RE: GENERAL NOTES FOR BASE & CASE PROFILE / FINISH
- REVIEW HANDING & SCREEN LOCATION W/OWNER PRIOR TO ORDERING.
- REVIEW HARDWARE MOUNTING LOCATION AND COLOR WITH OWNER.
- WINDOW MULLING PER MANUFACTURER SPECIFICATIONS.
- SKYLIGHT U-VALUE = 0.43 OR BETER
- SKYLIGHT GLASS TO BE RATED FOR 160 MPH WIND SPEED MIN., PG 26 MIN.
- WINDOW U VALUE = 0.30 OR BETTER
- WINDOW GLASS TO BE RATED FOR 160 MPH WIND SPEED MIN., PG 30 MIN.
- WINDOWS TO MEET DESIGN WIND LOAD PRESSURES SPECIFIED IN IRC TABLE R301.2
- ALL WINDOW FRAMES TO BE SEALED W/CLOSED CELL SPRAY FOAM INS.



Detail Note:

- Casement B.O.D. is 3/4" stock with 3/8" reveal from door/window frame, coordinate w/door strike & strike plate to make final determination in field and reach out to designer if reqd.
- Base B.O.D. is 1/2" stock
- primed/finger jointed stock, painter must sand down (smooth) all finger jointed areas prior to painting
- sill shall be solid wood, primed, & painted



Detail Note:

- GC to coordinate stud spacing during framing to allow for proper finish batten spacing, addt. blocking likely reqd.
- trim around windows & doors with attachment flanges may req. shim strip to build out the wall even with the flange

MELTON
Design Build

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WINDOW + DOOR SCHEDULES

SHEET SIZE: 24X36

JOB NO: 220680
DATE: 07/11/24
DRAWN: NS
CHECKED: RG

A6.0

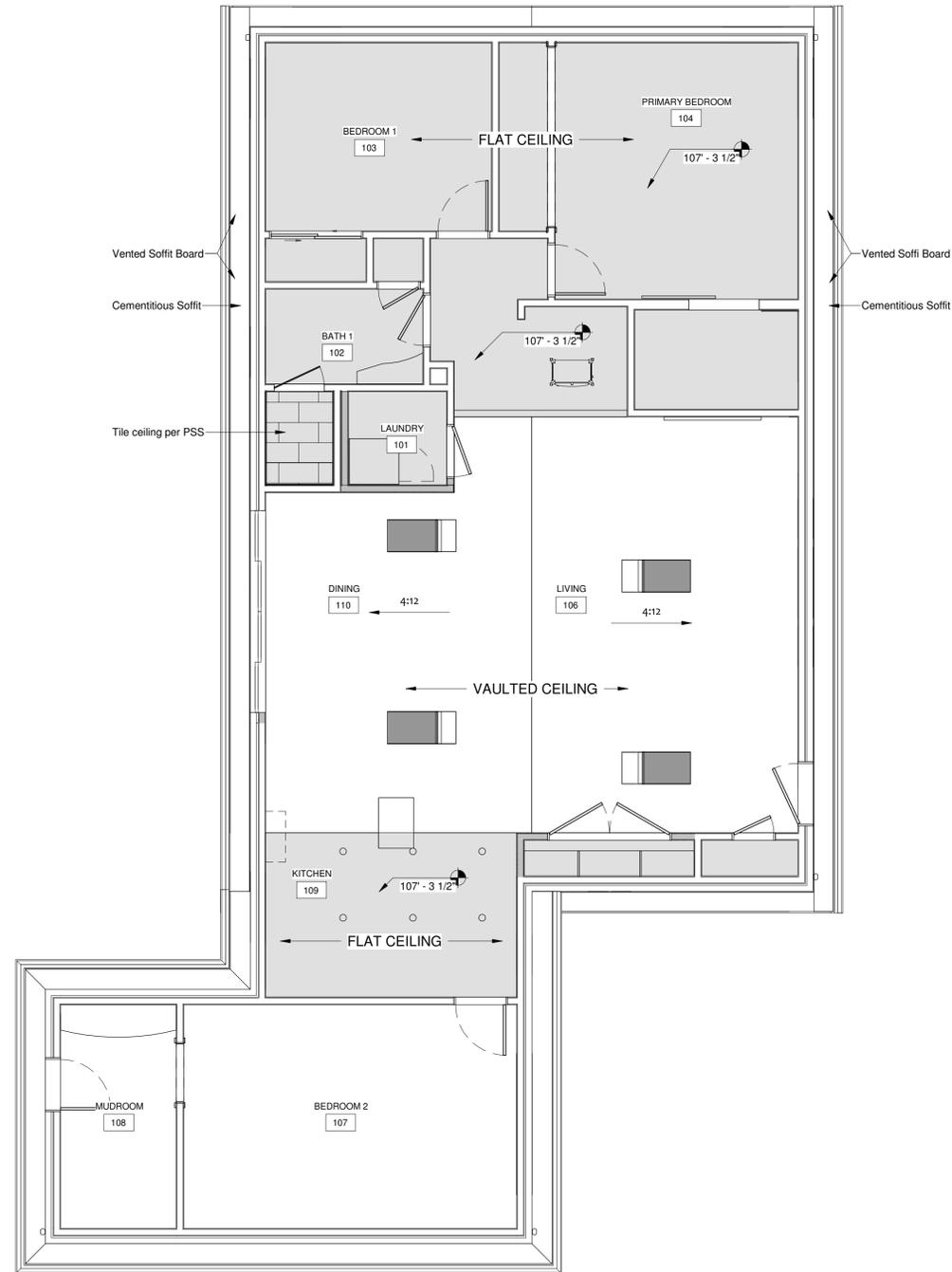
GENERAL RCP PLAN NOTES

- CEILING LIGHT FIXTURES ARE SHOWN FOR REFERENCE ONLY; REFER TO ELECTRICAL PLAN FOR TYPE AND LOCATIONS.
- HEIGHTS ARE MEASURED TO BOTTOM OF FINISH UNLESS NOTED OTHERWISE



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REFLECTED CEILING PLAN

SHEET SIZE: 24X36

JOB NO: 220680

DATE: 07/1/24

DRAWN: NS

CHECKED: RG

A7.0

1 MAIN LEVEL - REFLECTED CEILING PLAN
1/4" = 1'-0"



ENLARGED PLAN LEGEND

Drawing Marker:

Interior Elevation Marker:

Elevation Marker:

Room Designation:

Window Tag:

Door Tag:

Keyed Sheet Note:

Centerline:

Revision Indicator:

Spot Elevation Tag:

Graphic Scale (1/2" = 1'-0")

GENERAL ENLARGED PLAN NOTES

- INTERIOR DESIGNER'S SPECS FOR CABINETS, CASEWORK, COUNTERTOPS, AND APPLIANCES GOVERN THESE DRAWINGS.
- MATERIAL TAGS REFERENCE INTERIOR DESIGNER'S SPEC SHEETS
- FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION - NOTIFY DESIGNER W/ ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- DO NOT SCALE DRAWINGS, WORK TO FIGURED DIMS.



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ENLARGED FLOOR PLANS & INTERIOR ELEVATIONS

SHEET SIZE: 24X36

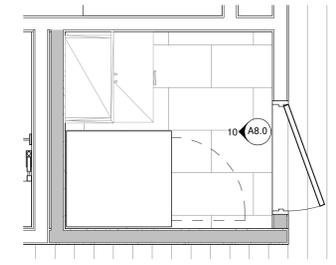
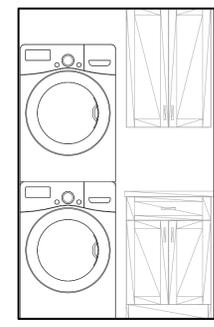
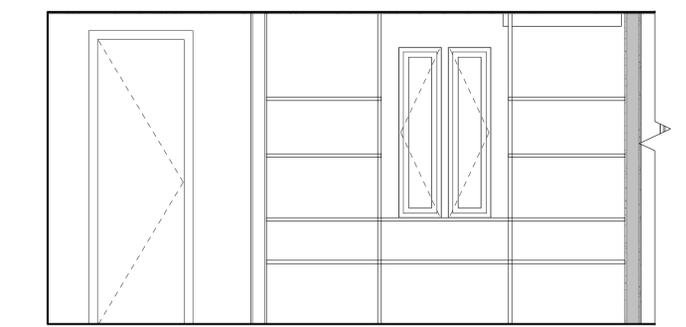
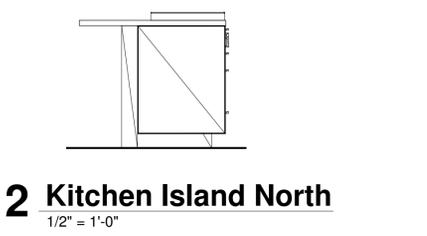
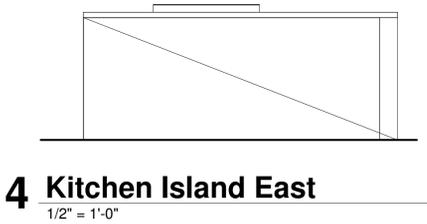
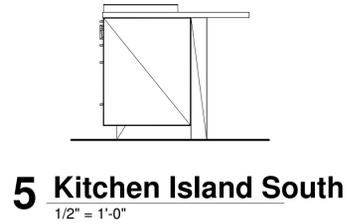
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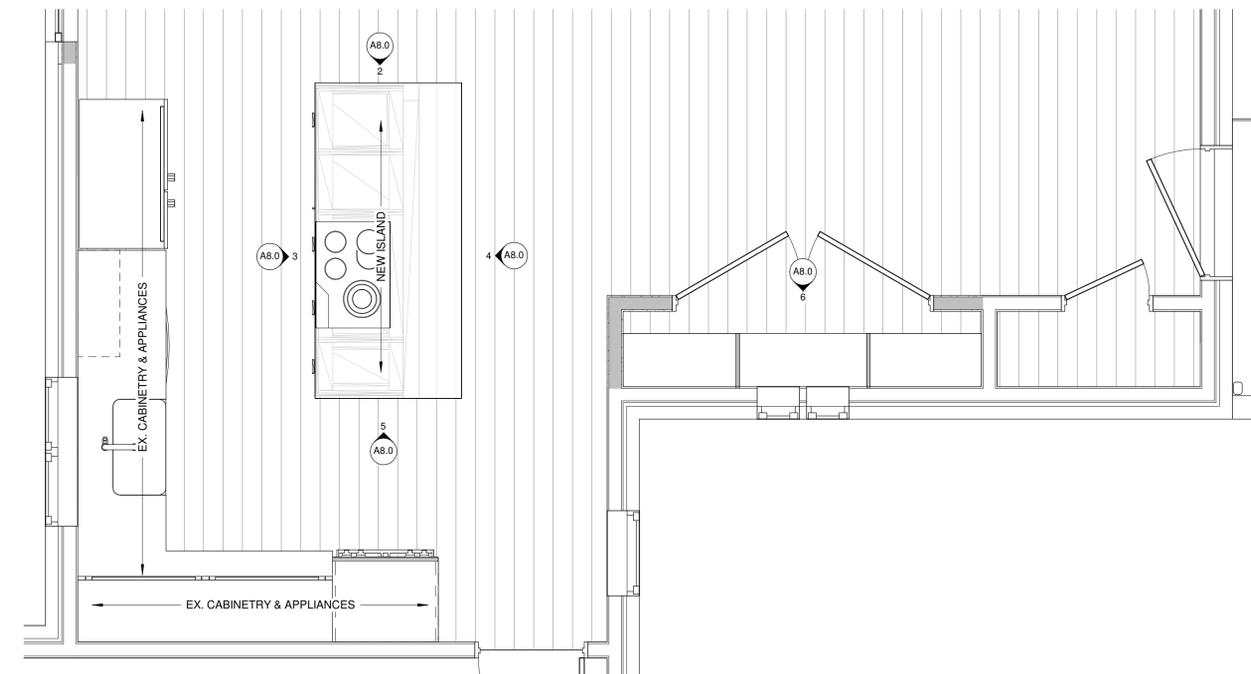
CHECKED: RG

A8.0



10 Laundry West
1/2" = 1'-0"

7 Enlarged Floor Plan - Laundry Room
1/2" = 1'-0"



1 Enlarged Floor Plan - Kitchen
1/2" = 1'-0"

GENERAL PLUMBING NOTES

- SUB-CONTRACTOR RESPONSIBLE FOR REVIEWING REMAINDER OF DRAWING SET
- ALL PLUMBING INSTALLATIONS SHALL COMPLY WITH 2015 IRC
- MAX. FLOW RATES FOR PLUMBING FIXTURES (TABLE P2903.2, 2015 IRC)
 - LAVATORY FAUCET - 2.2 GPM AT 60 PSI
 - SHOWER HEAD - 2.5 GPM AT 80 PSI
 - SINK FAUCET - 2.2 GPM AT 60 PSI
 - WATER CLOSET - 1.6 GALLONS PER FLUSH
- BATT INSULATION SHALL BE CUT NEATLY TO FIT AROUND WIRING AND PLUMBING IN EXTERIOR WALLS, OR INSULATION THAT ON INSTALLATION READILY CONFORMS TO AVAILABLE SPACE SHALL EXTEND BEHIND PIPING AND WIRING.

WATER HEATER DISCHARGE (P2803.6.1): THE DISCHARGE PIPING SERVING A PRESSURE-RELIEF VALVE, TEMPERATURE RELIEF VALVE OR COMBINATION VALVE SHALL:

- NOT BE DIRECTLY CONNECTED TO THE DRAINAGE SYSTEM.
- DISCHARGE THROUGH AN AIR GAP LOCATED IN THE SAME ROOM AS THE WATER HEATER.
- NOT BE SMALLER THAN THE DIAMETER OF THE OUTLET OF THE VALVE SERVED AND SHALL DISCHARGE FULL SIZE TO THE AIR GAP.
- SERVER A SINGLE RELIEF DEVICE AND SHALL NOT CONNECT TO PIPING SERVING ANY OTHER RELIEF DEVICE OR EQUIPMENT.
- DISCHARGE TO THE FLOOR, TO THE PAN SERVING THE WATER HEATER OR STORAGE TANK, TO A WASTE RECEPTOR OR TO THE OUTDOORS.
- DISCHARGE IS A MANNER THAT DOES NOT CAUSE PERSONAL INJURY OR STRUCTURAL DAMAGE.
- DISCHARGE TO A TERMINATION POINT THAT IS READILY OBSERVABLE BY THE BUILDING OCCUPANTS.
- NOT BE TRAPPER
- BE INSTALLED TO FLOW BY GRAVITY.
- NOT TERMINATED MORE THAN 6 INCHES ABOVE THE FLOOR OR WASTE RECEPTOR
- NOT HAVE THREADED CONNECTION AT THE END OF THE PIPING.
- NOTE HAVE VALVES OR TEE FITTINGS.
- BE CONSTRUCTED OF THOSE MATERIALS LISTED IN SECTION P2905.5 (2012 IRC) OR MATERIALS TESTED, RATED AND APPROVED FOR SUCH USE IN ACCORDANCE WITH ASME A112.4.1

BOULDER COUNTY SPECIFIC:

- **HOT TUB:** SHALL BE OFFSET BY ON-SITE RENEWABLE ENERGY GENERATION EQUIVALENT TO THE ENERGY USE BY THE SPA. PER PER (AMEND. TO BOCO BLDG. CODE, 2022)
- **HOT TUB COVERS:** SHALL BE LISTED TO PROVIDE AN R-VALUE OF 12 MIN. PER N1103.13 (AMEND. TO BOCO BLDG. CODE, 2022)
- **HOT TUB COVERS:** THE COVER SHALL HAVE A LOCKABLE SAFETY COVER THAT COMPLIES WITH ASTM F 1346, PER 305.1, EXCEPTION 1 (ISpsc 2015)

GENERAL HVAC NOTES

- SUB-CONTRACTOR RESPONSIBLE FOR REVIEWING REMAINDER OF DRAWING SET
- A0.0 GENERAL NOTES- HOOD CURRENTLY SELECTED IS < 400 CFM, MAKEUP AIR REQD. FOR ANY HOOD (> 400CFM)

SHEET NOTES

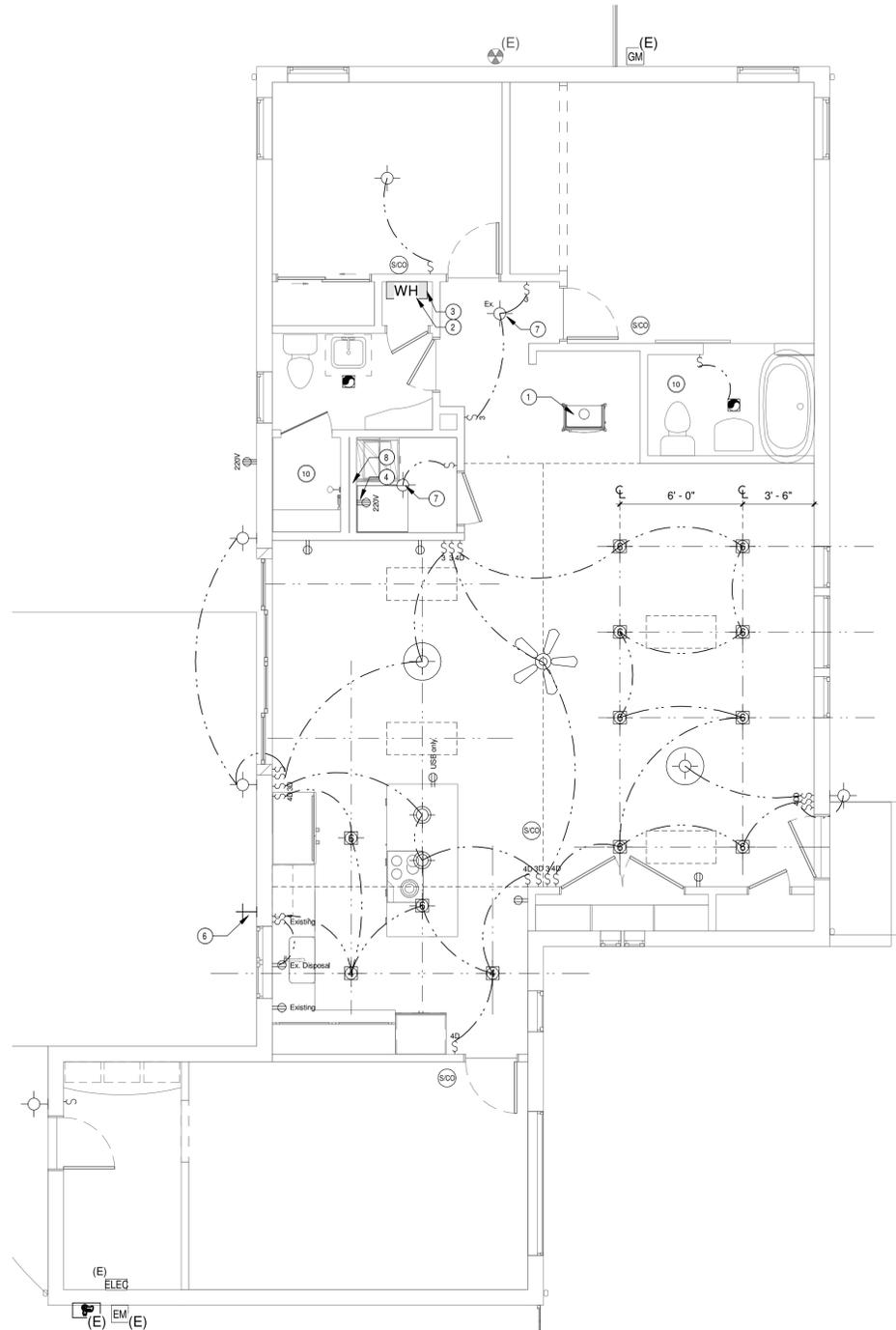
- 1 REINSTALL EX. FIRE PLACE EXHAUST THROUGH ROOF ABOVE
- 2 REINSTALL WATER FILTER AND SOFTNER
- 3 INSTALL NEW TANKLESS WATER HEATER
- 4 PROVIDE HOOK UPS FOR STACKED LAUNDRY UNITS
- 6 RAISE HOSE BIB IN EX. LOC.
- 7 EXISTING CEILING MOUNT FIXTURE FROM HALLWAY TO BE RE-INSTALLED
- 8 IN CRAWL SPACE BELOW FOR RELOCATED STEAM SHOWER UNIT, PER DETAIL 5/A.0

GENERAL ELECTRICAL NOTES

- SUB-CONTRACTOR RESPONSIBLE FOR REVIEWING REMAINDER OF DRAWING SET
- PROVIDE WIRING FOR MAKE-UP AIR IF MAKEUP AIR IS REQD. FOR HOOD EXHAUST (> 400 CFM ONLY)
- EXISTING ELECTRICAL SHALL BE BROUGHT UP TO CURRENT CODE REQUIREMENTS AS REQUIRED, INCLUDING UPDATES TO SMOKE AND CO DETECTORS AS WELL AS ARC FAULT PROTECTION IN AREA OF WORK IF NECESSARY.
- ELECTRICIAN TO REVIEW POWER REQUIREMENTS OF APPLIANCES TO DETERMINE APPROPRIATE VOLTAGE AND DEDICATED SWITCHING.
- DEVICE DIMENSIONS ARE TO FACE OF WALL FINISH AND DEVICE CENTERLINE U.N.O.
- FACE PLATES TO BE _____; MATCH EXISTING.
- OUTLETS PLACED ABOVE COUNTERTOPS SHALL BE 48" A.F.F. TO TOP OF BOX. OUTLETS AND SWITCHES SHALL BE PLACED TO MATCH HEIGHTS OF EXISTING ON ALL ADDITIONS.
- KITCHEN POWER AND LIGHTING SHALL MEET CURRENT CODE REQUIREMENTS.
- ALL FIXTURES IN DAMP LOCATIONS TO BE DAMP RATED OR WEATHER PROTECTED PER CODE.
- ALL CEILING FANS TO BE WIRED FOR BOTH FAN AND LIGHT SWITCHING, EVEN IF SELECTED FAN MODEL DOES NOT INCLUDE LIGHT.
- ALL RECEPTACLES SERVING KITCHEN COUNTERTOPS, IN GARAGES, BATHS, UNFINISHED BASEMENTS AND OUTSIDE RECEPTACLES SHALL BE GFCI PROTECTED
- **AIR SEALING** - ALL (NEW) ELECTRICAL OUTLETS TO BE INSTALLED W/FOAM PLATE SEALER AND/OR CAULKED FOR AIR SEALING (EXT. WALL ONLY)
- **AIR SEALING** - ALL (NEW) FIXTURES TO BE SEALED W/GASKET
- UFER ELECTRODE REQUIREMENT: CONCRETE ENCASED ELECTRODES: SHOW THE LOCATION OF THE CONCRETE ENCASED ELECTRODE (FOUNDATION ELECTRICAL SERVICE GROUND) FOR ELECTRIC SERVICE ON FOUNDATION PLAN (IRC E3508.1.2). E3508.1.2 THROUGH E3508.1.5. THE SUPPLEMENTAL ELECTRODE SHALL BE BONDED TO THE GROUNDING ELECTRODE CONDUCTOR, THE GROUNDING SERVICE ENTRANCE CONDUCTOR, A NON-FLEXIBLE GROUNDING SERVICE RACEWAY OR ANY GROUNDING SERVICE ENCLOSURE. WHERE THE SUPPLEMENTAL ELECTRODE IS A ROD, PIPE OR PLATE ELECTRODE IN ACCORDANCE WITH SECTIONS E3508.1.4 AND E3508.1.5 THAT PORTION OF

MEP SYMBOL LEGEND

FIXTURE ABBREVIATIONS	
LV	LOW VOLTAGE FIXTURE
WP	WEATHER/WET PROTECTED
	6" / 5" / 4" / 3" / 2" RECESSED CAN LIGHT
	RECESSED CAN LIGHT - DIRECTIONAL / GIMBAL TRIM
	CEILING MOUNT FIXTURE
	CEILING MOUNT FIXTURE - WITH PULL CHAIN
	PENDANT LIGHT FIXTURE
	CHANDELIER
	WALL MOUNT FIXTURE / SCONCE
	UNDERCABINET LIGHT FIXTURE
	LED TAPE LIGHT
	CEILING FAN W/ LIGHT
	SINGLE SWITCH
	DIMMER SWITCH
	3 / 4 WAY SWITCH
	3 / 4 WAY DIMMER SWITCH
	AIR SWITCH
	GARAGE MOTOR BUTTON
	DUPLEX OUTLET
	GFI OUTLET
	WEATHER PROTECTED OUTLET
	USB CHARGING OUTLET
	SWITCHED DUPLEX OUTLET
	CEILING MOUNT OUTLET
	FLOOR MOUNT OUTLET
	220V / 240V OUTLET
	QUAD OUTLET
	THERMOSTAT
	MOTION SENSOR
	DOOR ACTIVATED SENSOR
	PHOTOCELL
	DOOR CHIME (AUDIBLE DEVICE)
	DOOR BELL (BUTTON)
	SMOKE/CARBON MONOXIDE DETECTOR
	EXHAUST FAN ONLY
	EXHAUST FAN & LIGHT COMBO
	EXHAUST FAN & LIGHT COMBO W/ HEAT LAMP
	IN-LINE EXHAUST FAN
	WHOLE HOUSE FAN
	SUPPLY AIR GRILLE
	RETURN AIR GRILLE
	ELECTRIC BASE BOARD HEATER
	ELECTRIC PANEL
	ELECTRIC METER
	GAS METER
	WATER METER
	SOLAR METER
	SOLAR INVERTER
	RADON SYSTEM
	HOSE BIB (DRAIN-BACK TYPE)
	GAS BIB
	SOLATUBE 160-DS



1 MAIN LEVEL PLAN - MEP
1/4" = 1'-0"



MELTON
DESIGN BUILD

3082 Sterling Circle
Boulder, CO 80301
TEL. 303.473.9542
FAX. 303.516.4008
www.MeltonDB.com

THE DRAWINGS AND PROJECT DOCUMENTS ARE INTENDED FOR CONSTRUCTION ONLY BY MELTON DESIGN BUILD.



NO.	REVISION DESCRIPTION	DATE

Harris Residence
933 Cherryvale Road / 5973 Dimmitt Drive
Boulder, Colorado 80303
Addition/Removal

Permit

MAIN LEVEL M.E.P. PLAN

SHEET SIZE: 24X36

JOB NO: 220680

DATE: 07/1/24

DRAWN: NS

CHECKED: RG

M1.0

STRUCTURAL GENERAL NOTES

GOVERNING CODE: 2018 INTERNATIONAL RESIDENTIAL CODE (IRC) AND ALL LOCAL AMENDMENTS, EXCEPT AS NOTED: ANY STRUCTURAL ELEMENTS (IF ANY) NOT IN CONFORMANCE WITH THE IRC HAVE BEEN DESIGNED PER THE 2018 IBC PER IRC R301.1.3

DESIGN LOADS:

- 1. RISK CATEGORY: II
2. ROOF LIVE LOADS:
A. ROOF LIVE LOAD: 20 PSF
B. GROUND SNOW LOAD (Ps): 40 PSF
C. FLAT ROOF SNOW LOAD (Pp): 30 PSF
D. SNOW EXPOSURE FACTOR (Ce): 1.0
E. SNOW LOAD IMPORTANCE FACTOR (I): 1.0
F. THERMAL FACTOR (Ct): 1.0
G. SLOPE FACTOR (Cs): 1.0
H. SNOW DRIFTING AND UNBALANCED LOADS: IN ACCORDANCE WITH ASCE 7-16
3. FLOOR LIVE LOADS:
A. RESIDENTIAL: 40 PSF
4. ROOF AND FLOOR DEAD LOADS:
A. ROOF - ASPHALT SHINGLE: 20 PSF
B. FLOOR - CARPET OR HARDWOOD: 15 PSF
5. WIND LOADS (ASCE 7-16):
A. BASIC WIND SPEED, 3-SECOND GUST (V1.1): 150 MPH
B. ALLOWABLE STRESS DESIGN WIND SPEED (V1.59): 116 MPH
C. OCCUPANCY RISK CATEGORY: II
D. INTERNAL PRESSURE COEFFICIENT (GCp): +0.18
E. WIND EXPOSURE: B
6. COMPONENTS AND CLADDING DESIGN WIND PRESSURES (PSF) (ASCE 7-16):
A. WALL ZONE (10 SQ FT)
a. 5' WITHIN 3'-0" OF CORNERS: +33.2 PSF, -44.5 PSF
b. 4' INTERNALLY: +33.2 PSF, -36.5 PSF
B. ROOF ZONE (10 SQ FT)
a. 3' WITHIN 3'-0" OF CORNERS: +20.1 PSF, -75.4 PSF
b. 2' OVERHANGS WITHIN 3'-0" OF CORNERS AND RIDGES: +20.1 PSF, -89.2 PSF
c. 2' WITHIN 3'-0" OF EDGES AND RIDGES: +20.1 PSF, -75.4 PSF
d. 2' OVERHANGS: +20.1 PSF, -84.4 PSF
e. 1' INTERNALLY: +20.1 PSF, -47.3 PSF
C. NOTE: ALL COMPONENT AND CLADDING PRESSURES ARE BASIC PRESSURES. TO CONVERT TO ALLOWABLE STRESS DESIGN PRESSURES, MULTIPLY ULTIMATE PRESSURES BY 0.6.
7. SEISMIC LOADS: EXEMPT PER IBC SECTION 1613.1, EXCEPTION #1

FOUNDATION DESIGN:

- 1. FOUNDATION DESIGN IS IN ACCORDANCE WITH RECOMMENDATIONS CONTAINED IN SOILS INVESTIGATION REPORT NUMBER 21305 PREPARED BY SCOTT, COX, AND ASSOCIATES, INC. DATED AUGUST 24, 2021.
2. SOIL CONDITIONS SHALL BE VERIFIED BY THE GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF FORMWORK OR CONCRETE. IF DIFFERENT SOIL CONDITIONS EXIST THE STRUCTURAL ENGINEER SHALL BE NOTIFIED TO RE-EVALUATE THE FOUNDATION DESIGN AT ADDITIONAL EXPENSE TO THE OWNER.
3. SLOPE FINAL GRADES DOWN AND AWAY FROM FOUNDATION WALLS A MINIMUM OF 6 INCHES IN FIRST 10 FEET PER IRC.
4. FOOTINGS:
A. FOOTINGS, SELECTED BY THE OWNER SHALL BEAR ON THE NATURAL, UNDISTURBED SOILS, OR APPROVED COMPACTED STRUCTURAL FILL.
B. EXTERIOR FOOTINGS SHALL BEAR BELOW FROST DEPTH; MINIMUM FROST DEPTH SHALL BE 2'-8" BELOW ADJACENT EXTERIOR FINISHED GRADE.
C. DESIGN OF FOOTINGS IS BASED ON:
a. MAXIMUM ALLOWABLE BEARING PRESSURE: 2000 PSF
5. EARTH RETAINING STRUCTURES:
A. EARTH EQUIVALENT FLUID LATERAL PRESSURE:
a. AT REST PRESSURE: 50 PCF

REINFORCED CONCRETE:

- 1. CONCRETE DESIGN IS BASED ON THE AMERICAN CONCRETE INSTITUTE 'BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE' (ACI 318) AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE 'STANDARD SPECIFICATIONS FOR STRUCTURAL CONCRETE' (ACI 301).
2. STRUCTURAL CONCRETE SHALL HAVE THE FOLLOWING PROPERTIES (NORMAL WEIGHT CONCRETE UNLESS NOTED OTHERWISE):
A. CEMENT TYPE: III
B. MAXIMUM AGGREGATE SIZE: 3/4"
C. MINIMUM 28 DAY COMPRESSIVE STRENGTH (F'c) AS FOLLOWS:
a. FOOTINGS: 3,500 PSI
b. STEM WALLS: 3,500 PSI
c. EXTERIOR SLABS-ON-GRADE: 3,500 PSI
3. REINFORCING STEEL SHALL BE FABRICATED AND PLACED IN ACCORDANCE WITH ACI 315 'DETAILS AND DETAILING OF CONCRETE REINFORCEMENT'.
4. WHEN COLD WEATHER CONDITIONS EXIST, PLACE AND CURE CONCRETE IN ACCORDANCE WITH ACI 306.
5. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185.
6. DEFORMED REINFORCEMENT SHALL BE DOMESTIC NEW BILLET STEEL CONFORMING TO ASTM A615, GRADE 60 INCLUDING STRIPPINGS AND TIES, EXCEPT THAT REINFORCING WHICH IS REQUIRED TO BE WELDED SHALL CONFORM TO ASTM A706.
7. EPOXY COATED REINFORCING BARS SHALL CONFORM TO ASTM A775.
8. ZINC COATED (GALVANIZED) REINFORCING BARS SHALL CONFORM TO ASTM A767.
9. UNLESS OTHERWISE NOTED ON THE STRUCTURAL DRAWINGS, LAP BARS 50 DIAMETERS (50*BAR DIAMETER MINIMUM).
10. REINFORCING AT ALL ABUTTING CONCRETE (INCLUDING FOOTINGS) SHALL BE CONTINUOUS THROUGH OR AROUND ALL CORNERS AND INTERSECTIONS. OR USE MATCHING CORNER BARS OF EQUAL SIZE AND SPACING TO REINFORCING IN THE ABUTTING MEMBERS.
11. INSTALL (2) #5 BARS (MINIMUM) AROUND ALL SIDES OF ALL OPENINGS IN CONCRETE AND EXTEND 2'-8" PAST EDGES OF OPENINGS, UNLESS OTHERWISE NOTED.
12. IN CONTINUOUS MEMBERS, SPLICE TOP BARS AT MID-SPAN BETWEEN SUPPORTS AND SPLICE BOTTOM BARS OVER SUPPORTS.
13. FORM INTERMITTENT SHEAR KEYS AT ALL CONSTRUCTION JOINTS AND AS SHOWN ON THE STRUCTURAL DRAWINGS.
14. UNLESS OTHERWISE NOTED ON THE DRAWINGS, MINIMUM CONCRETE COVER OVER REINFORCING SHALL BE AS FOLLOWS:
A. UNFORMED SURFACE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH: 3"
B. FORMED SURFACE EXPOSED TO EARTH OR WEATHER:
a. #6 THROUGH #18 BARS: 2"
b. #5 BAR, W31 OR D31 WIRE AND SMALLER: 1-1/2"
C. FORMED SURFACE NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND:
a. SLABS, WALLS, JOISTS: #11 BARS AND SMALLER: 3/4"
D. BEAMS AND COLUMNS:
a. PRIMARY REINFORCEMENT: 1-1/2"
b. STRIPPINGS, TIES, SPIRALS: 1-1/2"
15. INSTALL CHAIRS, BOLSTERS, ADDITIONAL REINFORCEMENT, AND ACCESSORIES NECESSARY TO SUPPORT REINFORCEMENT AT POSITION SHOWN ON DRAWINGS. SUPPORT OF REINFORCEMENT ON WOOD, BRICK, OR OTHER UNACCEPTABLE MATERIALS SHALL NOT BE PERMITTED.
16. KEEP REINFORCEMENT CLEAN AND FREE OF DIRT AND OIL. OIL FORMS PRIOR TO PLACING REINFORCEMENT.
17. FIBER ADMIXTURE SHALL BE 100% VIRGIN POLYPROPYLENE, FIBRILLATED FIBERS, TYPE III 4.1.3, PERFORMANCE LEVEL ONE, PER ASTM C1116.
18. PROPERLY PLACE, ACCURATELY POSITION AND MAINTAIN SECURELY IN PLACE ALL EMBEDDED ITEMS PRIOR TO AND DURING CONCRETE PLACEMENT.
19. ANCHOR BOLTS AND RODS FOR BEAM AND COLUMN-BEARING PLATES SHALL BE PLACED WITH SETTING TEMPLATES.
20. UNLESS OTHERWISE SHOWN IN THE ARCHITECTURAL DRAWINGS, PROVIDE 3/4" CHAMFERS AT ALL COLUMN, WALL, SLAB OR BEAM EDGES THAT ARE EXPOSED TO VIEW IN THE FINISHED STRUCTURE.

LOOSE LINTELS:

- 1. UNLESS NOTED OTHERWISE, PROVIDE LOOSE LINTELS AS FOLLOWS: (ONE ANGLE FOR EACH 4' OF WALL THICKNESS TO BEAR 4" MINIMUM EACH END)
2. OPENING ANGLE:
A. 0'-0" TO 4'-0" L3 1/2X12X14
B. 4'-1" TO 5'-4" L5X3 1/2X14 (LLV)
C. 5'-5" TO 10'-0" L6X3 1/2X16 (LLV)

STRUCTURAL WOOD & TIMBER:

- 1. DESIGN IS BASED ON ANSIA/F&P A NDS 'NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION WITH SUPPLEMENT: DESIGN VALUES FOR WOOD CONSTRUCTION' AND ANSIA/F&P A SDPWS 'SPECIAL DESIGN PROVISIONS FOR WIND AND SEISMIC'.
2. 2X FRAMING LUMBER SHALL BE S4S HEM-FIR NO. 2 AND BETTER UNLESS NOTED OTHERWISE.
3. ALL LUMBER SHALL BE 19% OR LESS MAXIMUM MOISTURE CONTENT, UNLESS NOTED OTHERWISE.
4. SOLID TIMBER BEAMS AND POSTS SHALL BE KILN DRIED DOUGLAS FIR-LARCH NO. 1.
5. 2X STUD BEARING WALLS SHALL BE 2X6 @ 16" (UNO) HEM-FIR STUD GRADE OR BETTER.
6. 2X TOP AND BOTTOM PLATES SHALL BE DOUG-FIR NO. 2 OR BETTER.
7. USE OF WOOD BEARING WALLS SHOWN ON DRAWINGS WITH LATERALLY UNSUPPORTED HEIGHTS IN EXCESS OF THAT SHOWN IN IBC 2308.5.1 HAVE BEEN JUSTIFIED BY ANTHEM'S ANALYSIS.
8. FASTENERS FOR USE WITH TREATED WOOD SHALL COMPLY WITH IRC SECTION R317.3.
9. WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE-TREATED DOUGLAS FIR-LARCH OR SOUTHERN YELLOW PINE.
10. PRESERVATIVE TREATED WOOD SHALL BE TREATED IN ACCORDANCE WITH AWPA U1 AND AWPA M4.
11. CONVENTIONAL LIGHT FRAMING SHALL COMPLY WITH IRC SECTIONS R502, R502, AND R502.
12. MINIMUM NAILING SHALL BE PROVIDED AS SPECIFIED IN IRC TABLE R602.3(1) 'FASTENER SCHEDULE FOR STRUCTURAL MEMBERS'.
13. METAL FRAMING ANCHORS SHOWN OR REQUIRED, SHALL BE SIMPSON STRONG-TIE OR EQUAL CODE APPROVED CONNECTORS AND INSTALLED PER THE HANGER SCHEDULE. NOTE THAT HEAVY-DUTY HANGERS AND SKEWED HANGERS MAY NOT BE STOCKED LOCALLY AND REQUIRE SPECIAL ORDER FROM THE FACTORY.
14. GLEUE WOOD NAILING PLATES TO STEEL BEAMS AND ATTACH WITH EITHER 1/2" DIA BOLTS @ 32" O.C., STAGGERED OR 0.145" O/P POWDER ACTUATED DRIVE PINS @ 16" O.C. STAGGERED. WIDTH OF NAILER PLATE SHALL MATCH BEAM WIDTH + 1/8" MIN (1/4" MAX) OVERHANG EACH SIDE.
15. LEAD HOLES FOR LAG SCREWS SHALL BE 40%-70% OF THE SHANK DIAMETER AT THE THREADED SECTION AND EQUAL TO THE SHANK DIAMETER AT THE UNTHREADED SECTION PER NDS SECTION 12.1.4.
16. CONNECTOR BOLTS AND LAG SCREWS SHALL CONFORM TO ANSIA/SME B18.2.1 AND ASTM SAE J429 GRADE 1.
17. NAILS AND SPIKES SHALL CONFORM TO ASTM F1667.
18. WOOD SCREWS SHALL CONFORM TO ANSIA/ME B18.6.1.

WOOD FRAMING NOTES:

- 1. INSTALL SOLID BLOCKING BETWEEN JOISTS UNDER JAMB STUDS OF OPENINGS.
2. COLUMNS MUST HAVE A CONTINUOUS LOAD PATH TO FOUNDATION.
3. UNLESS NOTED OTHERWISE, INSTALL TWO LENGTHS OF SOLID BLOCKING X JOIST DEPTH X 12 INCHES LONG IN FLOOR FRAMING UNDER COLUMN LOADS.
4. BUILT-UP STUD COLUMNS SHALL CONSIST OF 2X4, 2X6, OR 2X8 STUDS WITH NUMBER OF LAMINATIONS NOTED ON PLAN AND EACH LAMINATION SHALL BE NAILED TOGETHER WITH (2) ROWS OF 12D GUN NAILS (0.131" O X 3 1/4") @ 6" FULL HEIGHT OF COLUMN. DO NOT SPLICE LAMINATIONS.
5. ALL BEAMS AND TRUSSES SHALL BE BRACED AGAINST ROTATION AT POINTS OF BEARING.
6. UNLESS NOTED OTHERWISE, LOWER CHORD OF GABLE END TRUSSES SHALL BE ANCHORED TO WALL PLATE WITH FRAMING ANCHORS AT 4'-0" SPACING AND LATERALLY BRACED TO ROOF FRAMING AT 8'-0" SPACING.
7. PROVIDE CONTINUOUS WALL STUDS EACH SIDE OF OPENINGS EQUAL TO ONE-HALF OR GREATER THE NUMBER OF STUDS INTERRUPTED BY OPENING UNLESS NOTED OTHERWISE.
8. ALL WALL STUDS SHALL BE CONTINUOUS FROM FLOOR TO FLOOR OR FROM FLOOR TO ROOF.
9. PROVIDE SOLID BLOCKING OR RIM JOISTS AT ALL JOIST SUPPORTS AND JOIST ENDS.
10. SOLE PLATE AT ALL PERIMETER WALLS AND AT DESIGNATED SHEAR WALLS SHALL BE NAILED WITH (4) 0.131"X3" NAILS AT 16" MINIMUM.
11. ALL ROOF RAFTERS, JOISTS, TRUSSES, BEAMS SHALL BE ANCHORED TO SUPPORTS WITH METAL FRAMING ANCHORS.

WOOD SHEATHING:

- 1. PLYWOOD AND ORIENTED STRAND BOARD (OSB) FLOOR, ROOF, AND WALL SHEATHING SHALL BE APA RATED WITH STAMP INCLUDING APA TRADEMARK AND PANEL SPAN RATING.
A. MINIMUM FLOOR SHEATHING: SEE PLAN NOTES
B. MINIMUM ROOF SHEATHING: SEE PLAN NOTES
C. MINIMUM WALL SHEATHING: SEE PLAN NOTES
2. SHEATH ALL EXTERIOR WALLS. SHEATH INTERIOR WALLS AS SHOWN ON THE DRAWINGS.
3. SHEATHING SHALL BE CONTINUOUS FROM BOTTOM PLATE TO TOP PLATE. CUT IN 'L' AND 'T' SHAPES AROUND OPENINGS. LAP SHEATHING OVER RIM JOISTS A MINIMUM 4" AT ALL FLOORS TO THE UPPER AND LOWER STUD WALLS TOGETHER.
4. MINIMUM HEIGHT OF SHEATHING PANELS SHALL BE 16" TO ENSURE THAT PLATES ARE TIED TO STUDS.
5. MACHINE APPLIED NAILING (I.E. GUN NAILING) OR THE USE OF MACHINE APPLIED NAILING IS SUBJECT TO SATISFACTORY JOBSITE DEMONSTRATION AND THE APPROVAL BY THE PROJECT STRUCTURAL ENGINEER. THE APPROVAL IS SUBJECT TO CONTINUED SATISFACTORY PERFORMANCE. IF NAIL HEADS PENETRATE THE OUTER PLY MORE THAN WOULD BE NORMAL FOR A HAND HAMMER OR IF MINIMUM ALLOWABLE EDGE DISTANCES ARE NOT MAINTAINED THE PERFORMANCE WILL BE DEEMED UNSATISFACTORY.

PLANT FABRICATED / PRE-ENGINEERED WOOD FRAMING:

- 1. ISERIES ROOF AND FLOOR JOISTS SHALL BE MANUFACTURED BY WEYERHAEUSER TRUS JOIST WITH STRUCTURAL WOOD FLANGES AND WEBS DESIGNED FOR STRUCTURAL CAPACITIES AND DESIGN PROVISIONS ACCORDING TO ASTM D 5055. SUBSTITUTION OF EQUIVALENT SERIES BY OTHER MANUFACTURER IS ACCEPTABLE WITH ENGINEER APPROVAL.
2. ISERIES ROOF AND FLOOR JOISTS SHALL BE INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS. DO NOT CUT OR NOTCH CHORDS IN ANY MANNER. HOLES IN WEBS SHALL NOT EXCEED MANUFACTURER'S PUBLISHED LIMIT CRITERIA. MEMBERS NOTED AS LVL (LAMINATED VENEER LUMBER) ON PLAN SHALL BE 1 3/4" WIDE X DEPTH INDICATED, PLANT-FABRICATED, AND HAVE THE FOLLOWING MINIMUM ALLOWABLE DESIGN VALUES:
A. Fb = 2600 PSI Fv = 285 PSI Fc1 = 2510 PSI Fc2 = 750 PSI E = 2000 KSI
B. COLUMNS: Fb = 2400 PSI Fv = 190 PSI Fc1 = 425 PSI E = 1800 KSI
3. MEMBERS NOTED AS LSL (LAMINATED STRAND LUMBER) ON PLAN SHALL BE PLANT-FABRICATED AND HAVE THE FOLLOWING MINIMUM ALLOWABLE DESIGN VALUES:
A. s1 1/2" Fb = 1700 PSI Fv = 400 PSI Fc1 = 1400 PSI Fc2 = 680 PSI E = 1300 KSI
B. 1 3/4" Fb = 2325 PSI Fv = 310 PSI Fc1 = 2325 PSI Fc2 = 800 PSI E = 1550 KSI
4. BRIDGING AND BLOCKING SHALL BE INSTALLED ACCORDING TO THE FABRICATOR'S REQUIREMENTS.

NAIL TABLE with columns: PENNYWEIGHT, TYPE, DIAMETER, LENGTH. Rows include 6d, 8d, 10d, 12d, 16d with various types like COOLER, COMMON, BOX, SINKER, GUN.

SHEET LIST with columns: SHEET NUMBER, SHEET NAME. Rows include S0.01 STRUCTURAL COVER SHEET, S1.00 FOUNDATION PLAN, S1.02 ROOF FRAMING PLAN, S5.00 DETAILS.

SHOP DRAWINGS:

- 1. THE STRUCTURAL DRAWINGS ARE COPYRIGHTED AND SHALL NOT BE COPIED FOR USE AS ERECTION PLANS OR SHOP DETAILS. USE OF ANTHEM'S ELECTRONIC FILES AS THE BASIS FOR SHOP DRAWINGS REQUIRES PRIOR APPROVAL BY ANTHEM. A SIGNED RELEASE OF LIABILITY BY THE GENERAL CONTRACTOR AND/OR HIS SUBCONTRACTORS, AND DELETION OF ANTHEM'S NAME AND LOGO FROM ALL SHEETS SO REQUESTED.
2. THE GENERAL CONTRACTOR SHALL SUBMIT IN WRITING ANY REQUESTS TO MODIFY THE STRUCTURAL DRAWINGS OR PROJECT SPECIFICATIONS.
3. ALL SHOP AND ERECTION DRAWINGS SHALL BE CHECKED AND STAMPED BY THE GENERAL CONTRACTOR PRIOR TO SUBMISSION FOR STRUCTURAL ENGINEER'S REVIEW. SHOP DRAWING SUBMITTALS NOT CHECKED BY THE GENERAL CONTRACTOR PRIOR TO SUBMISSION TO THE STRUCTURAL ENGINEER WILL BE RETURNED WITHOUT REVIEW.
4. FURNISH TWO (2) PRINTS OF SHOP AND ERECTION DRAWINGS TO THE STRUCTURAL ENGINEER FOR REVIEW PRIOR TO FABRICATION FOR:
A. REINFORCING STEEL.
B. STRUCTURAL STEEL.
C. PRE-ENGINEERED WOOD TRUSSES.
5. SUBMIT IN A TIMELY MANNER TO PERMIT 10 WORKING DAYS FOR REVIEW BY THE STRUCTURAL ENGINEER.
6. SHOP DRAWINGS SUBMITTED FOR REVIEW DO NOT CONSTITUTE 'REQUEST FOR CHANGE IN WRITING' UNLESS SPECIFIC SUGGESTED CHANGES ARE CLEARLY MARKED. IN ANY EVENT, CHANGES MADE BY MEANS OF THE SHOP DRAWING SUBMITTAL PROCESS BECOME THE RESPONSIBILITY OF THE ONE INITIATING THE CHANGE.

FIELD VERIFICATION OF EXISTING CONDITIONS:

- 1. THE GENERAL CONTRACTOR SHALL THOROUGHLY INSPECT AND SURVEY THE EXISTING STRUCTURE TO VERIFY CONDITIONS THAT AFFECT THE WORK SHOWN ON THE DRAWINGS.
2. THE GENERAL CONTRACTOR SHALL REPORT ANY VARIATIONS OR DISCREPANCIES TO THE ARCHITECT AND STRUCTURAL ENGINEER BEFORE PROCEEDING.

STRUCTURAL ERECTION AND BRACING REQUIREMENTS:

- 1. THE STRUCTURAL DRAWINGS ILLUSTRATE AND DESCRIBE THE COMPLETED STRUCTURE WITH ELEMENTS IN THEIR FINAL POSITIONS, PROPERLY SUPPORTED, CONNECTED, AND/OR BRACED.
2. THE STRUCTURAL DRAWINGS ILLUSTRATE TYPICAL AND REPRESENTATIVE DETAILS TO ASSIST THE GENERAL CONTRACTOR. DETAILS SHOWN APPLY AT ALL SIMILAR CONDITIONS UNLESS OTHERWISE INDICATED, ALTHOUGH DUE DILIGENCE HAS BEEN APPLIED TO MAKE THE DRAWINGS AS COMPLETE AS POSSIBLE, NOT EVERY DETAIL IS ILLUSTRATED AND NOT EVERY EXCEPTIONAL CONDITION IS ADDRESSED.
3. ALL PROPRIETARY CONNECTIONS AND ELEMENTS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS' RECOMMENDATIONS.
4. ALL WORK SHALL BE ACCOMPLISHED IN A WORKMANLIKE MANNER AND IN ACCORDANCE WITH THE APPLICABLE CODES AND LOCAL ORDINANCES.
5. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL WORK, INCLUDING LAYOUT AND DIMENSION VERIFICATION, MATERIALS COORDINATION, SHOP DRAWING REVIEW, AND THE WORK OF SUBCONTRACTORS. ANY DISCREPANCIES OR OMISSIONS DISCOVERED IN THE COURSE OF THE WORK SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR RESOLUTION. CONTINUATION OF WORK WITHOUT NOTIFICATION OF DISCREPANCIES RELIEVES THE ARCHITECT AND STRUCTURAL ENGINEER FROM ALL CONSEQUENCES.
6. UNLESS OTHERWISE SPECIFICALLY INDICATED, THE STRUCTURAL DRAWINGS DO NOT DESCRIBE METHODS OF CONSTRUCTION.
7. THE GENERAL CONTRACTOR, IN THE PROPER SEQUENCE, SHALL PERFORM OR SUPERVISE ALL WORK NECESSARY TO ACHIEVE THE FINAL COMPLETED STRUCTURE, AND TO PROTECT THE STRUCTURE, WORKMEN, AND OTHERS DURING CONSTRUCTION. SUCH WORK SHALL INCLUDE, BUT NOT BE LIMITED TO TEMPORARY BRACING, SHORING FOR CONSTRUCTION EQUIPMENT, SHORING FOR EXCAVATION, FORMWORK, SCAFFOLDING, SAFETY DEVICES AND PROGRAMS OF ALL KINDS, SUPPORT AND BRACING FOR CRANES AND OTHER ERECTION EQUIPMENT.
8. DO NOT BACKFILL AGAINST BASEMENT OR RETAINING WALLS UNTIL SUPPORTING SLABS AND FLOOR FRAMING ARE IN PLACE AND SECURELY ANCHORED, UNLESS ADEQUATE TEMPORARY BRACING IS INSTALLED.
9. TEMPORARY BRACING SHALL REMAIN IN PLACE UNTIL ALL FLOORS, WALLS, ROOFS AND ANY OTHER SUPPORTING ELEMENTS ARE IN PLACE.
10. THE ARCHITECT AND STRUCTURAL ENGINEER BEAR NO RESPONSIBILITY FOR THE ABOVE ITEMS, AND OBSERVATION VISITS TO THE SITE DO NOT IN ANY WAY INCLUDE INSPECTIONS OF THESE ITEMS.
11. THESE PLANS HAVE BEEN ENGINEERED FOR CONSTRUCTION AT ONE SPECIFIC BUILDING SITE. BUILDER ASSUMES ALL RESPONSIBILITY FOR USE OF THESE PLANS AT ANY OTHER BUILDING SITE. PLANS SHALL NOT BE USED FOR CONSTRUCTION AT ANY OTHER BUILDING SITE WITHOUT SPECIFIC REVIEW BY THE ENGINEER.

PRECAUTIONARY NOTES ON STRUCTURAL BEHAVIOR:

- 1. INTERIOR ARCHITECTURAL FINISH DETAILING MUST ACCOMMODATE THE RELATIVE DIFFERENTIAL MOVEMENTS OF SUPPORTING STRUCTURAL ELEMENTS.
2. WHERE THE ROOF FRAMING ELEMENTS HUNG FROM THE ROOF STRUCTURE WILL DEFLECT WITH THE ROOF DEFLECTION, INTERIOR ELEMENTS HUNG FROM THE ROOF STRUCTURE WILL NOT EXPERIENCE SIMILAR OR MEASURABLE MOVEMENTS.
3. THE FLOOR IS A FLOATING CONCRETE SLAB-ON-GRADE AND MAY EXPERIENCE MOVEMENTS INDEPENDENT OF THE STRUCTURAL FOUNDATIONS. INTERIOR ELEMENTS SUPPORTED ON THE SLAB-ON-GRADE FLOOR WILL MOVE WITH THE FLOOR. INTERIOR ELEMENTS SUPPORTED ON FOUNDATIONS AND COLUMNS WILL NOT EXPERIENCE SIMILAR OR MEASURABLE MOVEMENTS.
4. EXTERIOR PERIMETER WALL ASSEMBLIES HUNG FROM THE EDGE OF THE BUILDING STRUCTURE WILL BE DIRECTLY AFFECTED (TO SOME DEGREE) BY CHANGES IN EXTERNAL TEMPERATURE AND FLOOR DEFLECTION.
5. EXTERIOR PERIMETER AND INTERIOR ARCHITECTURAL FINISH DETAILS SHOULD ALLOW FOR RELATIVE MOVEMENTS BETWEEN ELEMENTS WITH DIFFERENT SUPPORT CONDITIONS.
6. THE FOUNDATION DESIGN SHOWN ASSUMES THAT THE OWNER/BUILDER IS AWARE OF THE PRESENCE OF EXPANSIVE SOILS, AND THAT HE HAS READ THE PREVIOUSLY REFERENCED SOILS REPORT. USE OF THESE PLANS IS INDICATION THAT THE OWNER/BUILDER ACCEPTS THE RISKS ASSOCIATED WITH BUILDING ON THIS SITE, ESPECIALLY THOSE RELATED TO SLAB ON GRADE CONSTRUCTION IN FINISHED AREAS. ANTHEM, LLC WILL NOT BE HELD LIABLE FOR DAMAGES CAUSED BY SLAB MOVEMENT.

DEFERRED SUBMITTALS:

- 1. PORTIONS OF THE STRUCTURE HAVE ELEMENTS OF PROPRIETARY DESIGN AND FABRICATION, WHICH SHALL BE SUBMITTED BY THE SUPPLIER FOR APPROVAL AFTER AWARD OF CONTRACT.
2. THESE ITEMS SHALL CONFORM TO THE LOAD, CAPACITY, SIZE, GEOMETRY, CONNECTION, AND SUPPORT CRITERIA NOTED ON THE STRUCTURAL DRAWINGS.
3. SHOP DRAWINGS AND CALCULATIONS SHALL BE PREPARED BY AN ENGINEER REGISTERED IN THE STATE OF COLORADO. FINAL SHOP DRAWING SUBMITTALS SHALL BE STAMPED AND SIGNED.
4. FURNISH DEFERRED SUBMITTALS FOR:
A. SUPPLIER ENGINEERED OPEN-WEB WOOD TRUSSES
5. SUBMITTALS WILL BE REVIEWED BY THE STRUCTURAL ENGINEER OF RECORD FOR COMPLIANCE WITH THE SPECIFIED DESIGN REQUIREMENTS, STAMPED AS 'REVIEWED', AND FORWARDED TO THE LOCAL BUILDING AUTHORITY FOR REVIEW AS REQUIRED.
6. FINAL ISSUE OF THE BUILDING PERMIT MAY, AT THE APPROVAL AUTHORITY'S OPTION, BE CONTINGENT ON ITS APPROVAL OF THE DEFERRED SUBMITTAL DOCUMENTS.
7. DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN CALCULATIONS AND DRAWINGS HAVE BEEN REVIEWED BY THE ARCHITECT, STRUCTURAL ENGINEER, AND/OR LOCAL BUILDING AUTHORITY AS REQUIRED.

LETTERS OF CONSTRUCTION COMPLIANCE:

- 1. THE GENERAL CONTRACTOR SHALL DETERMINE FROM THE LOCAL BUILDING AUTHORITY, AT THE TIME THE BUILDING PERMIT IS OBTAINED, WHETHER ANY LETTERS OF CONSTRUCTION COMPLIANCE WILL BE REQUESTED FROM THE STRUCTURAL ENGINEER.
2. THE CONTRACTOR SHALL NOTIFY THE STRUCTURAL ENGINEER OF ALL SUCH REQUIREMENTS IN WRITING PRIOR TO THE START OF CONSTRUCTION.
3. TWO DAY ADVANCE NOTICE SHALL BE GIVEN WHEN REQUESTING SITE VISITS NECESSARY AS THE BASIS FOR THE COMPLIANCE LETTER.
4. THE GENERAL CONTRACTOR SHALL PROVIDE COPIES OF ALL THIRD-PARTY TESTING AND INSPECTION REPORTS TO THE ARCHITECT AND STRUCTURAL ENGINEER A MINIMUM OF ONE WEEK PRIOR TO THE DATE THAT THE COMPLIANCE LETTER IS NEEDED.

INSPECTIONS:

- 1. INSPECTIONS AND TESTING SHALL BE PERFORMED BY A QUALIFIED INSPECTOR IN ACCORDANCE WITH IRC SECTION R109. THE INSPECTOR SHALL BE A QUALIFIED PERSON WHO SHALL DEMONSTRATE COMPETENCE, TO THE SATISFACTION OF THE BUILDING OFFICIAL, FOR INSPECTION OF THE PARTICULAR TYPE OF CONSTRUCTION OR OPERATION REQUIRING INSPECTION.
3. EXCEPT AS NOTED, THE INSPECTIONS OUTLINED IN THE IRC ARE IN ADDITION TO, AND BEYOND THE SCOPE OF, PERIODIC STRUCTURAL OBSERVATIONS. STRUCTURAL OBSERVATIONS ARE INCLUDED IN THE STRUCTURAL ENGINEERING DESIGN AND CONSTRUCTION ADMINISTRATION SERVICES PROVIDED BY THE STRUCTURAL ENGINEER.

LEGEND

Legend table with columns: Symbol, Description, and Material/Type. Includes items like (X)(K)(Y)T KING STUDS, (X)(K)(Y)T TRIMMER STUDS, CONCRETE, EARTH FILL, POROUS FILL, etc.

ABBREVIATIONS KEY

Abbreviations Key table with columns: Abbreviation, Description, and Abbreviation, Description. Includes items like AB ANCHOR BOLT, GA GIUAGE, OPP OPPOSITE HAND, etc.



303-848-8497 970-300-3338
anthemstructural.com Job #24-014



Table with columns: REVISION NUMBER, DATE, DESCRIPTION. Contains multiple empty rows for revisions.

Harris Residence
933 CHERRYVALE ROAD / 5973 DIMMIT DRIVE

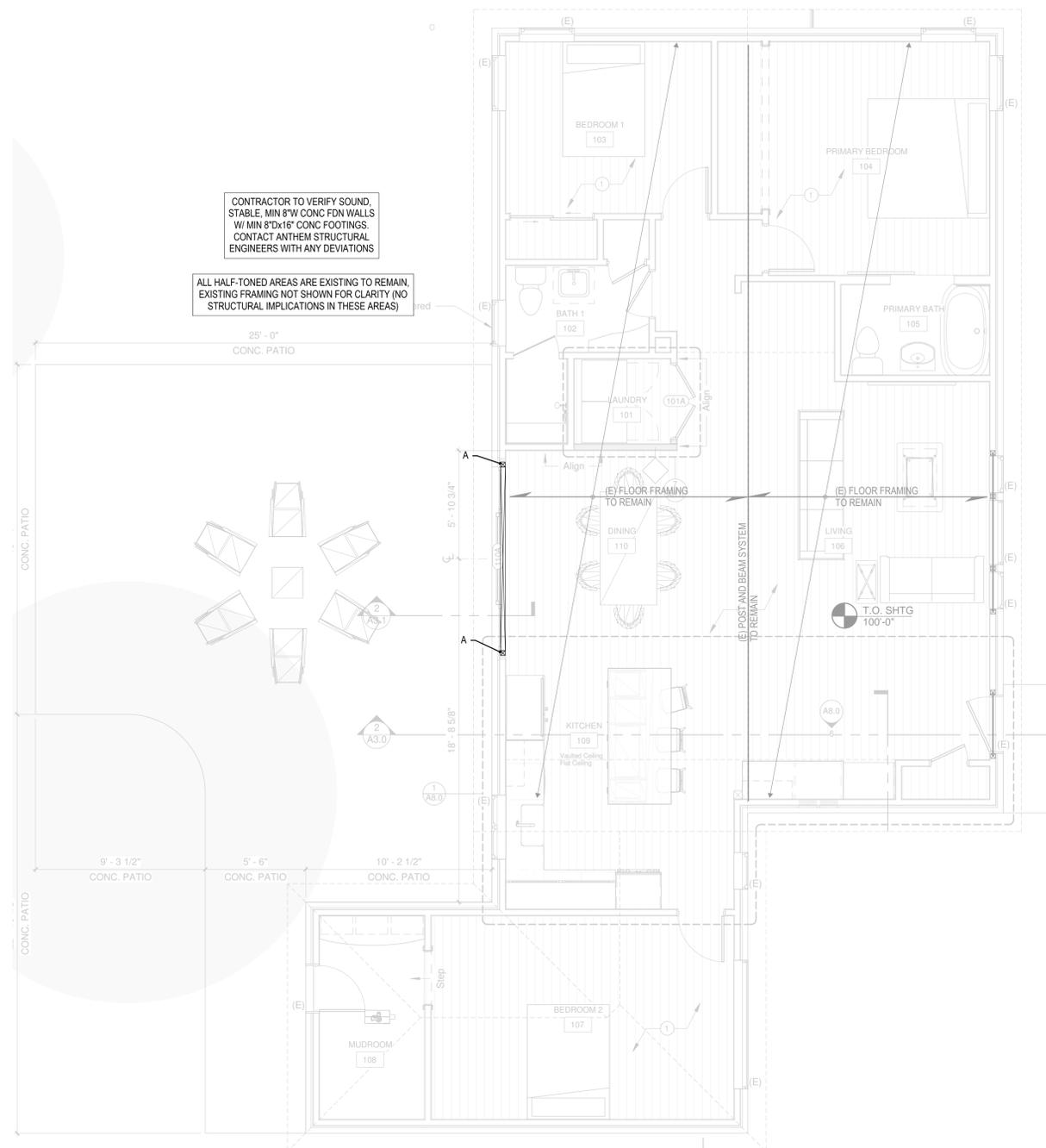
STRUCTURAL COVER SHEET

DRAWN: SLT CHECK: CMC
ISSUE: 04/19/2024 - PERMIT
DATE: 04/19/2024

S0.01



- FOUNDATION PLAN NOTES**
- SEE SHEET S0.01 FOR GENERAL STRUCTURAL NOTES, LEGEND, ABBREVIATIONS KEY, AND INSPECTIONS.
 - SEE SHEET S5.00 FOR DETAILS.
 - REFER TO ARCHITECTURAL DRAWINGS FOR ADDITIONAL INFORMATION AND DIMENSIONS.
 - VIF (E) CONDITIONS PRIOR TO NEW CONSTRUCTION AND NOTIFY ANTHEM OF ANY DISCREPANCIES.
 - ALL INFORMATION, DIMENSIONS, ELEVATIONS, ETC. SHALL BE CONSIDERED APPROXIMATE AND SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO ORDERING OR FABRICATING MATERIAL.
 - REPORT ALL DISCREPANCIES TO GENERAL CONTRACTOR AND ENGINEER.
 - REMODELING, RETROFIT, RENOVATION, AND REHABILITATION OF AN EXISTING STRUCTURE REQUIRES THAT CERTAIN ASSUMPTIONS BE MADE REGARDING EXISTING CONDITIONS. THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE STRUCTURAL ENGINEER IF ANY EXISTING CONDITION DEVIATES FROM THOSE INDICATED ON THE CONTRACT DOCUMENTS.
 - FOOTINGS TO BEAR ON APPROVED SUBGRADE PER GEOTECH REPORT. SEE GENERAL NOTES.
 - SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS OF RAMPS, SLAB SLOPES, STEPPED SLABS, AND PARTITION WALLS. SLAB ELEVATIONS SHOWN ARE APPROXIMATE.
 - REFER TO ARCHITECTURAL DRAWINGS FOR ADDITIONAL INFORMATION AND DIMENSIONS.
 - FLOAT (N) INTERIOR PARTITION WALLS W/ MIN 1 1/2" AIR GAP. SEE ARCH PLANS FOR DETAIL.
 - EXISTING STRUCTURE WITHOUT LOAD ALTERATION HAS BEEN NOTED AS "EXISTING TO REMAIN" AND ASSUMES THAT THE HOMEOWNER FINDS ITS CURRENT PERFORMANCE SOUND AND ACCEPTABLE.



1 FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

REVISION NUMBER	DATE	DESCRIPTION

Harris Residence
933 CHERRYVALE ROAD / 5973 DIMMIT DRIVE

FOUNDATION PLAN

DRAWN: SLT | CHECK: CMC
ISSUE: 04/19/2024 - PERMIT
DATE: 04/19/2024

S1.00



Community Planning & Permitting

Courthouse Annex • 2045 13th Street • Boulder, Colorado 80302

Mailing Address: P.O. Box 471 • Boulder, Colorado 80306 •

Tel: 303-441-3930 • www.BoulderCounty.gov

August 14, 2024

TO: Wesley Jefferies, Planner I; Community Planning & Permitting, Development Review Team - Zoning

FROM: Anita Riley, Principal Planner; Community Planning & Permitting, Development Review Team – Access & Engineering

SUBJECT: Docket # VAR-24-0003: Harris Setback Reduction – 5973 Dimmit Drive

The Development Review Team – Access & Engineering has reviewed the above referenced docket and has the following comments:

1. The subject property is accessed from Dimmit Drive, a City of Boulder street. Legal access is available from both the City of Boulder Dimmit Drive right-of-way (ROW) and the Boulder County Cherryvale Road ROW via adjacency.
2. Physical access is taken from Dimmit Drive.
3. The application, as proposed, meets the requirements of the Boulder County Multimodal Transportation Standards..

This concludes our comments at this time.



Community Planning & Permitting

Courthouse Annex • 2045 13th Street • Boulder, Colorado 80302 • Tel: 303.441.3930 • Fax: 303.441.4856

Mailing Address: P.O. Box 471 • Boulder, Colorado 80306 • www.bouldercounty.gov

Building Safety & Inspection Services Team

MEMO

TO: Wesley Jefferies, Planner I
FROM: Michelle Huebner, Plans Examiner Supervisor
DATE: August 7, 2024

RE: Referral Response, VAR-24-0003: Harris Setback Reduction. Request to reduce the supplemental setback along Cherryvale Rd from 90 ft. (required) to 75 ft. (proposed) to increase the height of an existing residence on a 0.71-acre parcel.

Location: 5973 Dimmit Drive

Thank you for the referral. We have reviewed the proposal and have no conflicts with it.

If the applicants should have questions or need additional information, we'd be happy to work with them toward solutions that meet minimum building code requirements. Please call (720) 564-2640 or contact us via e-mail at building@bouldercounty.org



Community Planning & Permitting

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303-441-3930 • www.BoulderCounty.gov

August 7, 2024

To: Wesley Jefferies, Planner I
From: Sarah Heller, Floodplain Program Planner

Subject: Docket VAR-24-0003: Harris Setback Reduction
Request: Request to reduce the supplemental setback along Cherryvale Rd from 90 ft. (required) to 75 ft. (proposed) to increase the height of an existing residence on a 0.71 -acre parcel at 5973 Dimmit Drive.
Location: 5973 Dimmit Drive, at the northwest corner of the intersection of Baseline road and Cherryvale Road, on an approximately .71 acre parcel, in Section 34, Township 1N, Range 70W.

The Community Planning & Permitting Department – Floodplain Management Program has reviewed the above referenced docket and has the following comments:

1. The proposed setback reduction is outside the Floodplain Overlay (FO) District. We have no conflict.

A portion of the property is located within the South Boulder Creek Floodplain. Any future development within the Floodplain Overlay District will require an FDP and must adhere to the requirements of Article 4-400 of the Boulder County Land Use Code.

Please contact Sarah Heller, Floodplain Program Planner, at [sheller @bouldercounty.gov](mailto:sheller@bouldercounty.gov) to discuss this referral.

This concludes our comments at this time.



Parks & Open Space

5201 St. Vrain Road • Longmont, CO 80503
303-678-6200 • POSinfo@bouldercounty.org
www.BoulderCountyOpenSpace.org

TO: Wesley Jefferies, Community Planning & Permitting Department
FROM: Ron West, Natural Resource Planner
DATE: August 20, 2024
SUBJECT: Docket VAR-24-0003, Harris, 5973 Dimmit Drive

Staff has reviewed the submitted materials, and has no natural resource concerns with the variance, per se.



Right of Way & Permits

1123 West 3rd Avenue
Denver, Colorado 80223
Telephone: **303.571.3306**
Facsimile: 303.571.3284
donna.l.george@xcelenergy.com

August 9, 2024

Boulder County Community Planning and Permitting
PO Box 471
Boulder, CO 80306

Attn: Wes Jefferies

Re: Harris Setback Reduction, Case # VAR-24-0003

Public Service Company of Colorado's (PSCo) Right of Way & Permits Referral Desk has reviewed the documentation for **Harris Setback Reduction** and has no conflict with the setback reduction.

Please be aware PSCo owns and operates existing intermediate pressure natural gas distribution facilities within the subject property and electric distribution facilities along the south and east property lines. For any new natural gas or electric service or modification to existing facilities, the property owner/developer/contractor must complete the application process via www.xcelenergy.com/InstallAndConnect.

Donna George
Right of Way and Permits
Public Service Company of Colorado dba Xcel Energy
Office: 303-571-3306 – Email: donna.l.george@xcelenergy.com

Jefferies, Wesley

From: LuAnn Penfold <lpenfold@mvfpd.org>
Sent: Friday, August 9, 2024 12:46 PM
To: Jefferies, Wesley
Subject: [EXTERNAL] VAR-24-0003

We do not object to the setback variance. Thank you for including us in the planning process.

LuAnn Penfold, Fire Prevention Specialist

Mountain View Fire Rescue
3561 N. Stagecoach Road, Longmont, CO 80504
303-772-0710 x1021 | lpenfold@mvfpd.org | www.mvfpd.org



Jefferies, Wesley

From: Ask A Planner <no-reply@wufoo.com>
Sent: Friday, August 9, 2024 3:15 PM
To: LU Land Use Planner
Subject: [EXTERNAL] Ask a Planner - Scott Raney - VAR-24-0003 -

If your comments are regarding a specific Docket, please enter the Docket number: VAR-24-0003

Name: Scott Raney

Email Address: scott@metacard.com

Phone Number: (303) 499-1109

Please enter your question or comment: The 90' setback on Cherryvale is obsolete and the County should stop wasting everyone's time trying to enforce it: It never made sense in the first place since so many buildings were within that setback, but now it makes even less sense because the City is not enforcing it and properties on the west side of Cherryvale, including the property in this variance, can always just annex into the City to get around it. Please approve this variance and request that the commissioners rescind this rule so that no one else's project gets delayed like this and staff can spend their time on more useful things.

Public record acknowledgement:

I acknowledge that this submission is considered a public record and will be made available by request under the Colorado Open Records Act.



Community Planning & Permitting (CPP)

Courthouse Annex - 2045 13th Street - Boulder, Colorado 80302 - (303) 441-3930 - Fax 303-441-4856

Mailing Address:

Post Office Box 471 - Boulder,

www.bouldercounty.org

Matt Jones

County

Claire Levy County

Marta County
Loachamin

6/7/2022

Susie and Robert Harris
5973 Dimmit Drive
Boulder, CO 80303

Neal Evers
Po Box 34
Lyons, CO 80540

Dear Applicant(s):

This letter certifies that in accordance with section 4-800 of the Boulder County Land Use Code, the Boulder County CPP Director has Approved with Conditions the site plan for the following, effective June 7, 2022.

Docket: SPR-22-0043 Harris Residence

Request: Site Plan Review to deconstruct 3,918 square feet of residential floor area and construct a new 2,658-square-foot residence, and 1,230 square feet of accessory structures on a 0.71-acre parcel.

Location: 5973 Dimmit Drive

Zoning: Rural Residential

Applicant: Neal Evers

This is a Conditional Approval made by the CPP Director, and is not final until a 14-day referral period has transpired. During the next 14 days, the Board of County Commissioners (BOCC) may choose to call this docket up for a public hearing. If no hearing is required, this letter will serve as the final determination. Building, grading and access permits will be subject to any and all conditions of approval.

If the BOCC should decide to modify the CPP Director's approval, or determines that further review is necessary, a public hearing will be held. Upon completion of the public hearing and approval by the BOCC, if a building, grading or access permit has been applied for, it will continue in the process and permits may be issued subject to any and all conditions of approval.

In the event that you wish to appeal any conditions of the CPP Director's determination, you are entitled to appeal the determination to the BOCC. You must file an appeal for this purpose with the CPP Department in writing no later than 14 days after the date of this letter. If an appeal is requested, the BOCC will review the CPP Director's determination at a public meeting.

Please be aware that the attached Conditions of Approval become final if the docket is not called up by the BOCC at the end of the 14-day review period. There are no other administrative means to appeal. If you wish to resubmit information with regards to complying with any of the attached Conditions of Approval, and have this information reviewed for approval by staff prior to the end of the 14-day review period, your submissions must be received by the office no later than 10 days from the date of this letter.

Site Plan Review approval is valid for three years from the date of this letter although any changes in County regulations could affect the proposal prior to application for a building permit. In order to be issued a building permit, the project must comply with all policies and regulations in effect at the time of permit application.

D1

A Building Permit cannot be issued for this project until the applicable conditions above have been met. Furthermore, a Certificate of Occupancy cannot be issued for this project until the applicable conditions above have been met. A SPR inspection will need to be scheduled with this department prior to the issuance of a Certificate of Occupancy. None of the conditions of approval will be waived or a Certificate of Occupancy issued for this project based upon the applicant's need to meet financial obligations (i.e., construction cost overruns or loan closing dates). Any future additions to the approved structure, regardless of size, will require SPR approval to amend this SPR.

The Public Notice sign must remain posted for 14 days after the date of this letter and then returned to the CPP Department in a timely manner after this date. Or, if your Site Plan Review application requires a public hearing, please return the sign after the final public hearing. We will begin processing a refund for the \$25 sign deposit when your sign is returned, and a check will be mailed to you within approximately 2 weeks.

Please carefully review the attached conditions of approval. Compliance with these conditions will be confirmed as is necessary throughout the process.

Sincerely,

A handwritten signature in black ink, appearing to read "A. Vieth".

Andy Vieth
Planning Consultant

APPLICATION #: SPR-22-0043
OWNER: Susie & Robert Harris
APPLICANT: Neal Evers (AIA)
PROJECT LOCATION: 5973 Dimmit Drive
PROJECT SUMMARY: Site Plan Review to deconstruct 3,918 square feet of residential floor area and construct a new 2,658-square-foot residence and 1,230 square feet of accessory structures on a 0.71 acre parcel

CONDITIONS OF APPROVAL

Per Article 4-802.A.3 of the Boulder County Land Use Code (the Code), Site Plan Review is required for this proposed development because it will result in a cumulative increase in floor area of more than 1,000 square feet over that existing as of September 8, 1998.

All Site Plan Review applications are reviewed in accordance with the Site Plan Review standards set forth in Article 4-806 of the Code. Accordingly, the Community Planning & Permitting Department has reviewed this application in accordance with the standards provided for in Article 4-806.A of the Code and has determined that approval is appropriate, with the conditions set forth below. Only those standards applicable to this project are included in this list.

1. *To provide a greater measure of certainty as to the applicable neighborhood relevant for comparison, the following definition of neighborhood shall be used to review proposed Site Plan Review applications:*

- a. *For applications inside platted subdivisions, which have seven or more developed lots, the neighborhood is that platted subdivision.*

The applicable neighborhood for the subject parcel is the platted subdivision of Gapter.

2. *The size of the resulting development (residential or nonresidential) must be compatible with the general character of the defined neighborhood.*
 - a. *In determining size compatibility of residential structures with the defined neighborhood, it is presumed that structures of a size within the larger of a total residential floor area of either (1) 125% of the median residential floor area for that defined neighborhood or (2) of a total residential floor area of 1,500 square feet in the mapped townsites of Allenspark, Eldora, Eldorado Springs, Raymond, and Riverside, or 2,500 square feet for all other areas of the County, are compatible with that neighborhood, subject also to a determination that the resulting size complies with the other Site Plan Review standards in this section 4-806.A*

A. SIZE PRESUMPTION

The presumed compatible size of residential structures within the defined neighborhood (see Standard 1 above for the applicable neighborhood) is 3,888 square feet.

Median (total residential floor area) in the defined neighborhood	3,110 square feet
125% of the median residential floor area in the defined neighborhood	3,888 square feet
Total existing residential floor area on the subject parcel*	3,918 square feet
Total proposed residential floor area	3,888 square feet

**Source: Boulder County Assessor’s records, as verified by Community Planning & Permitting staff for the subject parcel.*

B. APPROVED SIZE

RESIDENTIAL FLOOR AREA*	
Approved NEW residential floor area	Maximum 3,888 square feet
TOTAL approved resulting residential floor area	Maximum 3,888 square feet

**Residential Floor Area includes all attached and detached floor area on a parcel including principal and accessory structures used or customarily used for residential purposes, such as garages, studios, pool houses, home offices, and workshops, excluding covered deck. Floor area does not include the area of any covered porch. Gazebos, carports, detached greenhouses and hoopouses up to a total combined size of 400 square feet are also exempt. Boulder County Land Use Code Article 18.189D.*

The applicants propose to deconstruct 3,918 square feet of residential floor area consisting of a 1,562-square-foot residence, 2,200-square-foot detached garage and an unpermitted 156-square-foot shed. The applicants propose to construct a new residence, consisting of a 2,635-square-foot first story and 423-square-foot attached carport (400 square feet of the carport are exempt from Residential Floor Area), 1,070-square-foot accessory studio building and a 160-square-foot storage container. Staff supports the size as proposed since it is under the presumptive size limitation and since the resulting size of 3,888 square feet (all above grade and visible) is found to be compatible with the general character of the defined neighborhood.

C. DECONSTRUCTION (INSTEAD OF DEMOLITION) OF EXISTING RESIDENCE/JOBSITE WASTE REDUCTION & RECYCLING

To comply with Chapter 11 Section N1101.15 of the [Boulder County Building Code](#), the existing residence, shed and detached garage must be deconstructed and a Deconstruction Plan will be required at the time of building permit submittal. Deconstruction consists of salvaging materials from an existing structure and the recycling, resale, or reuse of the materials as an alternative to sending them to a landfill. In addition to the deconstruction of existing residential structures, all construction jobsite wood, scrap metal, cardboard, and concrete must be recycled. There are several means by which the existing residence

may be removed, reused, and/or the building materials recycled. Please contact the [Resource Yard](#) at 303-419-5418 and the Building Safety & Inspection Services Team at 303-441-3926 for more information on deconstruction, local deconstruction contractors, and reuse/recycling of building materials.

3. ***The location of existing or proposed buildings, structures, equipment, grading, or uses shall not impose an undue burden on public services and infrastructure.***

ACCESS REQUIREMENTS

The subject property is accessed from Dimmit Drive, a City of Boulder (the city) owned and maintained right-of-way (ROW). Legal access is demonstrated via adjacency to this public ROW.

The existing gravel-surfaced driveway appears to measure approximately 15-16 feet in width from aerial imagery, which complies with the Boulder County Multimodal Transportation Standards (the “Standards”) for residential development in the plains.

As shown on the site plan, a second access to the subject property is proposed from Dimmit Drive, east of the existing point of access and approximately 70 feet west of Cherryvale Road. The Standards limit the number and location of points of access to public ROWs. However, Dimmitt Drive is owned and maintained by the city. The second (eastern) point of access on Dimmit Drive is only approved if the applicant obtains permission from the city. A copy of a City of Boulder access permit for each point of access to Dimmit Drive must be submitted with the building permit application for the new residence.

If a second access from Dimmit Drive is approved by the city, plans submitted for building permit must demonstrate that the new access complies with the “Standards” for residential development in the Plains, including without limitation:

- a. Table 5.5.1 – Parcel Access Design Standards (1-Lane Plains Access)
- b. Standard Drawings 11 -12 – Private Access
- c. Standard Drawing 14 – Access with Roadside Ditch
- d. Standard Drawing 15 – Access Profiles Detail
- e. Standard Drawing 16 – Access Grade & Clearance

The access must be between 10 and 16 feet in width, plus an additional 2 feet of horizontal clearance on each side of the main travelway. A culvert measuring a minimum 18-inches or equivalent capacity RCP or CMP must be installed under the new driveway at the existing roadside ditch per Standard Drawings 14 & 15.

An emergency turnaround will not be required as the proposed residence is within 150 feet of Dimmit Drive.

At the time of building or grading permit application, a copy of a City of Boulder access permit for each point of access to Dimmit Drive must be submitted with the building permit application for the new residence.

During construction, all materials, machinery, dumpsters, and other items shall be staged on the subject property.

During construction (i.e. during the day while work is being performed), all vehicles shall be parked on site or to one side of Dimmit Drive so as to not impede the travel way.

Prior to issuance of a Certificate of Occupancy, the Community Planning & Permitting Department must verify that the access and driveway has been constructed to meet the Parcel Access Design Standards in the [Boulder County Multimodal Transportation Standards](#).

4. ***The proposed development shall avoid natural hazards, including those on the subject property and those originating off-site with a reasonable likelihood of affecting the subject property. Natural hazards include, without limitation, expansive soils or claystone, subsiding soils, soil creep areas, or questionable soils where the safe-sustaining power of the soils is in doubt; landslides, mudslides, mudfalls, debris fans, unstable slopes, and rockfalls; flash flooding corridors, alluvial fans, floodways, floodplains, and flood-prone areas; and avalanche corridors. Natural hazards may be identified in the Comprehensive Plan Geologic Hazard and Constraint Areas Map or through the Site Plan Review process using the best available information. Best available information includes, without limitation, updated topographic or geologic data, Colorado Geologic Survey landslide or earth/debris flow data, interim floodplain mapping data, and creek planning studies. Development within or affecting such natural hazards may be approved, subject to acceptable measures that will satisfactorily mitigate all significant hazard risk posed by the proposed development to the subject property and surrounding area, only if there is no way to avoid one or more hazards, no other sites on the subject property can be reasonably developed, or if reasonably necessary to avoid significant adverse impacts based upon other applicable Site Plan Review criteria.***

FLOODPLAIN REQUIREMENTS

The existing workshop is in the 100-year floodplain. Deconstruction of the workshop is covered under the General Floodplain Development Permit (General FDP). The deconstruction permit will serve as the required notice under the General FDP.

The proposed residence, carport, and accessory studio structure are located outside the Floodplain Overlay (FO) District. No Floodplain Development Permit (FDP) is required for construction of these structures in the locations provided.

The proposed storage shed (shipping container) is in the 100-year floodplain. The shed must:

- a. Be designed and adequately anchored to prevent flotation, collapse, or lateral movement resulting from hydrodynamic and hydrostatic forces;
- b. Have its longitudinal axis parallel to the flow of floodwaters (south to north);
- c. Have flood resistant materials up to the Flood Protection Elevation (FPE);

- d. Be used only for parking of vehicles or storage of tools, materials, and equipment;
- e. Not contain permanently fixed appliances;
- f. Either have a floor elevated to the Flood Protection Elevation (FPE) or contain a minimum of two openings on at least two walls having a total net area no less than one square inch for every square foot of enclosed area.

The proposed gravel sport court and paved living area are within the 100-year floodplain. Surface type changes resulting in changes to the existing grade of less than four inches, measured vertically, are covered under the General FDP. Paving or surface type changes resulting in changes to grade of more than four inches will require an individual FDP.

At the time of building permit application, plans for the shed must: be oriented north-south; include certification by a Colorado-licensed P.E. that the shipping container is adequately anchored to resist the forces of the 100-year flood; and demonstrate that the container will either be elevated above the Flood Protection Elevation or have flood openings as required above.

9. *The development shall avoid significant historic or archaeological resources as identified in the Comprehensive Plan or the Historic Sites Survey of Boulder County, or through the Site Plan Review process. Development within or affecting such resources may be approved, subject to acceptable mitigation measures and in the discretion of the Director, only if no other sites on the subject property can be reasonably developed, or only if reasonably necessary to avoid significant adverse impacts based upon other applicable Site Plan Review criteria.*

HISTORIC SIGNIFICANCE:

Community Planning & Permitting staff has determined that the existing residence does not appear to be of historic significance.

10. *The development shall not have a significant negative visual impact on the natural features or neighborhood character of surrounding area. Development shall avoid prominent, steeply sloped, or visually exposed portions of the property. Particular consideration shall be given to protecting views from public lands and rights-of-way, although impacts on views of or from private properties shall also be considered. Development within or affecting features or areas of visual significance may be approved, subject to acceptable mitigation measures and in the discretion of the Director, only if no other sites on the subject property can be reasonably developed, or only if reasonably necessary to avoid significant adverse impacts based upon other applicable Site Plan Review criteria.*

- b. *For development anywhere in the unincorporated areas of the county, mitigation of visual impact may include changing structure location, reducing or relocating windows and glazing to minimize visibility, reducing structure height, changing structure orientation, requiring exterior color and materials that blend into the natural environment, and/or lighting requirements to reduce visibility at night.*

	APPROVED
Location	As shown on the site plan dated 04/27/2022 and staked in the field. Refer to Section 11-B for Carport location requirements and Section 4 Flood Plain Requirements for Shed orientation and location,
Elevations	As shown in the application materials dated 04/27/2022
Height	Residence: Approximately 25' 6" from existing grade Studio: Approximately 25' 6" from existing grade Storage Container: Approximately 10'0" from existing grade
Exterior Materials	Residence and Studio: Wood and Metal siding and Metal roof Storage Container: Metal Siding and Roof
Exterior Colors	Residence and Accessory Structure: Light & Dark Grey, and Dark Green Siding, Light Grey Roof Storage Container: Dark Green Siding and Roof

A. EXTERIOR COLORS AND MATERIALS

The application materials indicate light and dark grey and dark green colors will be used for the siding and light grey colors will be used for the roofing, although, no color samples were provided. Wood and metal are proposed to be used for siding and standing seam metal is proposed for the roofing. Due to the structure's visible position in the landscape, samples of the exterior colors and metallic materials shall be provided to ensure visual impacts of the development are minimized and that the development blends in with the natural environment and neighborhood character of the surrounding area. Colors should be carefully selected from the light to dark grey, or green color range and materials should have a matte finish. This ensures that they are compatible with the policies and goals established by the Comprehensive Plan and provisions of the Land Use Code and will not result in an adverse impact on surrounding properties.

Prior to issuance of building permits, submit to the Community Planning & Permitting Department for review and approval, a digital copy of exterior color samples (color chips, brochure, or catalog page) and material samples to be used including roof, siding and trim. Samples should be included as part of the building plan set required at the time of permit application.

Prior to issuance of a Certificate of Occupancy, the Community Planning & Permitting Department must inspect and verify that the approved color samples are used on the new structure.

B. EXTERIOR LIGHTING

The locations and types of exterior lighting fixtures were not provided in the application.

Prior to issuance of building permits, one copy of a proposed lighting plan must be submitted to the Community Planning & Permitting Department for review and approval.

Down lighting is required, meaning that all bulbs must be fully shielded to prevent light emissions above a horizontal plane drawn from the bottom of the fixture. The lighting plan must indicate the location of all exterior fixtures on the site and structure, and must include cut sheets (manufacturer's specifications with picture or diagram) of all proposed fixtures. The lighting plan shall be included as part of the building plan set required at the time of permit application.

Prior to issuance of a Certificate of Occupancy the full installation of the approved lighting plan must be inspected and approved by the Community Planning & Permitting Department.

11. *The location of the development shall be compatible with the natural topography and existing vegetation and the development shall not cause unnecessary or excessive site disturbance. Such disturbance may include but is not limited to long driveways, oversized parking areas, or severe alteration of a site's topography. Driveways or grading shall have a demonstrated associated Principal use.*

A. LOCATION

The locations shown on the site plan dated 04/27/2022 and staked in the field are approved as proposed.

B. CHANGE OF LOCATION

Cherryvale Road has a Functional Classification of Collector at this location and has a supplemental road setback of 90 feet (see memo from County Engineer dated 5/20/2022 attached). The proposed carport is within the 90-foot supplemental setback for Cherryvale Road; therefore, a variance is required for the portion of carport that will be within the setback. If the variance is not approved, the applicant must submit a revised site plan with the building permit application that shows the proposed carport relocated entirely outside the 90-foot setback.

Prior to issuance of building or grading permits, a variance is required for the portion of carport that will be within the setback. If the variance is not approved, the applicant must submit a revised site plan with the building permit application that shows the proposed carport relocated entirely outside the 90-foot setback.

Prior to the foundation form inspection the completed [Setback Survey Verification Form](#) must be submitted to the Community Planning & Permitting Department.

C. EARTHWORK AND GRADING

The following earthwork and grading requirements are approved.

Driveway Earthwork	0 cubic yards cut and 0 cubic yards fill
Foundational Earthwork (exempt from 500 cubic yards threshold)	430 cubic yards cut and 0 cubic yards backfill 430 cubic yards excess foundation cut to be transported to Front Range Landfill

D. GRADING PLAN

Grading plans must be submitted showing the proposed changes to the existing grade in the FO District. Increasing the grade over four inches will require an individual FDP.

Prior to issuance of building or grading permits, a detailed grading plan must be submitted to and approved by the Community Planning & Permitting Department. This plan must include, but is not limited to, the following:

- a. All existing and proposed elevation contours in areas proposed to be disturbed (i.e., building site, terraces, parking, drive, septic system, well, and emergency access) must be shown at one or two foot intervals.
- b. The amount of earthwork in cubic yards and all calculations from which earthwork amounts were derived must be provided.
- c. A drainage plan with detailed information on the effects of the proposed development on the historic drainage pattern and how these impacts will be mitigated must be provided. This drainage plan must conform to the provisions of the [Boulder County Storm Drainage Criteria Manual](#).
- d. A narrative describing where any excess foundation cut (other than that used for backfill within the foundation) is to be transported. If the cut is to be located on site as fill, be sure to delineate the fill location and method of revegetation on the plan. The location of any excess fill on the site will have to be approved by the Community Planning & Permitting Department.

Prior to issuance of a Certificate of Occupancy, the location and receipt for transport and dumping must be submitted to the Community Planning & Permitting Department so that receipt of cut materials may be verified.

All reasonable efforts shall be made to minimize the site disturbance associated with this development proposal. If total earthwork (excluding normal excavation contained within structure footings and foundations) is close to the 500 cubic yard trigger for [Limited Impact Special Use Review](#), then all plans will need to be certified by a licensed professional engineer.

E. UTILITIES

To minimize disturbances to the site, all utility service lines shall be routed underground (see [Article 7-1200](#) of the Land Use Code) and should be located in areas already disturbed or proposed to be disturbed (e.g., along driveway).

Prior to issuance of building and grading permits, submit to the Community Planning & Permitting Department for review and approval a plan depicting the routing of all utility services. The utility routing plan shall be included as part of the building plan set required at the time of permit application.

At the time of building inspections, full installation of the utilities per the approved plan must be inspected and confirmed by the Community Planning & Permitting Department.

12. *Runoff, erosion, and/or sedimentation from the development shall not have a significant adverse impact on the surrounding area.*

A. REVEGETATION PLAN

No information was provided regarding the proposed method of revegetation for site disturbances associated with construction.

A Revegetation Plan is required that includes grass species to be used, an explanation of how topsoils will be stockpiled and reused, mapped delineation of all disturbance areas (this includes construction staging areas, driveway, utility lines, and septic system), and locations of silt fence or erosion control logs down slope of disturbed areas. New horticultural plantings should emphasize xeriscaping principles (Article 7-200-B-8, Land Use Code).

Prior to issuance of building or grading permits, submit to the Community Planning & Permitting Department for review and approval one copy of the proposed Revegetation Plan that conforms to the requirements as described on the materials located on our [Revegetation Page](#).

Prior to issuance of a Certificate of Occupancy, the full installation of the approved revegetation plan must be inspected and approved by the Community Planning & Permitting Department. If weather is not conducive to seeding or if adequate revegetation efforts have not occurred and vegetation is not adequately established at the time of final inspection request, an irrevocable letter of credit or monies deposited into a County Treasurer account will be required to assure the success of revegetation. You should consider the following well in advance of your revegetation inspection:

- a. Whether you are applying for a Certificate of Occupancy, final inspection, or the return of funds held in escrow for completion of revegetation, some level of germination and growth of grass seed is required.
- b. Keep in mind that the steeper the slopes and dryer the soil, the greater the attention needed to establish a level of germination adequate to obtain revegetation approval.
- c. Areas of disturbance found at inspection not included on the revegetation plan are still subject to reseeding and matting.

Incomplete revegetation is the leading cause for delays in obtaining a Certificate of Occupancy.

B. EROSION CONTROL

A silt barrier must be installed down slope of all disturbed areas prior to construction and maintained throughout the construction process until revegetation has been established. Silt barrier construction shall be in accordance with the Colorado Storm Water regulations (see our [silt barrier](#) handout). If any surface water is channeled around or through the disturbed areas, anchored straw bale barriers shall also be installed to filter and slow channeled flow.

Prior to issuance of building or grading permits, details regarding the placement and construction of the erosion control measures must be submitted to and approved by the Community Planning & Permitting Department. The placement and profile of the erosion control measures may be shown on the Revegetation Plan. The silt fence must be installed before construction commences and remain in place until vegetation is sufficiently established on the disturbed soil.

Prior to any grading or site disturbance, the erosion control measure location and materials must be installed as required per the approved plans.

At the time of the footing foundation inspection and all subsequent inspections, the Community Planning & Permitting Department must confirm the erosion control measure location and materials have been installed as required per the approved plans. Any other areas on site are subject to installation of erosion control measures, if needed.

- 14. *Where an existing principal structure is proposed to be replaced by a new principal structure, construction or subsequent enlargement of the new structure shall not cause significantly greater impact (with regard to the standards set forth in this Section 4-806) than the original structure.***

The new residence is to be constructed in generally the same location as the existing residence and will overlap only a small portion of the existing footprint due to the 90-foot supplemental setback for Cherryvale Road. The existing 1,562-square-foot principal structure is proposed to be deconstructed, and the new principal structure will be 1,048 square feet larger with the approved size of 2,610 square feet. The approved size for the proposed residence, studio and storage container are right at the maximum for the neighborhood's presumptive size maximum of 3,888 square feet. The proposed residence, studio and storage container are also within range of the defined neighborhood's above grade area, which ranges from 1,676-square-feet to 7,481-square-feet. No additional burden on public services and infrastructure will occur due to utilization of existing utilities and sanitation system. As conditioned, staff does not foresee a significantly greater impact with regard to the Standards for the new principal structure.

- 15. *The proposal shall be consistent with the Comprehensive Plan, any applicable intergovernmental agreement affecting land use or development, and this Code.***

LOCATION: SUPPLEMENTAL SETBACKS FROM ROAD REQUIRED

The site plan submitted with the application materials indicates that the footprint of the proposed structure is within 20 percent of the minimum required 90-foot supplemental setback from the centerline of the existing roadway (See [Article 7-1403\(B\)\(3\)\(c\) of the Land Use Code](#)). Therefore, a [Setback Survey Verification Form](#) is required. This form will be provided at the time a building permit is processed.

Prior to the foundation form inspection, the [Setback Survey Verification Form](#) must be completed by a licensed surveyor and submitted to the Community Planning & Permitting Department.

As conditioned this proposal will be consistent with the Comprehensive Plan, intergovernmental agreements, and this Code.

ADDITIONAL REQUIREMENTS AND INFORMATION:

BOULDER COUNTY BUILDSMART REQUIREMENTS: A building permit, plan review, inspection approvals, and a Certificate of Occupancy (“C.O.”) are required for the proposed residence. A separate building permit is required for the storage container and accessory studio building. Please refer to the county’s adopted 2015 editions of the International Codes and code amendments, which can be found via the internet under the link: 2015 Building Code Adoption & Amendments, at the following URL:
<https://assets.bouldercounty.org/wp-content/uploads/2017/03/building-code-2015.pdf>

AUTOMATIC FIRE SPRINKLER SYSTEM: Under the 2015 International Residential Code (“IRC”) as adopted by Boulder County, all new one- and two-family dwellings and townhouses are required to be equipped with an automatic fire sprinkler system that is designed and installed in accordance with NFPA 13D or IRC Section P2904.

BUILDSMART: Please refer to the county’s adoption and amendments to Chapter 11 of the IRC, the county’s “BuildSmart” program, for the applicable requirements for energy conservation and sustainability for residential additions and new residential buildings. Please be aware that there are energy related requirements of this code that may require the use of renewable energy systems (such as rooftop solar systems) that will also need to be approved by your electric utility provider. In some cases, there may be limitations on the size of on-site systems allowed by your utility provider that could constrain the project design. We strongly encourage discussions between the design team and the utility company as early in the process as possible in order to identify these constraints.

DESIGN WIND AND SNOW LOADS: The design wind and ground snow loads for the property are 160 mph (Vult) and 40 psf, respectively.

ELECTRIC VEHICLE CHARGING OUTLET: Boulder County Building Code requires:

- a. R329.1 Electric vehicle charging pre-wire option. In addition to the one 125-volt receptacle outlet required for each car space by NEC Section 210.52(G)(1.), every new garage or carport that is accessory to a one- or two-family dwelling or townhouse shall include at least one of the following, installed in accordance with the requirements of Article 625 of the Electrical Code:
 - i. A Level 2 (240-volt) electric vehicle charging receptacle outlet, or
 - ii. Upgraded wiring to accommodate the future installation of a Level 2 (240-volt) electric vehicle charging receptacle outlet, or
 - iii. Electrical conduit to allow ease of future installation of a Level 2 (240-volt) electric vehicle charging receptacle outlet.

PLAN REVIEW: The items listed above are a general summary of some of the county's building code requirements. A much more detailed plan review will be performed at the time of building permit application, when full details are available for review, to assure that all applicable minimum building codes requirements are to be met. Our Residential Plan Check List and other Building Safety publications can be found at:
<https://assets.bouldercounty.org/wp-content/uploads/2017/03/b24-residential-plan-check-list.pdf>

AFFIDAVIT FOR RESIDENTIAL ACCESSORY STRUCTURE: Please be advised that the Boulder County Land Use Code allows a detached studio as an accessory residential structure. However, any alteration to the structure approved herein prohibits a change in use of the structure to a second dwelling unit on the parcel without review and approval of a Special Review per [Article 4-516.L of the Land Use Code](#). This means no bathing or cooking facilities are allowed in the accessory structure. To insure that the proposed detached studio conforms with the provisions of the Land Use Code, at the time the building permit for this property is processed, the Community Planning & Permitting Department will require the property owner to sign an affidavit which acknowledges the zoning requirements of Article 4-103 of the Land Use Code and the Rural Residential Zoning District as related to subsections (B)(11) Residential Uses and (C)(11) Accessory Structures. A building permit will not be issued until the affidavit has been reviewed and approved.

SANITARY FACILITIES: Sanitary facilities must be provided during construction and shall consist of a portable chemical toilet fabricated from steel, fiberglass or wood. Each facility must be well ventilated, must conform to State law, and must have a vented chemical tank and a separate urinal.



Boulder County Land Use Department

Courthouse Annex Building
 2045 13th Street • PO Box 471 • Boulder, Colorado 80302
 Phone: 303-441-3930
 Email: planner@bouldercounty.org
 Web: www.bouldercounty.org/lu
 Office Hours: Mon., Wed., Thurs., Fri. 8 a.m. to 4:30 p.m.
 Tuesday 10 a.m. to 4:30 p.m.

Shaded Areas for Staff Use Only
Intake Stamp

Planning Application Form

The Land Use Department maintains a submittal schedule for accepting applications. Planning applications are accepted on Mondays, by appointment only. Please call 303-441-3930 to schedule a submittal appointment.

Project Number		Project Name		
<input type="checkbox"/> Appeal <input type="checkbox"/> Correction Plat <input type="checkbox"/> Exemption Plat <input type="checkbox"/> Final Plat <input type="checkbox"/> Limited Impact Special Use <input type="checkbox"/> Limited Impact Special Use Waiver <input type="checkbox"/> Location and Extent		<input type="checkbox"/> Modification of Site Plan Review <input type="checkbox"/> Modification of Special Use <input type="checkbox"/> Preliminary Plan <input type="checkbox"/> Resubdivision (Replat) <input type="checkbox"/> Rezoning	<input type="checkbox"/> Road Name Change <input type="checkbox"/> Road/Easement Vacation <input checked="" type="checkbox"/> Site Plan Review <input type="checkbox"/> Site Plan Review Waiver <input type="checkbox"/> Sketch Plan <input type="checkbox"/> Special Use/SSDP	<input type="checkbox"/> Special Use (Oil & Gas development) <input type="checkbox"/> State Interest Review (1041) <input type="checkbox"/> Subdivision Exemption <input type="checkbox"/> Variance <input type="checkbox"/> Other:
Location(s)/Street Address(es)				
5973 Dimmit Dr				
Subdivision Name GAPTER - BOV				
Lot(s) LOT 1	Block(s)	Section(s) 34	Township(s) 1N	Range(s) 70
Area in Acres 0.71	Existing Zoning RR	Existing Use of Property SINGLE-FAMILY RESIDENTIAL		Number of Proposed Lots 1 (NO CHANGE)
Proposed Water Supply EXISTING ON-SITE WELL		Proposed Sewage Disposal Method CITY OF BOULDER MUNICIPAL		

Applicants:

Applicant/Property Owner Neal Evers, AIA			Email nealevers@gmail.com	
Mailing Address PO BOX 34				
City Lyons	State CO	Zip Code 80540	Phone 405-880-6946	
Applicant/Property Owner/Agent/Consultant			Email	
Mailing Address				
City	State	Zip Code	Phone	
Agent/Consultant			Email	
Mailing Address				
City	State	Zip Code	Phone	

Certification (Please refer to the Regulations and Application Submittal Package for complete application requirements.)

I certify that I am signing this Application Form as an owner of record of the property included in the Application. I certify that the information and exhibits I have submitted are true and correct to the best of my knowledge. I understand that all materials required by Boulder County must be submitted prior to having this matter processed. I understand that public hearings or meetings may be required. I understand that I must sign an Agreement of Payment for Application processing fees, and that additional fees or materials may be required as a result of considerations which may arise in the processing of this docket. I understand that the road, school, and park dedications may be required as a condition of approval.

I understand that I am consenting to allow the County Staff involved in this application or their designees to enter onto and inspect the subject property at any reasonable time, without obtaining any prior consent.

All landowners are required to sign application. If additional space is needed, attach additional sheet signed and dated.

Signature of Property Owner <i>[Signature]</i>	Printed Name Robert Hill Harris	Date 04/18/2022
Signature of Property Owner <i>[Signature]</i>	Printed Name Susie Nagi Harris	Date 04/18/22

The Land Use Director may waive the landowner signature requirement for good cause, under the applicable provisions of the Land Use Code.



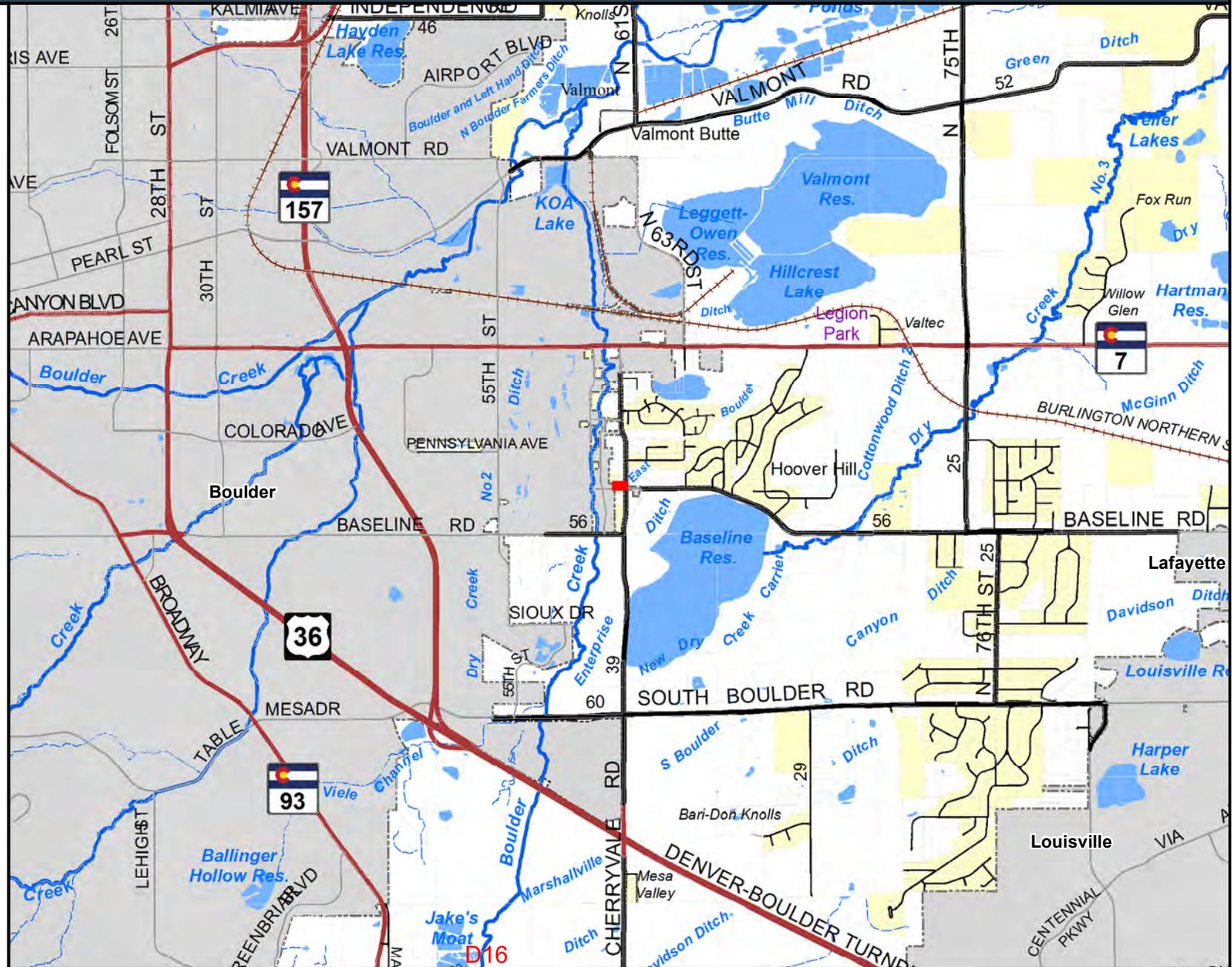
Community Planning & Permitting

2045 13th Street, Boulder, CO 80302 303-441-3930 www.bouldercounty.org

Vicinity

933, 5973 DIMMIT DR

-  Subject Parcel
-  Municipalities
- Subdivisions**
-  Subdivisions



Area of Detail Date: 6/10/2021



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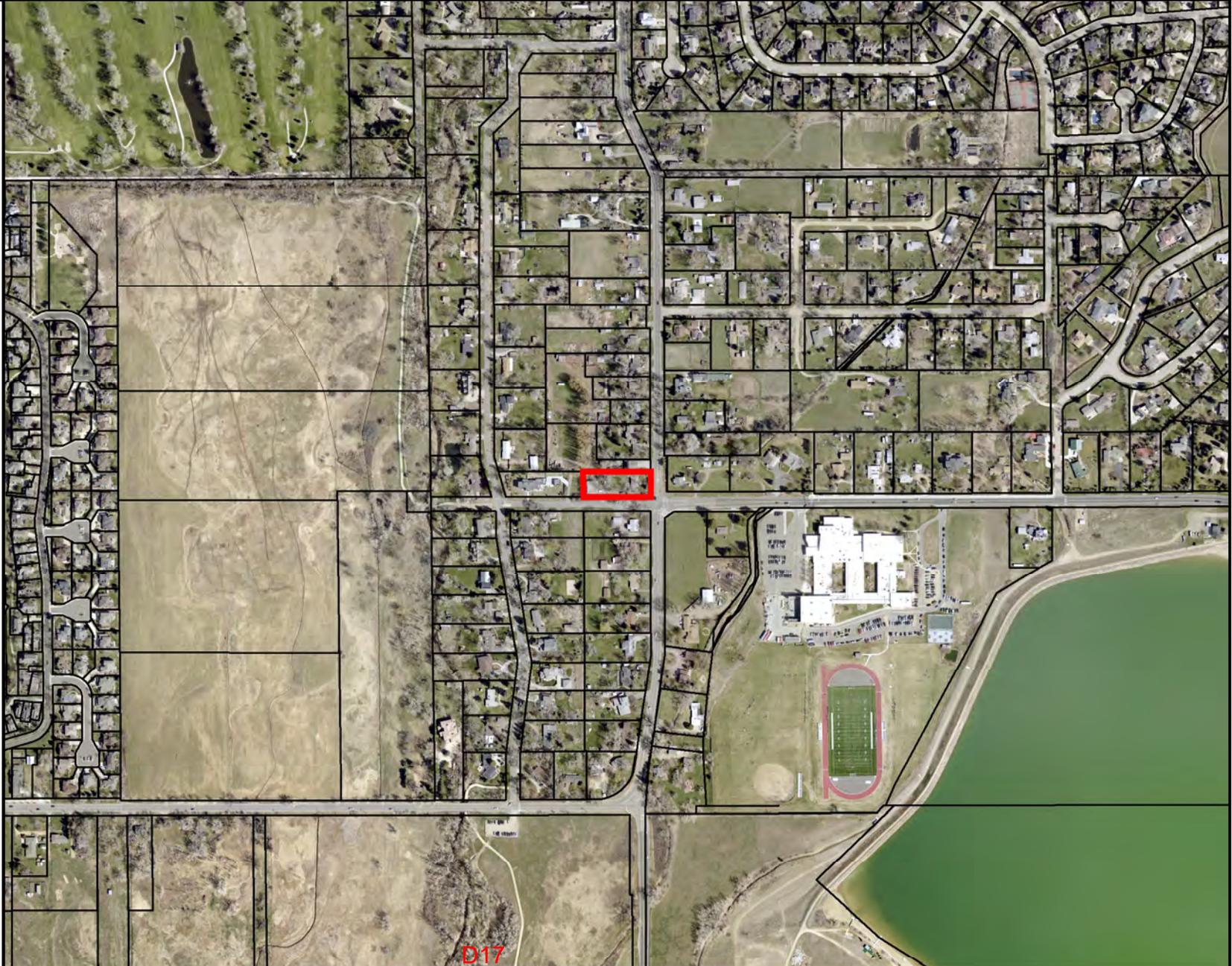
Community Planning & Permitting

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Aerial

933, 5973 DIMMIT DR

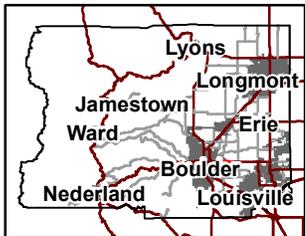
 Subject Parcel



0 0.05 0.1 Miles



Area of Detail Date: 6/10/2021



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D17



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Aerial

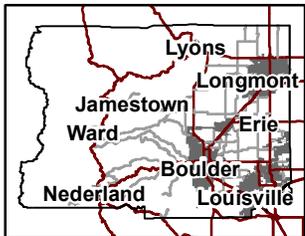
933, 5973 DIMMIT DR

 Subject Parcel



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Area of Detail Date: 6/10/2021



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D18



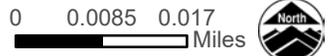
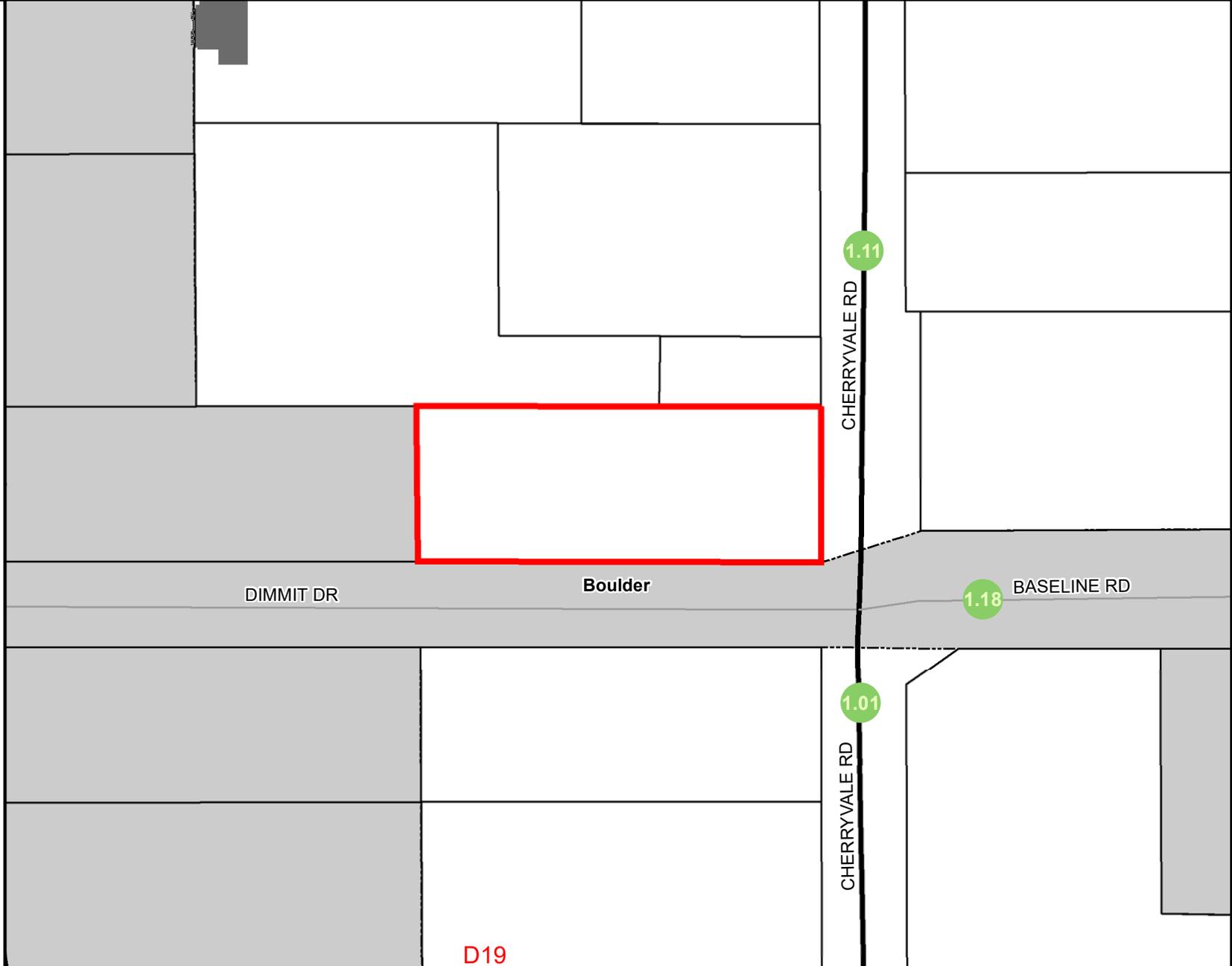
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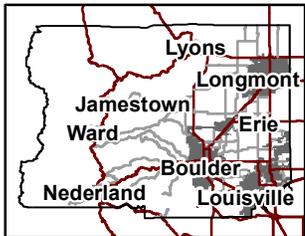
Comprehensive Plan

933, 5973 DIMMIT DR

-  Subject Parcel
-  Rare Plant Areas



Area of Detail Date: 6/10/2021



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Zoning

933, 5973 DIMMIT DR

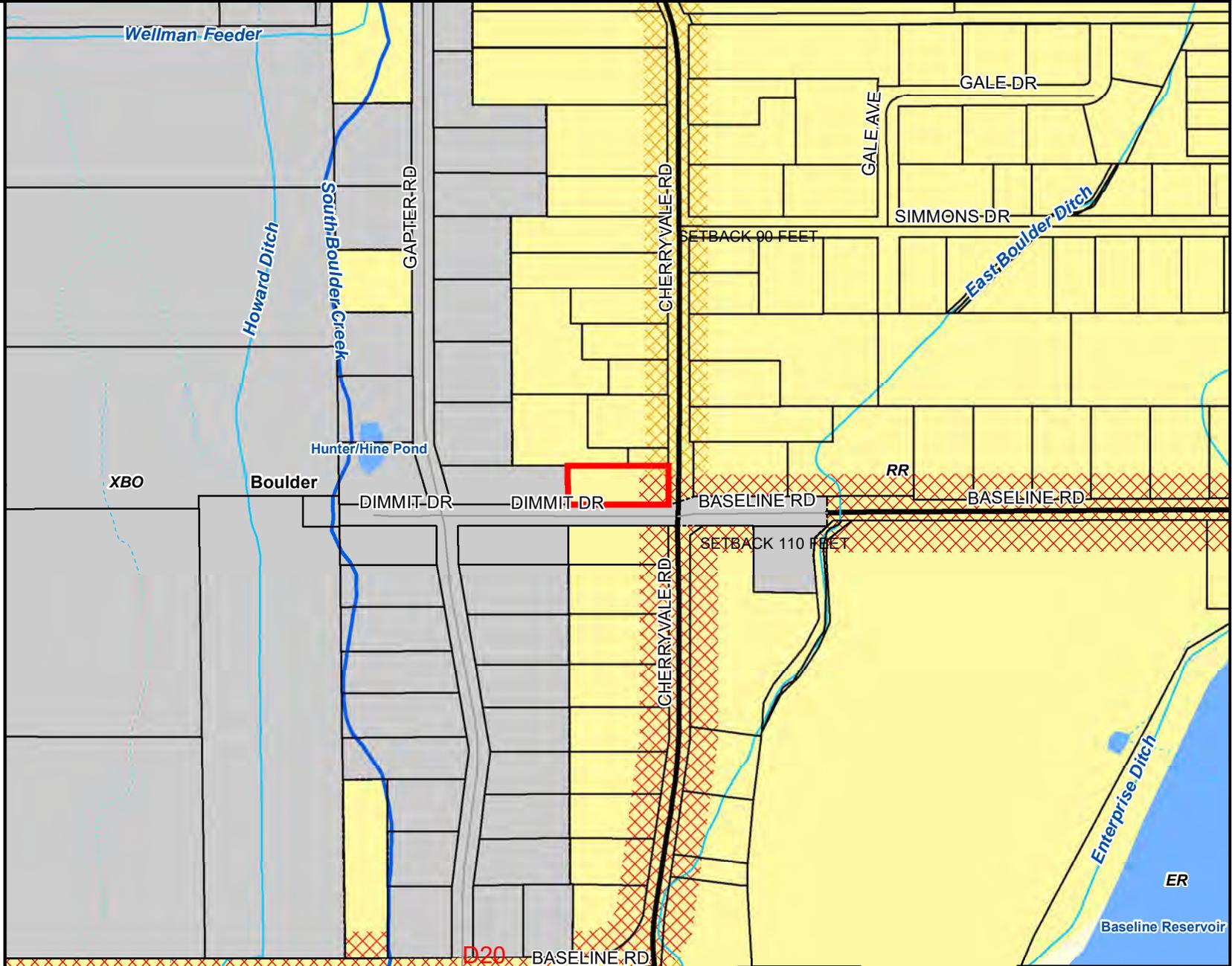
Subject Parcel

Major Road Setbacks

- 90 feet
- 110 feet

Zoning Districts

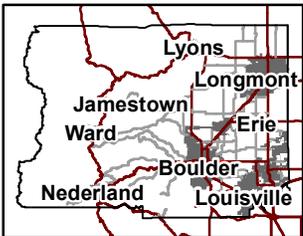
- Estate Residential
- Rural Residential



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Area of Detail Date: 6/10/2021



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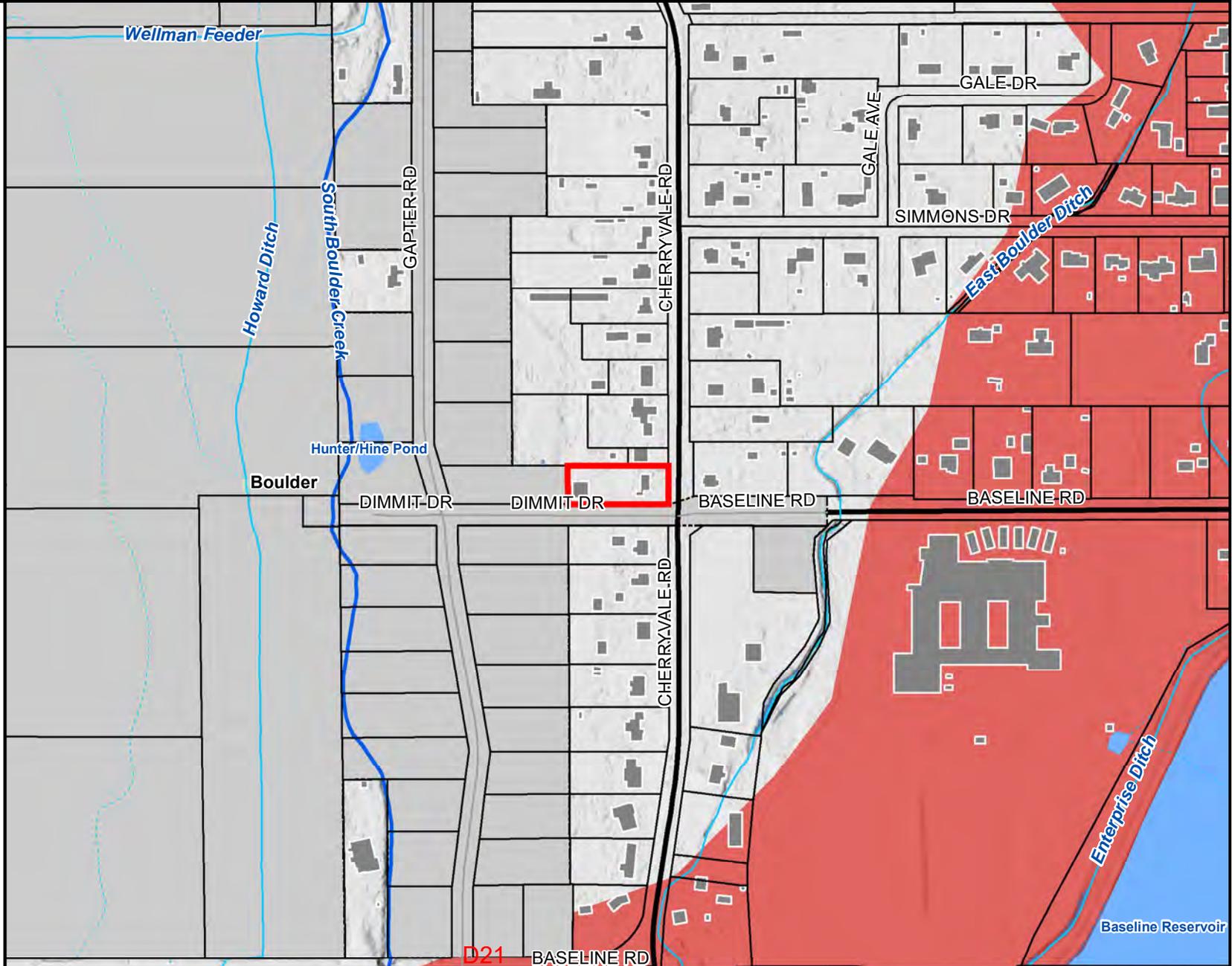
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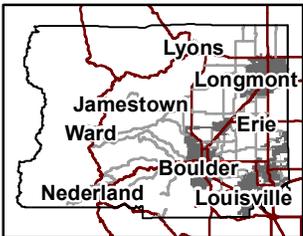
Geologic Hazards

933, 5973 DIMMIT DR

-  Subject Parcel
-  Landslide high susceptibility area
-  Very High Swelling Soil Potential
-  Moderate Swelling Soil Potential



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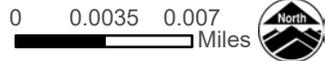
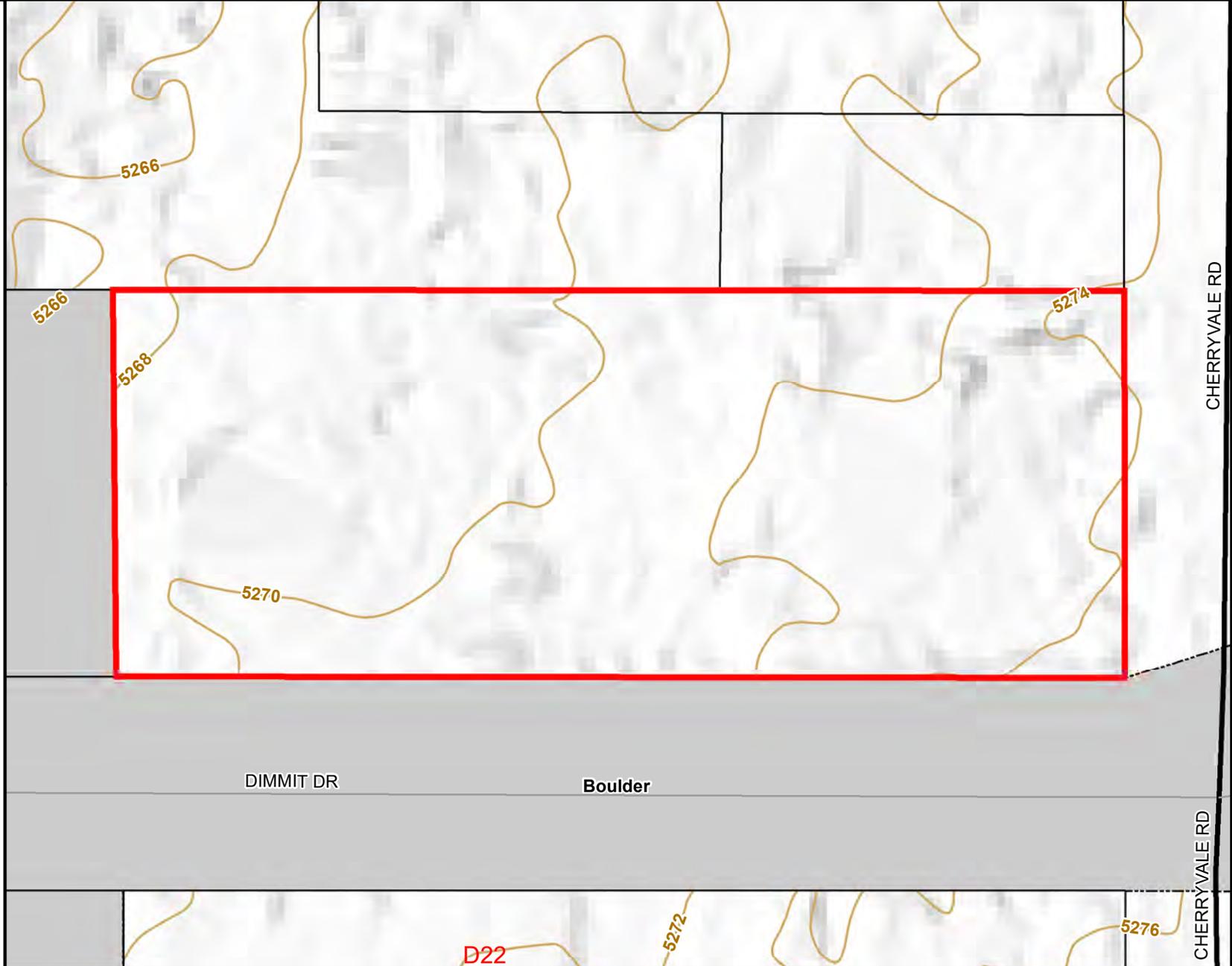
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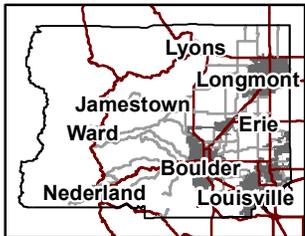
Elevation Contours

933, 5973 DIMMIT DR

-  Subject Parcel
-  Contours 2'



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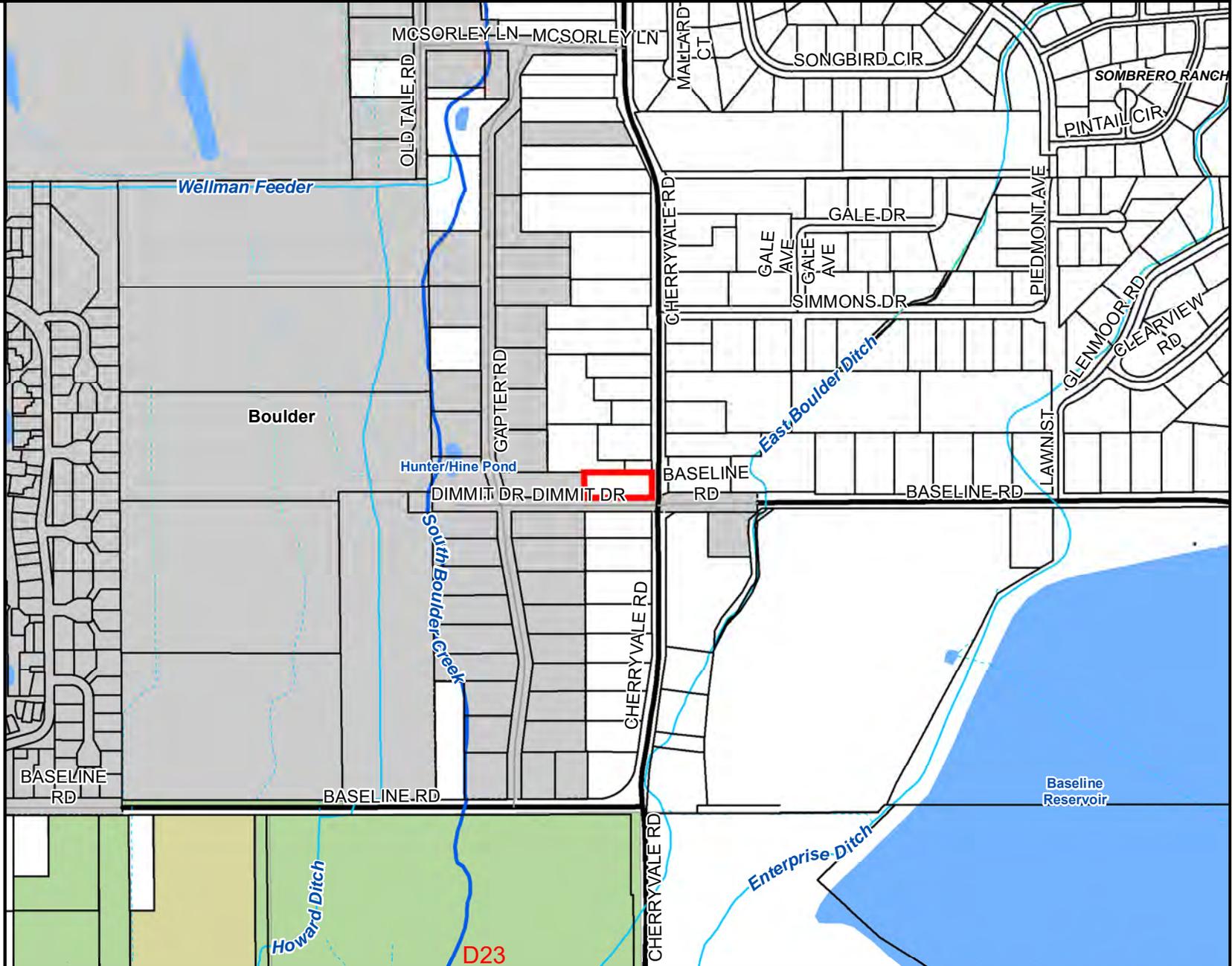
Public Lands & CEs

933, 5973 DIMMIT DR

 Subject Parcel

Boulder County Open Space

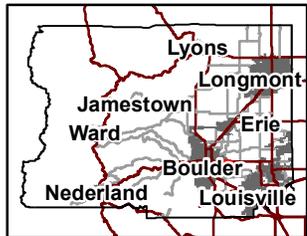
-  County Open Space
-  City Parks and Open Space
-  OSMP Properties



0 0.05 0.1 Miles



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Floodplain

933, 5973 DIMMIT DR

Subject Parcel

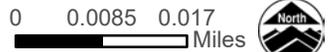
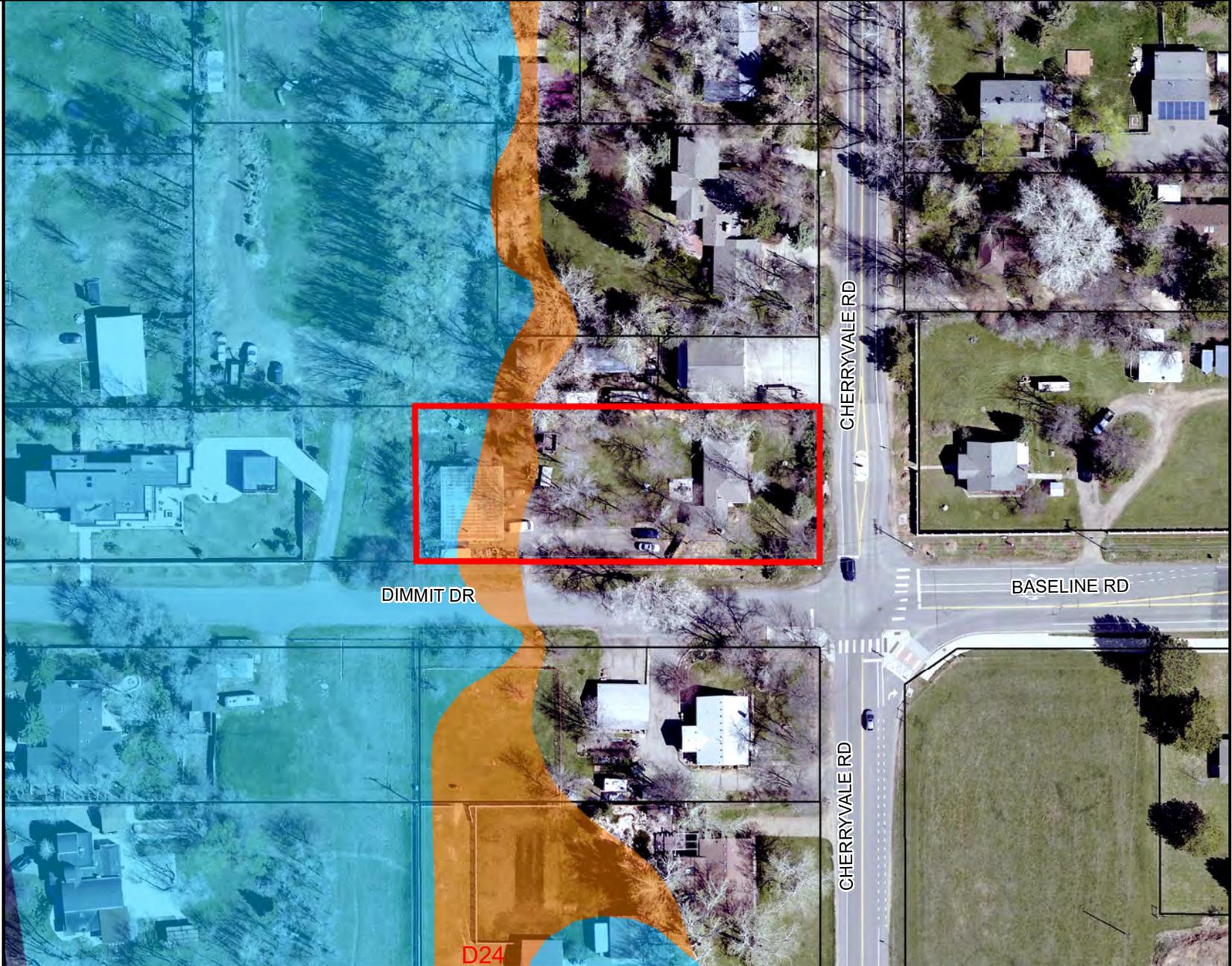
Floodplain

100-Year Floodplain

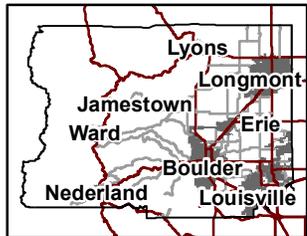
- Zones AE, A, AO and AH

Floodway

500-Year Floodplain
- Zone X500



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Planning Areas

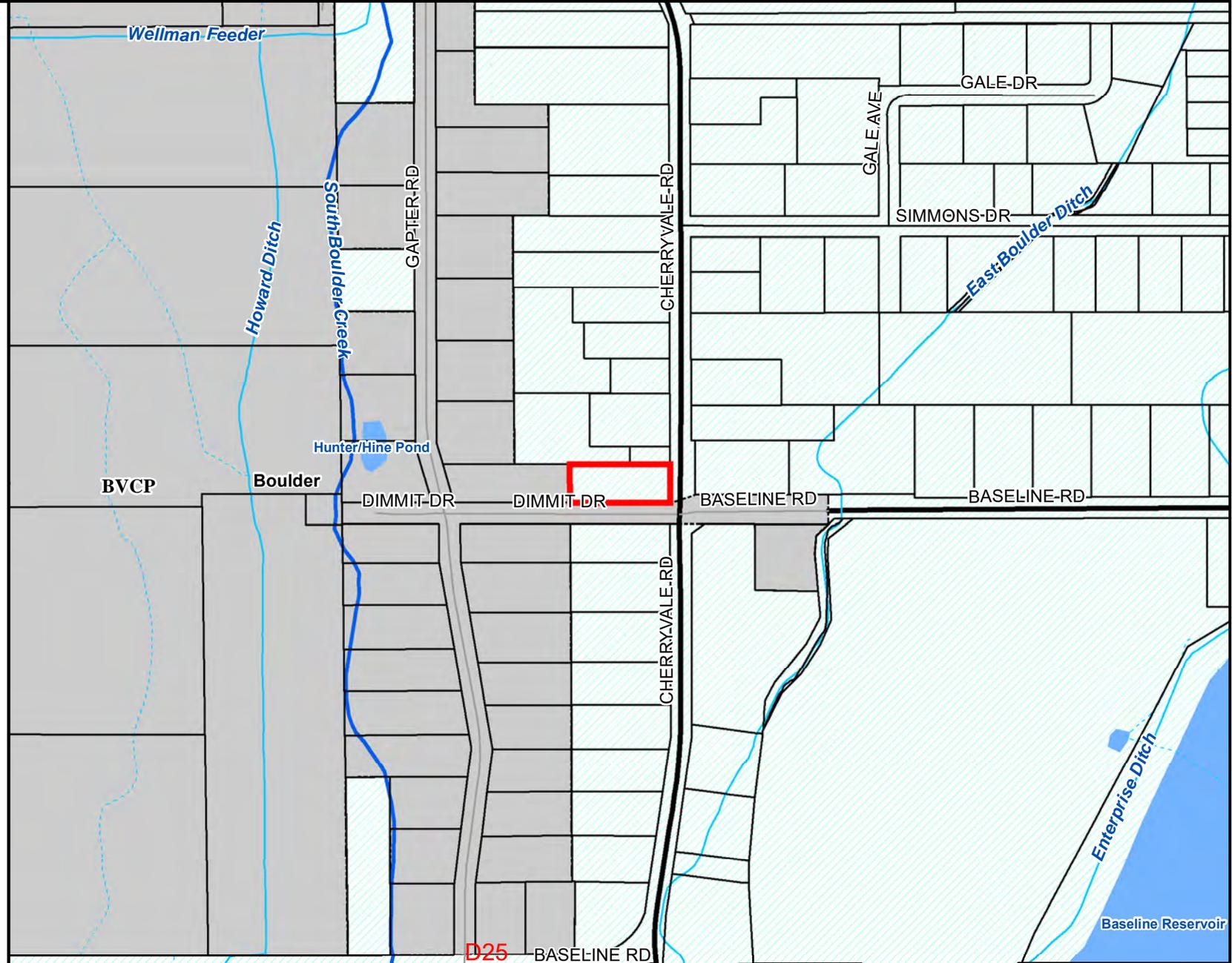
933, 5973 DIMMIT DR

Subject Parcel

Active IGA Boundary

Active IGA Designation

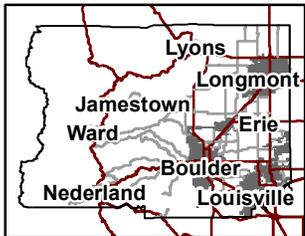
BVCP



0 0.035 0.07 Miles



Area of Detail Date: 6/10/2021



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Prebles

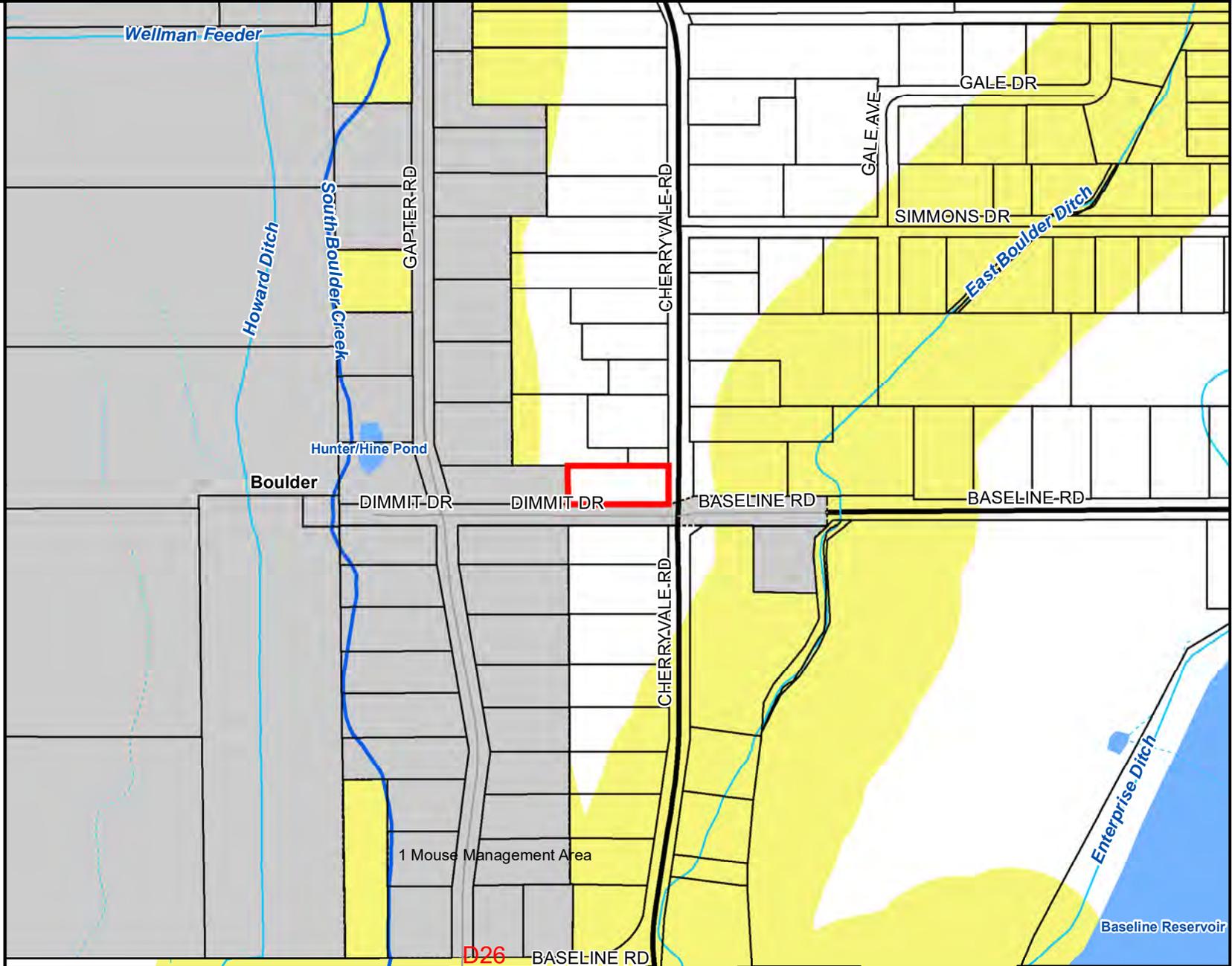
933, 5973 DIMMIT DR

Subject Parcel

Note: This map's legend shows all Preble's Priority Zones as mapped by Boulder County. The subject property may not contain all zones. Refer to the USFWS Memo dated 9/17/03 to determine when projects require review by USFWS for Preble's.

Prebles

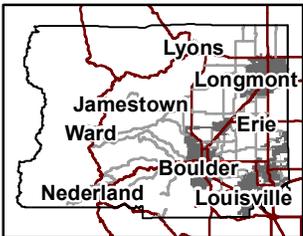
Zone 1 Mouse Management Area



0 0.035 0.07 Miles



Area of Detail Date: 6/10/2021



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Site Plan Review Fact Sheet

The applicant(s) is/are required to complete each section of this Site Plan Review (SPR) Fact Sheet even if the information is duplicated elsewhere in the SPR application. Completed Fact Sheets reduce the application review time which helps expedite the Director's Determination. Please make duplicates of this SPR Fact Sheet if the project involves more than two structures.

Structure #1 Information

Type of Structure: (e.g. residence, studio, barn, etc.)		residence			
Total Existing Floor Area: (Finished + Unfinished square feet including garage if attached.)		1562 sq. ft.	Deconstruction:		1562 sq. ft.
Are new floor areas being proposed where demolition will occur? <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes (include the new floor area square footage in the table below)					
Proposed Floor Area (New Construction Only)				<input checked="" type="checkbox"/> Residential <input type="checkbox"/> Non-Residential	
	Finished	Unfinished	Total	Height (above existing grade)	
Basement:	0 sq. ft.	0 sq. ft.	0 sq. ft.	25'-6"	
First Floor:	2610 sq. ft.	0 sq. ft.	2610 sq. ft.	Exterior Wall Material	wood & metal siding
Second Floor:	0 sq. ft.	0 sq. ft.	0 sq. ft.	Exterior Wall Color	light gray & dark gray
Garage: <input type="checkbox"/> Detached <input type="checkbox"/> Attached	0 sq. ft.	0 sq. ft.	0 sq. ft.	Roofing Material	metal
*Covered Porch:	0 sq. ft.	0 sq. ft.	0 sq. ft.	Roofing Color	light gray
Total:	2610 sq. ft.	0 sq. ft.	2610 sq. ft.	Total Bedrooms	3

Project Identification:

Project Name:
Property Address/Location:
Current Owner:
Size of Property in Acres:

Determining Floor Area

Floor Area is measured in terms of square feet. The total square footage is as everything within the exterior face of the exterior walls including garages and basements. **Covered porch area that is attached to the principal structure is not included (see Article 18-131A).** The shaded area on the diagram indicates the area counted as square feet.



Structure #2 Information

Type of Structure: (e.g. residence, studio, barn, etc.)		accessory studio			
Total Existing Floor Area: (Finished + Unfinished square feet including garage if attached.)		2200 sq. ft.	Deconstruction:		2200 sq. ft.
Are new floor areas being proposed where demolition will occur? <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes (include the new floor area square footage in the table below)					
Proposed Floor Area (New Construction Only)				<input checked="" type="checkbox"/> Residential <input type="checkbox"/> Non-Residential	
	Finished	Unfinished	Total	Height (above existing grade)	
Basement:	0 sq. ft.	0 sq. ft.	0 sq. ft.	25'-6"	
First Floor:	1066 sq. ft.	0 sq. ft.	1066 sq. ft.	Exterior Wall Material	wood & metal siding
Second Floor:	0 sq. ft.	0 sq. ft.	0 sq. ft.	Exterior Wall Color	light gray & dark gray
Garage: <input type="checkbox"/> Detached <input type="checkbox"/> Attached	0 sq. ft.	0 sq. ft.	0 sq. ft.	Roofing Material	metal
*Covered Porch:	0 sq. ft.	0 sq. ft.	0 sq. ft.	Roofing Color	light gray
Total:	1066 sq. ft.	0 sq. ft.	1066 sq. ft.	Total Bedrooms	0

Residential vs. Non-Residential Floor Area

Residential Floor Area includes all attached and detached floor area (as defined in Article 18-162) on a parcel, including principal and accessory structures used or customarily used for residential purposes, such as garages, studios, pool houses, home offices and workshops. Gazebos and carports up to a total combined size of 400 square feet are exempt. Barns used for agricultural purposes are not considered residential floor area.

Note: If an existing wall(s) and/or roof(s) are removed and a new wall(s)/roof(s) are constructed, the associated floor area due to the new wall(s)/roof(s) are considered new construction and must be included in the calculation of floor area for the Site Plan Review and shown on this Fact Sheet.

If a Limited Impact Special Review is required, then call 303-441-3930 and ask for a new Pre-Application conference for the Limited Impact Special Review.

*See Article 18-131A for definition of covered porch.

Site Plan Review Fact Sheet

The applicant(s) is/are required to complete each section of this Site Plan Review (SPR) Fact Sheet even if the information is duplicated elsewhere in the SPR application. Completed Fact Sheets reduce the application review time which helps expedite the Director's Determination. Please make duplicates of this SPR Fact Sheet if the project involves more than two structures.

Structure #3 Information

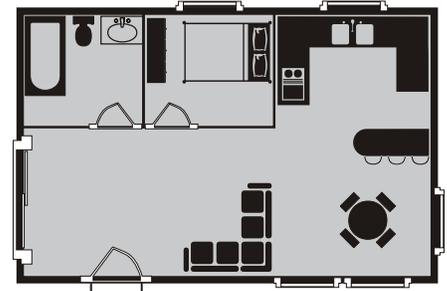
Type of Structure: (e.g. residence, studio, barn, etc.)		shed			
Total Existing Floor Area: (Finished + Unfinished square feet including garage if attached.)		156 sq. ft.	Deconstruction:		156 sq. ft.
Are new floor areas being proposed where demolition will occur? <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes (include the new floor area square footage in the table below)					
Proposed Floor Area (New Construction Only)				<input checked="" type="checkbox"/> Residential <input type="checkbox"/> Non-Residential	
	Finished	Unfinished	Total	Height (above existing grade)	
Basement:	0 sq. ft.	0 sq. ft.	0 sq. ft.	25'-6"	
First Floor:	160 sq. ft.	0 sq. ft.	160 sq. ft.	Exterior Wall Material	metal siding
Second Floor:	0 sq. ft.	0 sq. ft.	0 sq. ft.	Exterior Wall Color	dark green
Garage: <input type="checkbox"/> Detached <input type="checkbox"/> Attached	0 sq. ft.	0 sq. ft.	0 sq. ft.	Roofing Material	metal
*Covered Porch:	0 sq. ft.	0 sq. ft.	0 sq. ft.	Roofing Color	dark green
Total:	2610 sq. ft.	0 sq. ft.	2610 sq. ft.	Total Bedrooms	0

Project Identification:

Project Name:
Property Address/Location:
Current Owner:
Size of Property in Acres:

Determining Floor Area

Floor Area is measured in terms of square feet. The total square footage is as everything within the exterior face of the exterior walls including garages and basements. **Covered porch area that is attached to the principal structure is not included (see Article 18-131A).** The shaded area on the diagram indicates the area counted as square feet.



Residential vs. Non-Residential Floor Area

Residential Floor Area includes all attached and detached floor area (as defined in Article 18-162) on a parcel, including principal and accessory structures used or customarily used for residential purposes, such as garages, studies, pool houses, home offices and workshops. Gazebos and carports up to a total combined size of 400 square feet are exempt. Barns used for agricultural purposes are not considered residential floor area.

Note: If an existing wall(s) and/or roof(s) are removed and a new wall(s)/roof(s) are constructed, the associated floor area due to the new wall(s)/roof(s) are considered new construction and must be included in the calculation of floor area for the Site Plan Review and shown on this Fact Sheet.

If a Limited Impact Special Review is required, then call 303-441-3930 and ask for a new Pre-Application conference for the Limited Impact Special Review.

*See Article 18-131A for definition of covered porch.

Grading Calculation

Cut and fill calculations are necessary to evaluate the disturbance of a project and to verify whether or not a Limited Impact Special Review is required. Limited Impact Special Review is required when grading for a project involves more than 500 cubic yards (minus normal cut/fill and backfill contained within the foundation footprint).

If grading totals are close to the 500 yard trigger, additional information may be required, such as a grading plan stamped by a Colorado Registered Professional Engineer.

Earth Work and Grading

This worksheet is to help you accurately determine the amount of grading for the property in accordance with the Boulder County Land Use Code. Please fill in all applicable boxes.

Note: Applicant(s) must fill in the shaded boxes even though foundation work does not contribute toward the 500 cubic yard trigger requiring Limited Impact Special Use Review. Also, all areas of earthwork must be represented on the site plan.

Earth Work and Grading Worksheet:

	Cut	Fill	Subtotal
Driveway and Parking Areas	0 cu yds	0 cu yds	0 cu yds
Berm(s)			
Other Grading			
Subtotal	0 cu yds	0 cu yds	+/- 0 cu yds <small>Box 1</small>
* If the total in Box 1 is greater than 500 cubic yards, then a Limited Impact Special Review is required.			
	Cut	Fill	Total
Foundation	430 cu yd.	0 cu yd.	430 cu yd.
Material cut from foundation excavation to be removed from the property			+/-430 cu yd.

Excess Material will be Transported to the Following Location:

Excess Materials Transport Location:
Front Range Landfill (1830 Weld, Co Rd 5, Erie CO 80516)

Narrative

Use this space to describe any special circumstances that you feel the Land Use Office should be aware of when reviewing your application, including discussion regarding any factors (listed in Article 4-806.2.b.i) used to demonstrate that the presumptive size limitation does not adequately address the size compatibility of the proposed development with the defined neighborhood. If more room is needed, feel free to attach a separate sheet.

The site is functionally flat (slight, positive drainage to NW property corner per attached topographic survey.
Therefore, there is no grading required on-site except that of foundation cut for anticipated caisson, grade beam and crawl space foundation system. Proposed site drives and hardscape areas are to be on-grade.

Is Your Property Gated and Locked?

Note: If county personnel cannot access the property, then it could cause delays in reviewing your application.

Certification

I certify that the information submitted is complete and correct. I agree to clearly identify the property (if not already addressed) and stake the location of the improvements on the site within four days of submitting this application. I understand that the intent of the Site Plan Review process is to address the impacts of location and type of structures, and that modifications may be required. Site work will not be done prior to issuance of a Grading or Building Permit.

Signature <i>Neal Evers</i>	Print Name Neal Evers, AIA	Date 4/18/2022
-----------------------------	-------------------------------	-------------------

NEAL EVERS, AIA

NEAL EVERS ARCHITECTURE, LLC

PO BOX34 LYONS, CO 80540 | 405-880-6946 | nealevers@gmail.com

04.18.22

Boulder County Land Use Planning Review
2045 13th Street
Boulder, CO 80302

Site Plan Review Application

Project Address: 5973 Dimmit Dr, Boulder CO 80303 (previously 933 Cherryvale Rd)

Dear Boulder County Land Use Planning Review:

Please find the attached Site Plan Review Application materials. This cover letter is an addendum to the application through its narrative purpose.

The land owners, Robert Hill & Susie Nagi Harris propose to demolish the existing structures within the next 3 years and proposed the following SPR property improvements:

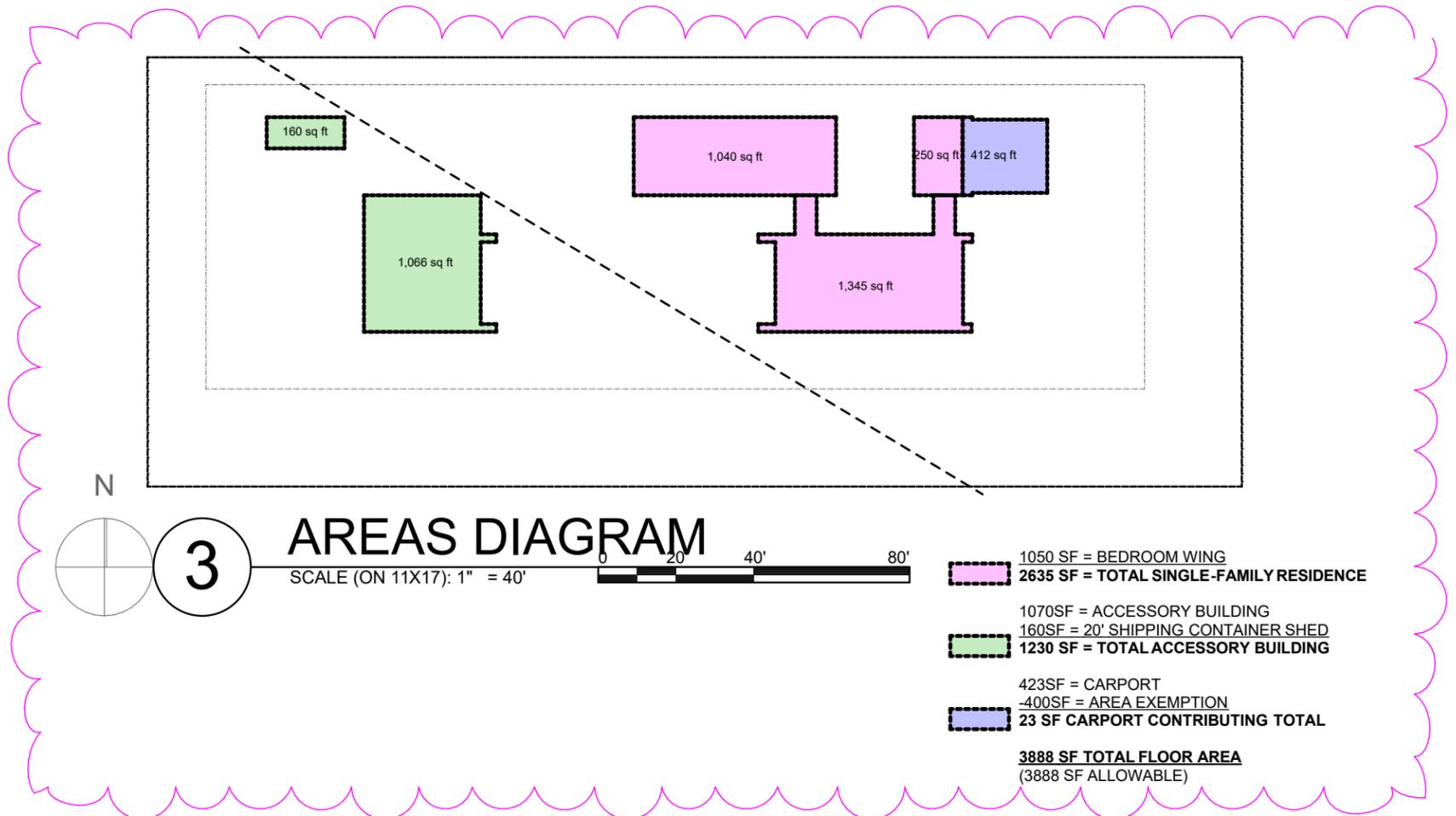
- new 2,610 sf single-story, single-family residence
- new 1,066 sf accessory studio structure
- new 160 sf accessory storage shed
- add primary site access point and driveway closer to primary residence

The general architectural approach, as proposed in this package of drawings, represents a regionally-appropriate, single-story massing with agricultural-familiar materials. Proposed improvements will remove a non-compliant metal workshop currently over the setbacks and in the 100-yr floodplain. The new residence will be situated in approximately the same area as the existing residence. Due to the relatively flat site, we believe that none of the completed building massing will interfere with existing view sheds for neighboring properties. The finish floors of each structure are proposed to be approx. 24" above grade, allowing for positive drainage from foundations and additional flood-resiliency measures (though not required).

Thank you for considering this application.

Regards,
Neal Evers, AIA | Owner & Principal Architect





3

AREAS DIAGRAM

SCALE (ON 11X17): 1" = 40'



- 1050 SF = BEDROOM WING
- 2635 SF = TOTAL SINGLE-FAMILY RESIDENCE
- 1070SF = ACCESSORY BUILDING
- 160SF = 20' SHIPPING CONTAINER SHED
- 1230 SF = TOTAL ACCESSORY BUILDING
- 423SF = CARPORT
- 400SF = AREA EXEMPTION
- 23 SF CARPORT CONTRIBUTING TOTAL
- 3888 SF TOTAL FLOOR AREA**
(3888 SF ALLOWABLE)

4
SPR-5



5
SPR-5

6
SPR-5

3
SPR-5

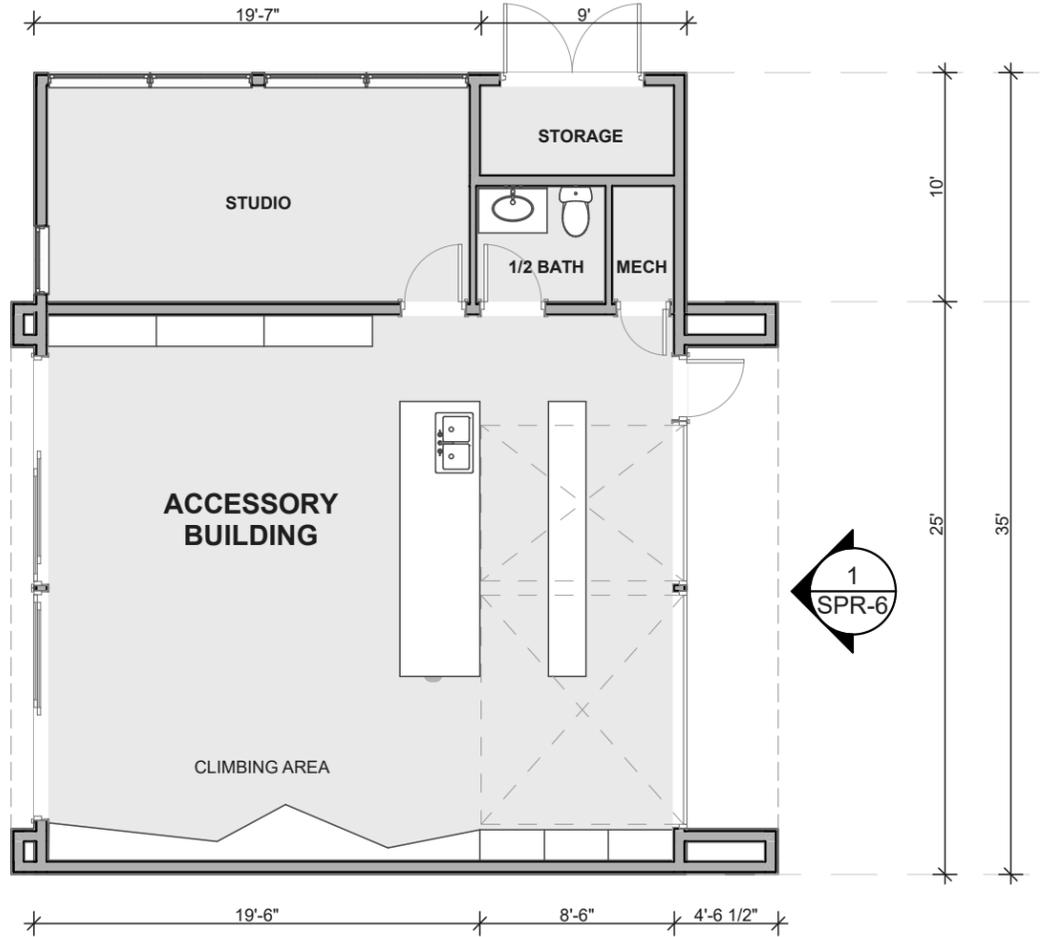
2

STORAGE SHED PLAN

SCALE (ON 11X17): 1/8" = 1'-0"



4
SPR-6



2
SPR-6

1
SPR-6

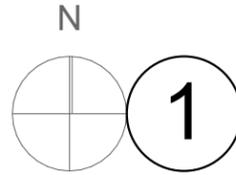
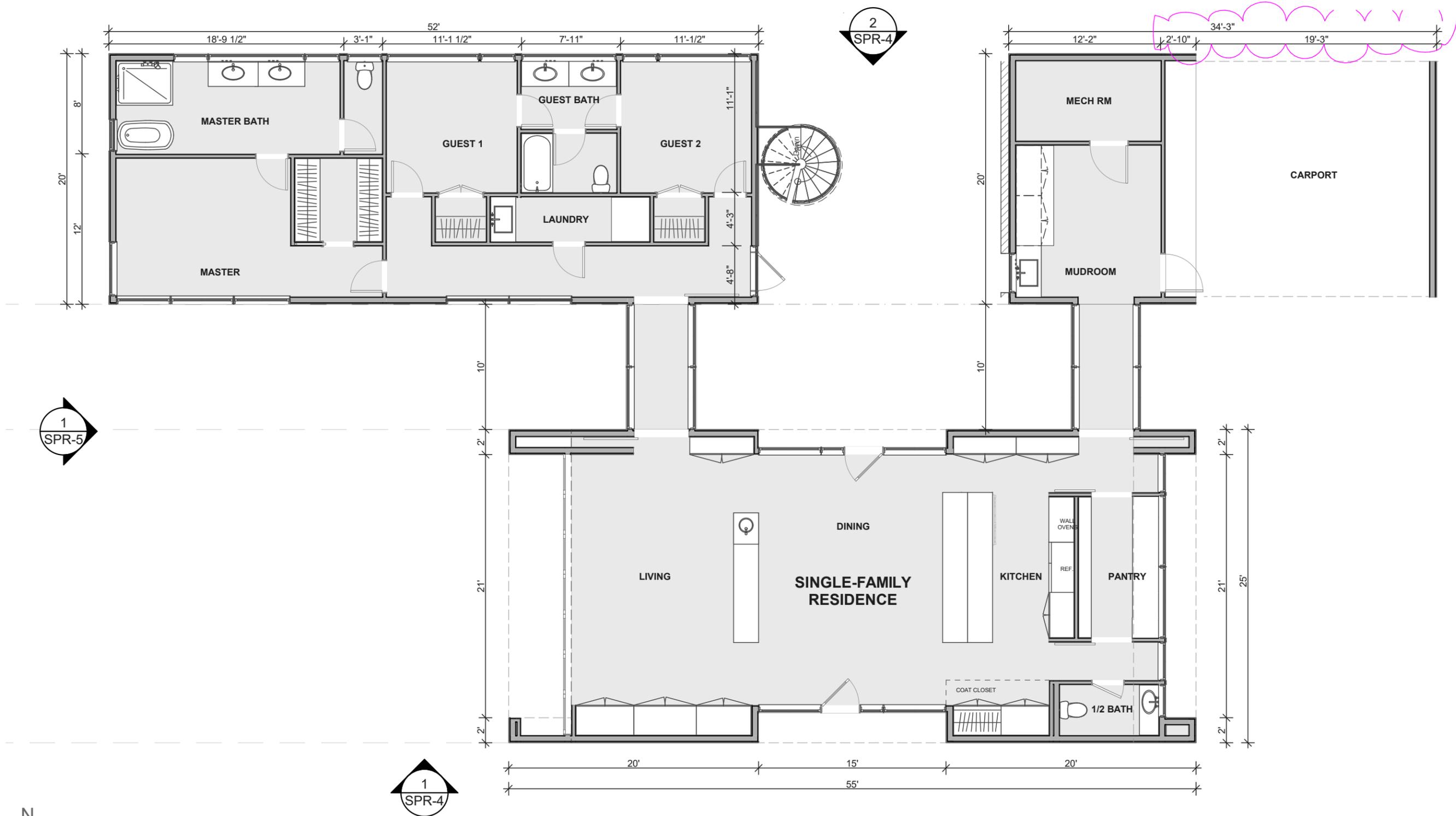
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SPR-6

1

ACCESSORY BLDG PLAN

SCALE (ON 11X17): 1/8" = 1'-0"

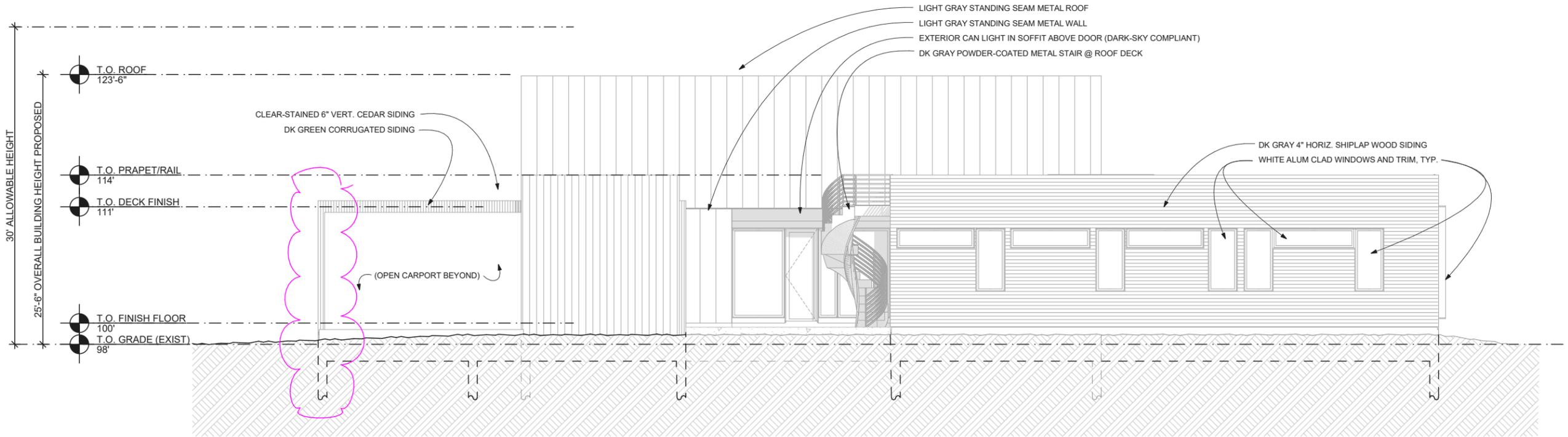




PRIMARY STRUCTURE FLOOR PLAN

SCALE (ON 11X17): 1/8" = 1'-0"

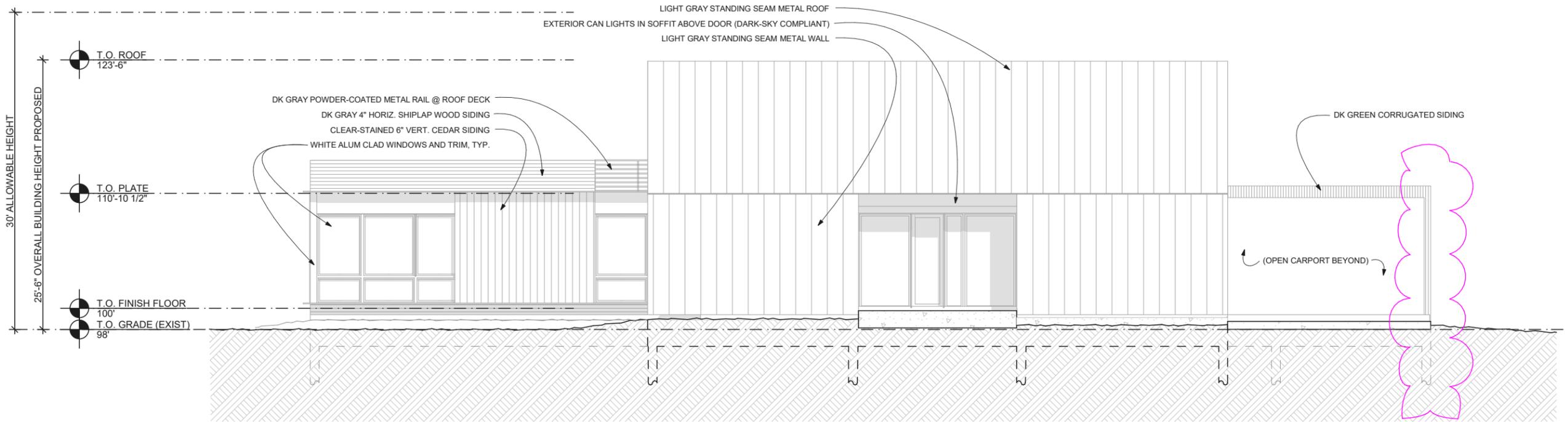




2

ELEV N PRIMARY

SCALE (on 11x17): 3/32" = 1'-0"



1

ELEV S PRIMARY

SCALE (on 11x17): 3/32" = 1'-0"



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(405) 880-6946

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OF THIS OFFICE.

CHERRYVALE RESIDENCE

5973 DIMMIT DRIVE BOULDER CO 80303

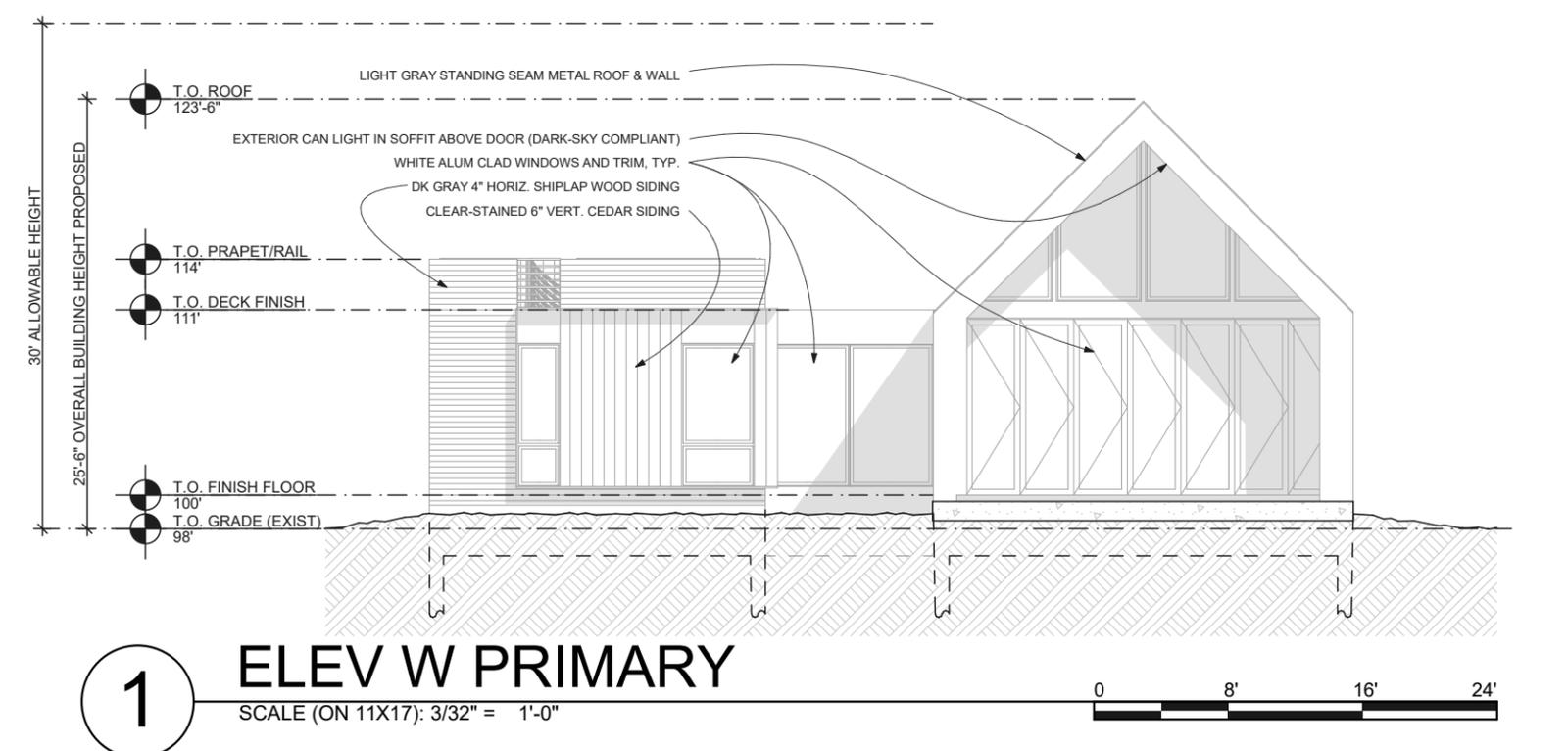
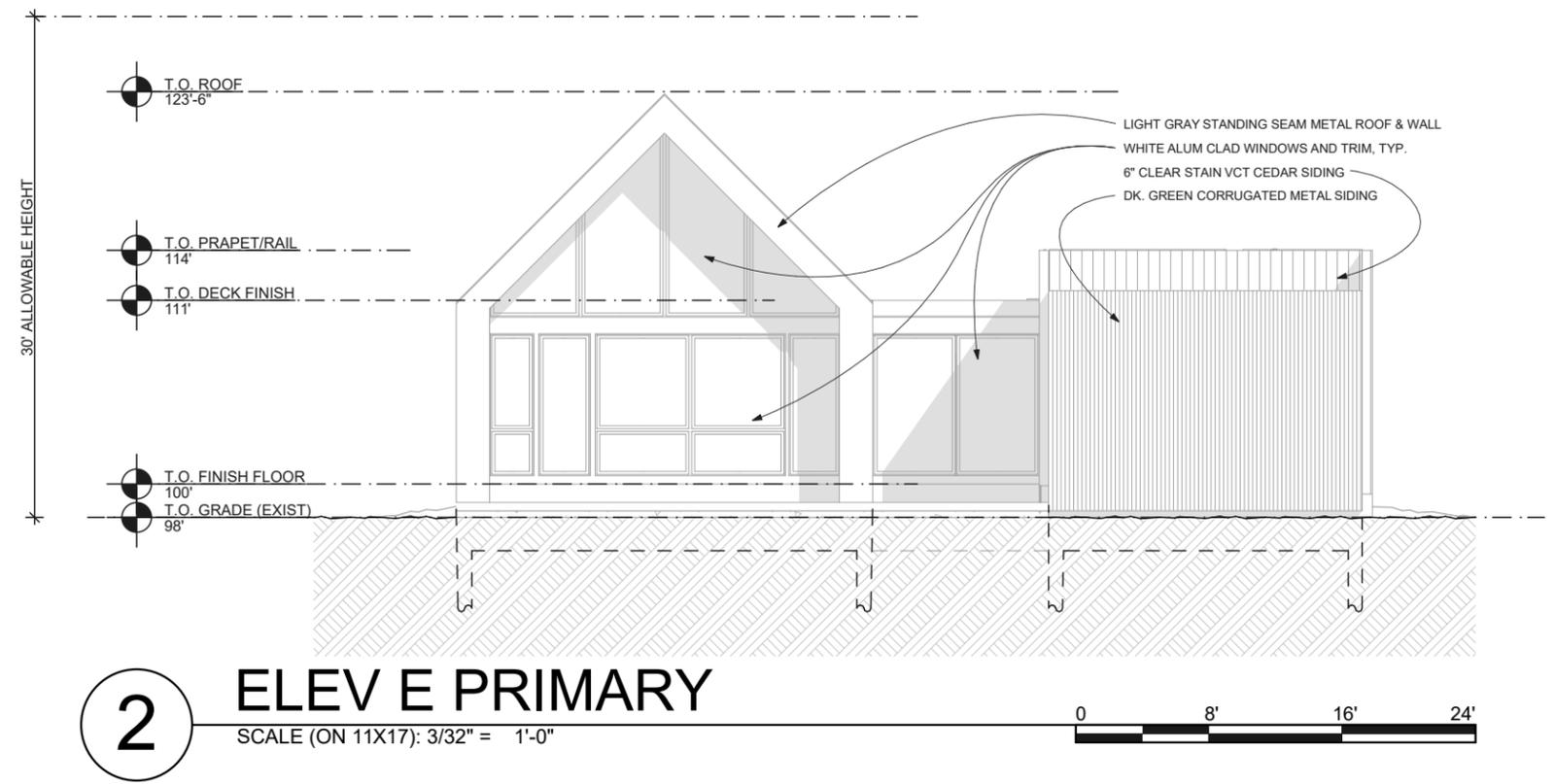
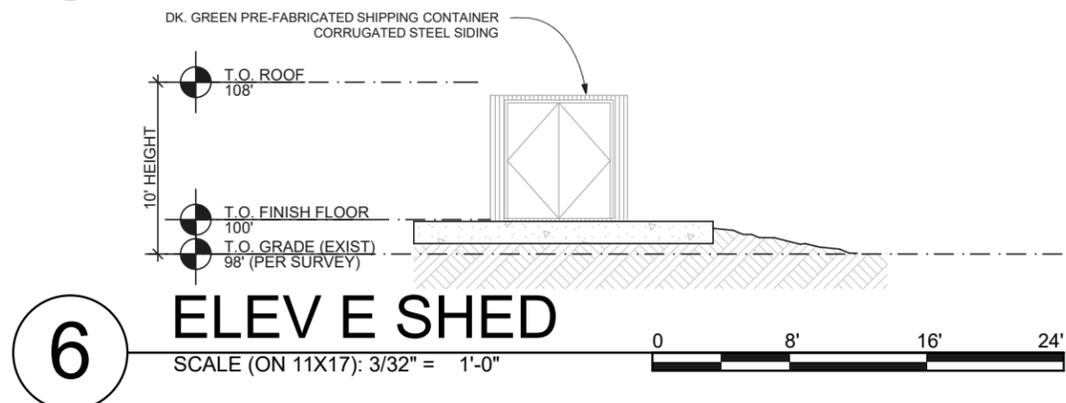
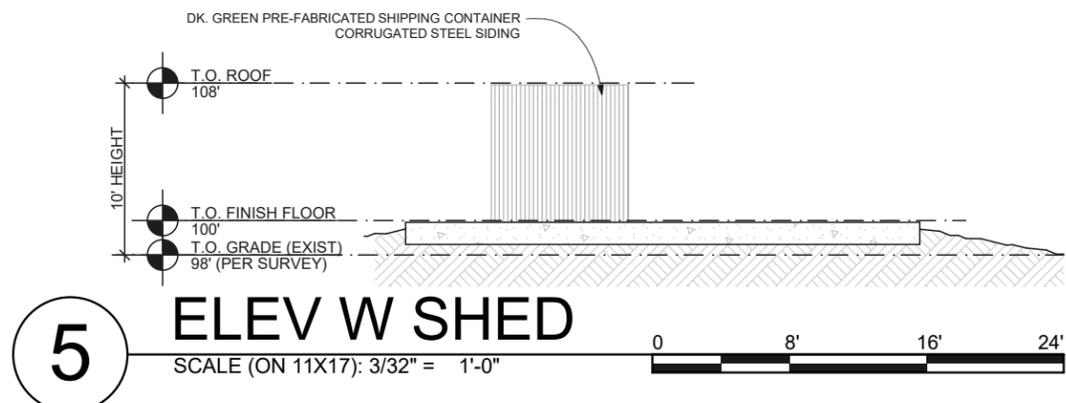
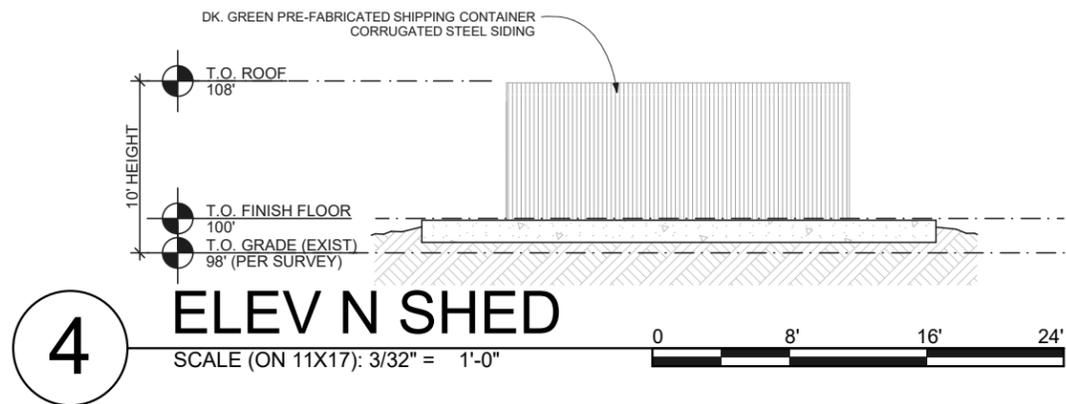
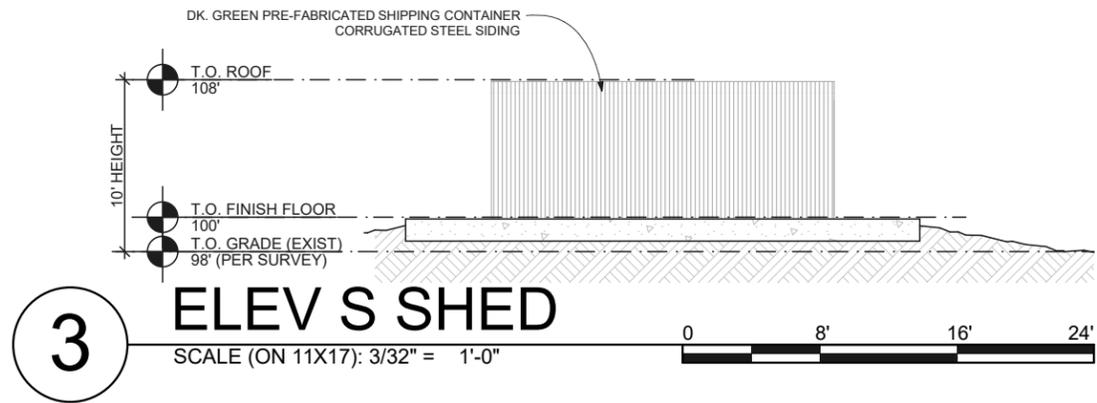
DATE: 4/27/2022
PRIMARY
ELEVATIONS

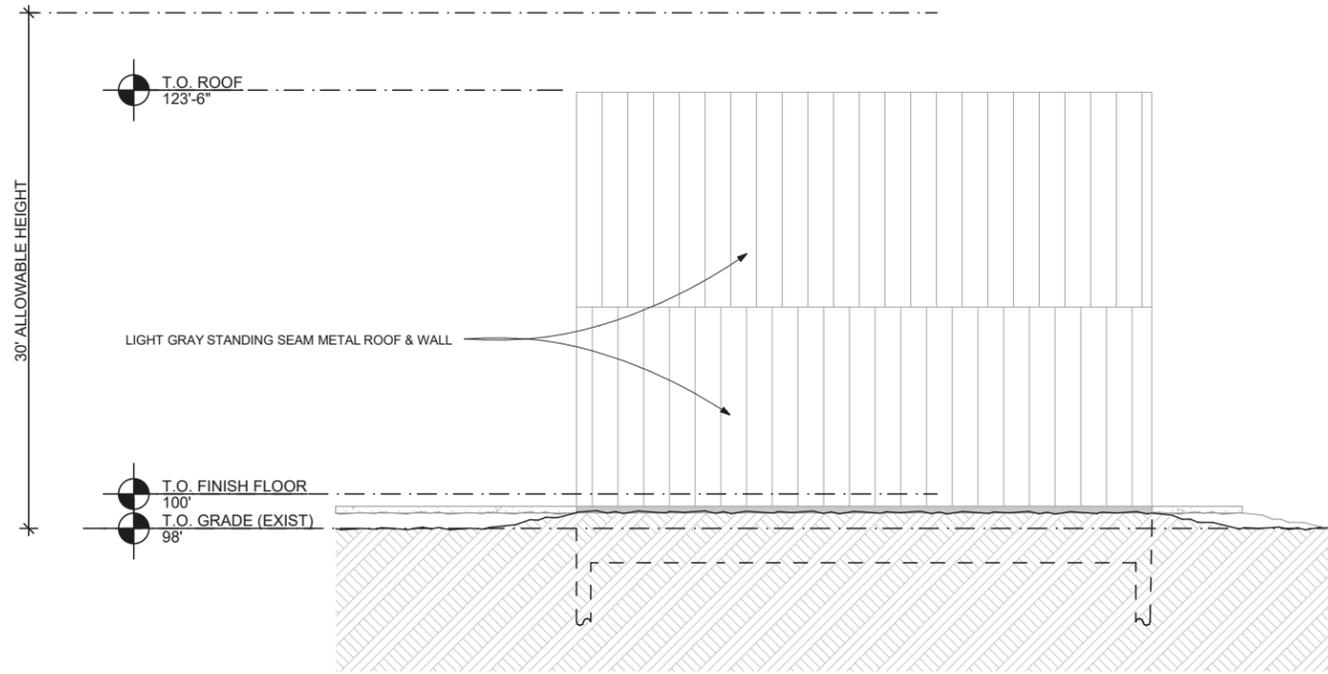
SPR-4

REVISION CLOUDS REPRESENT
CHANGES FROM SET DATED 02/05/16

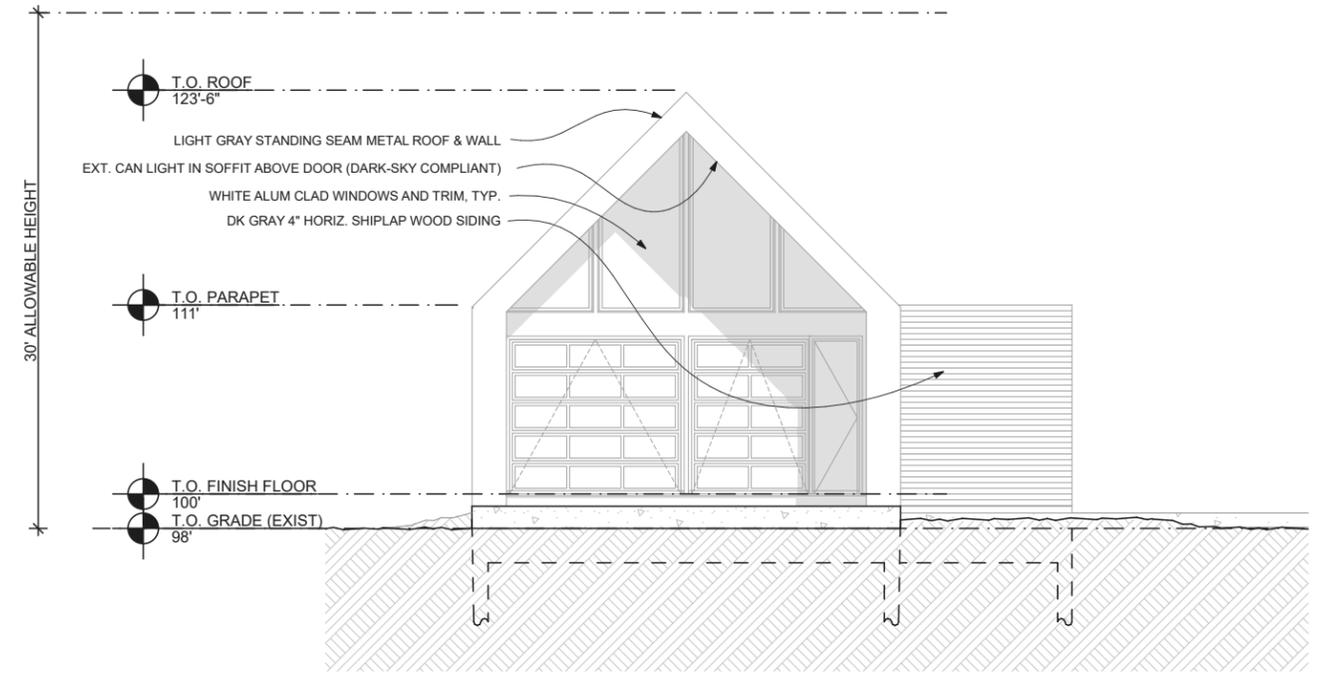
FOR COUNTY SITE PLAN REVIEW

D34

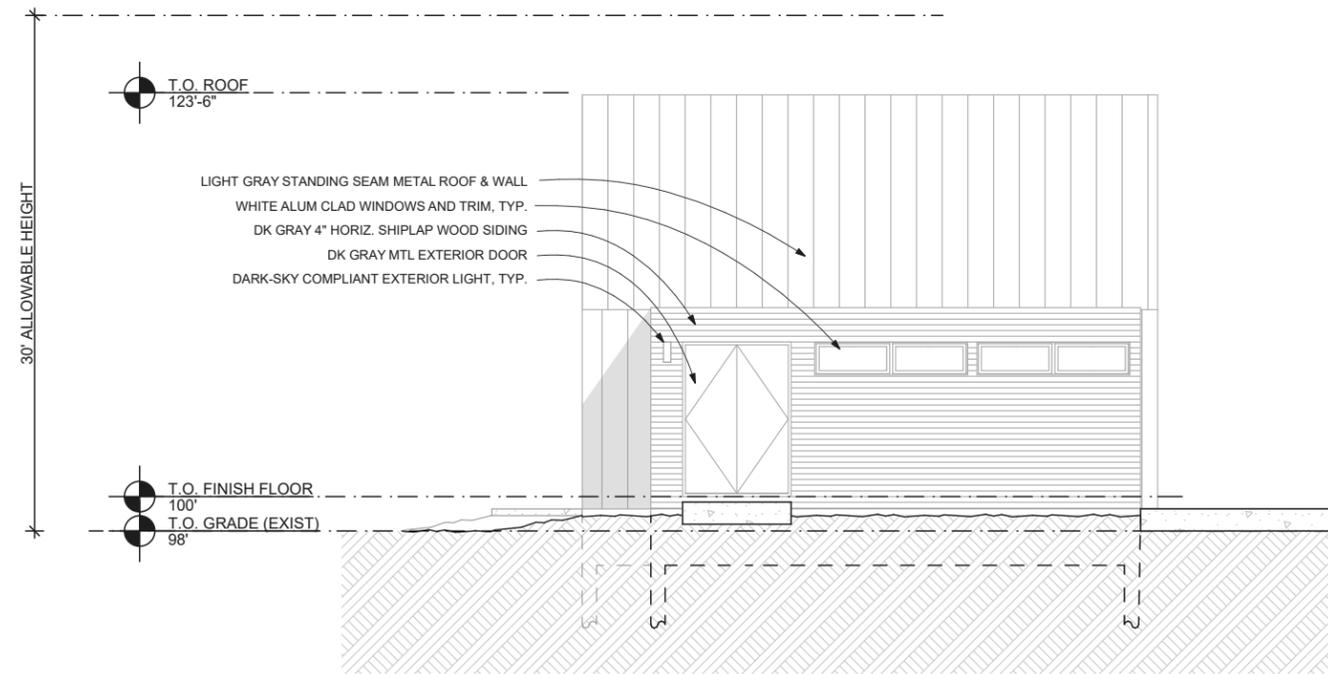




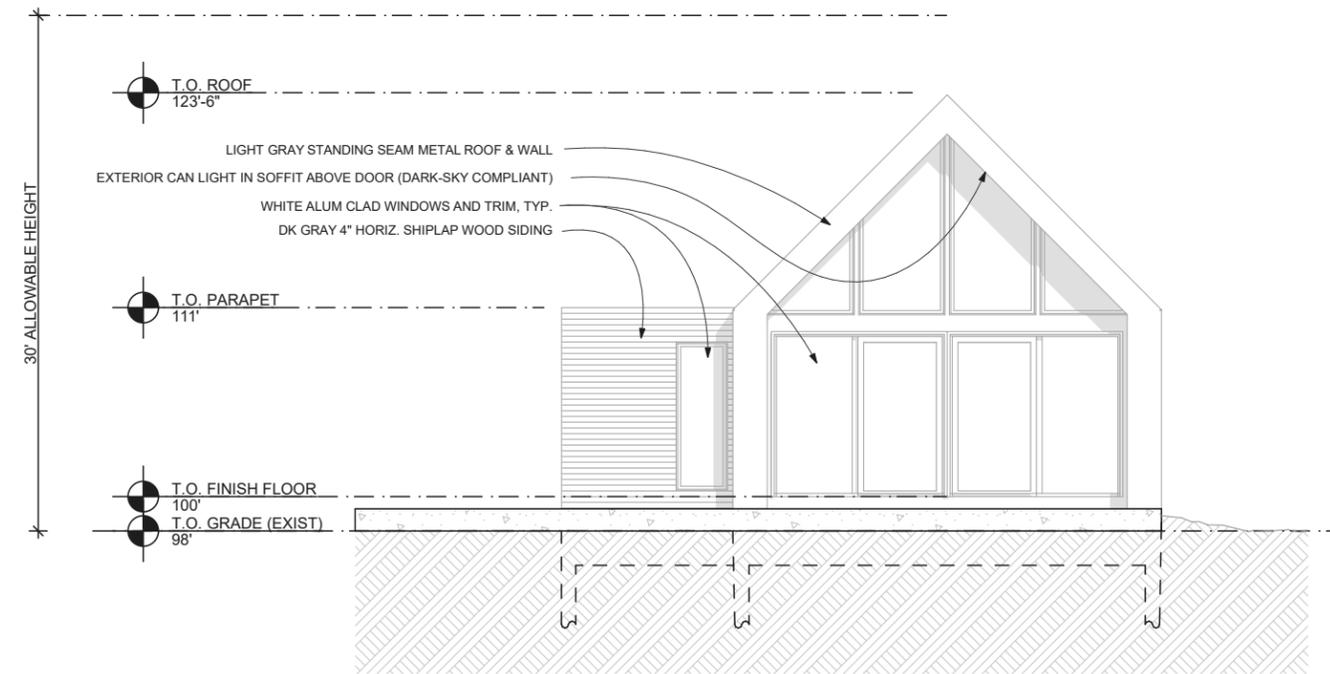
3 **ELEV S STUDIO**
SCALE (ON 11X17): 3/32" = 1'-0"



1 **ELEV E STUDIO**
SCALE (ON 11X17): 3/32" = 1'-0"



4 **ELEV N STUDIO**
SCALE (ON 11X17): 3/32" = 1'-0"



2 **ELEV W STUDIO**
SCALE (ON 11X17): 3/32" = 1'-0"



Community Planning & Permitting

Courthouse Annex • 2045 13th Street • Boulder, Colorado 80302 • Tel: 303.441.3930

Mailing Address: P.O. Box 471 • Boulder, Colorado 80306 • www.bouldercounty.org

May 3, 2022

To: Andy Vieth, Staff Planner

From: Kelly Watson, Floodplain Program Planner

Subject: Docket SPR-22-0043: Harris Residence
Request: Site Plan Review to deconstruct a 3,762-square-foot residential floor area and construct a new 2,802-square-foot residence, and 1,230-square-foot of accessory structures on a 0.71 acre parcel.
Location: 5973 Dimmit Drive, Lot 1 Gapter, Section 34, Township 1N, Range 70W

The Community Planning & Permitting Department – Floodplain Management Program has reviewed the above referenced docket and has the following comments:

1. The existing workshop is in the 100-year floodplain. Deconstruction of the workshop is covered under the General Floodplain Development Permit (General FDP). The deconstruction permit will serve as the required notice under the General FDP.
2. The proposed residence, carport, and accessory structure are located outside the Floodplain Overlay (FO) District. No Floodplain Development Permit (FDP) is required for construction of these structures in the locations provided.
3. The proposed storage shed (shipping container) is in the 100-year floodplain. The shed must:
 - a. Be designed and adequately anchored to prevent flotation, collapse, or lateral movement resulting from hydrodynamic and hydrostatic forces;
 - b. Have its longitudinal axis parallel to the flow of floodwaters (south to north);
 - c. Have flood resistant materials up to the Flood Protection Elevation (FPE);
 - d. Be used only for parking of vehicles or storage of tools, materials, and equipment;
 - e. Not contain permanently fixed appliances;
 - f. Either have a floor elevated to the Flood Protection Elevation (FPE) or contain a minimum of two openings on at least two walls having a total net area no less than one square inch for every square foot of enclosed area.
4. The proposed gravel sport court and paved living area are within the 100-year floodplain. Surface type changes resulting in changes to the existing grade of less than four inches, measured vertically, are covered under the General FDP. Paving or surface type changes resulting in changes to grade of more than four inches will require an individual FDP.

At the time of building permit application:

5. Plans for the shed must: be oriented north-south; include certification by a Colorado-licensed P.E. that the shipping container is adequately anchored to resist the forces of the 100-year flood; and demonstrate that the container will either be elevated above the Flood Protection Elevation or have flood openings as required in #3 above.

Matt Jones County Commissioner **Claire Levy** County Commissioner **Marta Loachamin** County Commissioner

6. Grading plans must be submitted showing the proposed changes to the existing grade in the FO District. Increasing the grade over four inches will require an individual FDP.

Additional Information:

The Floodplain Management Program recommends that all homeowners maintain flood insurance, regardless of whether a structure is in a mapped floodplain. In 2021, the National Flood Insurance Program (NFIP) changed how flood insurance premiums are rated. As a result, homeowners may see flood insurance savings by implementing flood mitigation measures, even for structures outside the mapped floodplain. These measures may include: building farther away from flooding sources; building on higher ground; elevating the first floor above adjacent grade; filling in crawlspaces and basements or adding flood vents to such enclosed spaces; and elevating mechanical and electrical equipment above the first floor. We recommend that you contact your insurance agent to discuss the impact of the proposed development on your flood insurance rate. Boulder County residents receive discounts on NFIP premiums because of the county's participation in the program, but there are also private options available.

Please contact Kelly Watson at kwatson@bouldercounty.org to discuss this referral. This concludes our comments at this time.



Community Planning & Permitting

Courthouse Annex • 2045 13th Street • Boulder, Colorado 80302 • Tel: 303.441.3930

Mailing Address: P.O. Box 471 • Boulder, Colorado 80306 • www.bouldercounty.org

May 20, 2022

TO: Andy Vieth, Staff Planner; Community Planning & Permitting, Zoning Development Review

FROM: Jena Van Gerwen, Planner I; Community Planning & Permitting, Development Review – Access & Engineering

SUBJECT: Docket # SPR-22-0043: Harris Residence
5973 Dimmit Drive

The Development Review – Access & Engineering Team has reviewed the above referenced docket and has the following comments:

1. The subject property is accessed from Dimmit Drive, a City of Boulder (the city) owned and maintained right-of-way (ROW). Legal access is demonstrated via adjacency to this public ROW.
2. The existing gravel-surfaced driveway appears to measure approximately 15-16 feet in width from aerial imagery, which complies with the [Boulder County Multimodal Transportation Standards \(the “Standards”\)](#) for residential development in the plains.
3. As shown on the site plan, a second access to the subject property is proposed from Dimmit Drive, east of the existing point of access and approximately 70 feet west of Cherryvale Road. The Standards limit the number and location of points of access to public ROWs. However, Dimmitt Drive is owned and maintained by the city. The second (eastern) point of access on Dimmit Drive is only approved if the applicant obtains permission from the city. A copy of a City of Boulder access permit for each point of access to Dimmit Drive must be submitted with the building permit application for the new residence.
4. Cherryvale Road has a Functional Classification of Collector at this location and has a supplemental road setback of 90 feet (see memo from County Engineer dated 5/20/2022 attached). The proposed carport is within the 90-foot supplemental setback for Cherryvale Road; therefore, a variance is required for the portion of carport that will be within the setback. If the variance is not approved, the applicant must submit a revised site plan with the building permit application that shows the proposed carport relocated entirely outside the 90-foot setback.
5. If a second access from Dimmit Drive is approved by the city, plans submitted for building permit must demonstrate that with the new access complies with the “Standards” for residential development in the Plains, including without limitation:
 - a. Table 5.5.1 – Parcel Access Design Standards (1-Lane Plains Access)
 - b. Standard Drawings 11 -12 – Private Access

Matt Jones County Commissioner **Claire Levy** County Commissioner **Marta Loachamin** County Commissioner

- c. Standard Drawing 14 – Access with Roadside Ditch
- d. Standard Drawing 15 – Access Profiles Detail
- e. Standard Drawing 16 – Access Grade & Clearance

The access must be between 10 and 16 feet in width, plus an additional 2 feet of horizontal clearance on each side of the main travelway.

A culvert measuring a minimum 18-inches or equivalent capacity RCP or CMP must be installed under the new driveway at the existing roadside ditch per Standard Drawings 14 & 15.

- 6. An emergency turnaround will not be required as the proposed residence is within 150 feet of Dimmit Drive.
- 7. During construction, all materials, machinery, dumpsters, and other items shall be staged on the subject property.
- 8. During construction (i.e. during the day while work is being performed), all vehicles shall be parked on site or to one side of Dimmit Drive so as to not impede the travel way.

This concludes our comments at this time.



Public Works

2525 13th Street • Boulder, Colorado 80304 • Tel: 303-441-3900
Mailing Address: P.O. Box 471 • Boulder, Colorado 80306 • www.BoulderCounty.org

May 20, 2022

To: Development Review Team – Access and Engineering
All Interested Parties

From: Mike Thomas, P.E. 
County Engineer

Subject: Supplemental Setbacks for Property at 5973 Dimmit Drive

South of Baseline Road, Cherryvale Road has a Functional Classification of Minor Arterial, which recognizes a supplemental road setback of 110 feet.

North of Baseline Road, Cherryvale Rd has a Functional Classification of Collector, which recognizes a supplemental road setback 90 feet.

The county's GIS data identifies the supplemental setback for Cherryvale Road along the eastern boundary of the parcel at 5973 Dimmit Drive (where Cherryvale Rd is a Collector) as 110 feet. However, the intent of the supplemental setback for Cherryvale Road north of Baseline Road is to preserve the Cherryvale Road classification as Collector.

It is my determination that the supplemental setback along the eastern boundary of the parcel at 5973 Dimmit Drive should use the collector classification of 90 feet.

Let me know if you have any questions.

Table 5.5.1 Parcel Access Design Standards

	One-Lane Access		Two-Lane Access	
	Plains	Mountains	Plains	Mountains
# of units	1 - 5		6 - 15	
Travelway Width (8' turnouts 8'x 55' incl. tapers - required every 400')	10'	12'	18'	18'
Surface Course	Per geotechnical report ¹		Per geotechnical report	
ROW/Easement Width (min.)	20' 28' w/turnouts		30'	
Centerline Radius (min.)	40'		40'	
Max. Grade (%)	12	12 or up to 14 for 200' max. ²	12	12 or up to 14 for 200' max.
Max. Grade through curve	6% ³		6%	
Clearance Vertical/ Horizontal	13'-6" / 14'	13'-6" / 16'	13'-6" / 22'	
Roadside Ditches	Designed and constructed to Standard Drawings. See BCSDCM and USDCM for permanent erosion control practices.		Designed and constructed to Standard Drawings. See BCSDCM and USDCM for permanent erosion control practices.	
Slope Stability	Per geotechnical recommendations to design stability and facilitate revegetation ⁴		Per geotechnical recommendations to design stability and facilitate revegetation ⁴	
Signs and Traffic Control Devices	Required signs and traffic control devices must conform with the MUTCD, latest edition		Required signs and traffic control devices must conform with the MUTCD, latest edition	
Culverts	Min. 18" or equiv. capacity RCP or CMP in public ROW per Standard Drawing Cross-culverts outside of ROW sized to maintain historic flow		Min. 18" or equiv. capacity RCP or CMP in public ROW per Standard Drawing Cross-culverts outside of ROW sized to maintain historic flow	
Sight Distances	per AASHTO recommendations		per AASHTO recommendations	
Approach to Highway	90° to centerline of highway with max. 30° variation		90° to centerline of highway with max. 30° variation	
Standard Drawings	11, 12, 13, 14, 15, 16, 17, 18, 19		11, 12, 13, 14, 15, 16, 17, 18, 19	
Overall Design Principles	See Section 5.1		See Section 5.1	

¹ Accesses serving one dwelling unit shall use 4" ABC (Class 6) or other suitable material as approved by the Transportation Department.

² Accesses serving one dwelling unit may use 16% for 200' max.

³ Accesses serving one dwelling unit may use up to 8% w/ 2' additional width.

⁴ Accesses serving one dwelling unit may use 1 ½ : 1 max. cut and fill slopes or per geotechnical recommendations to design stability and facilitate revegetation.



Community Planning & Permitting

2045 13th Street, Boulder, CO 80302 303-441-3930 www.bouldercounty.org

Zoning

933, 5973 DIMMIT DR

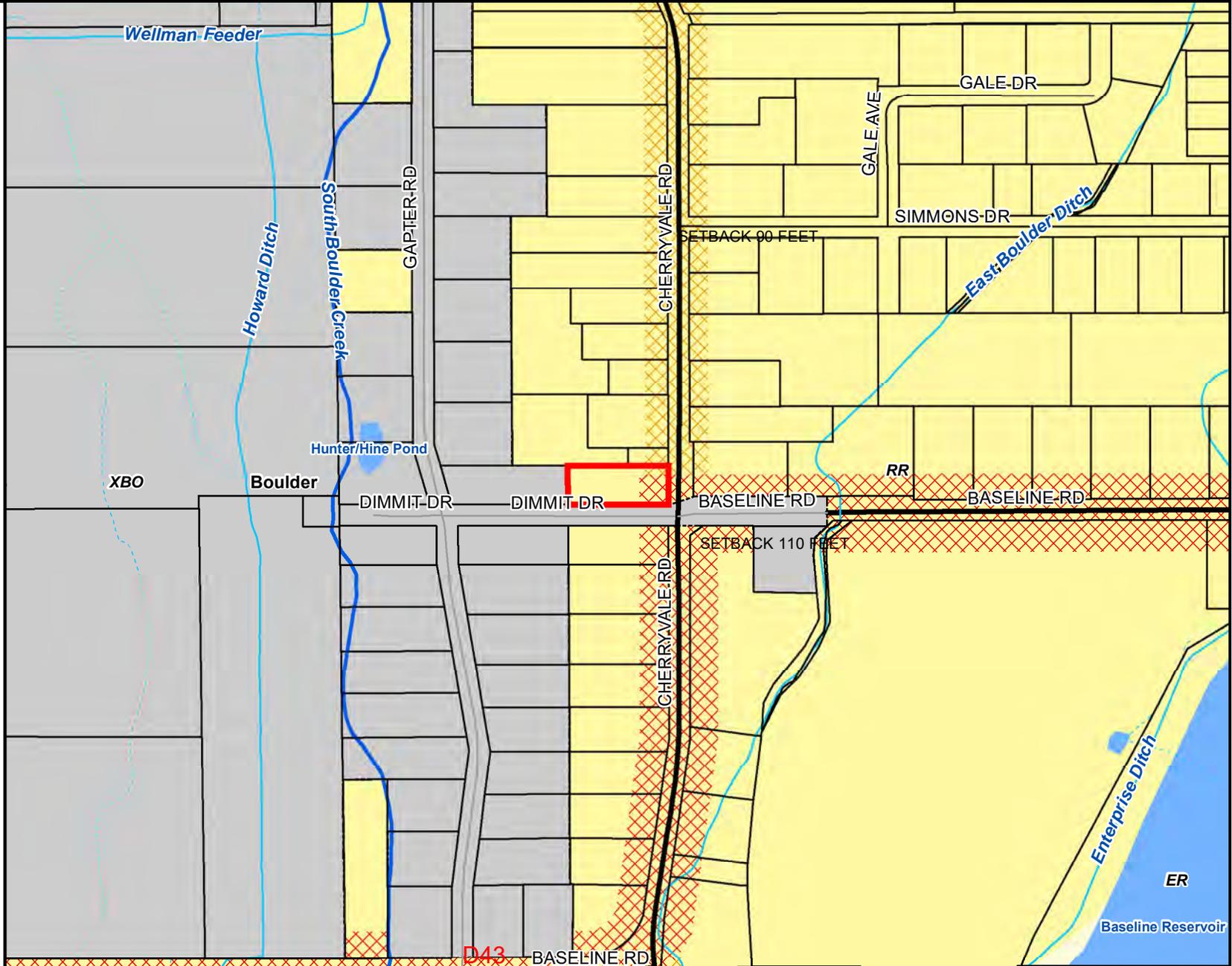
Subject Parcel

Major Road Setbacks

- 90 feet
- 110 feet

Zoning Districts

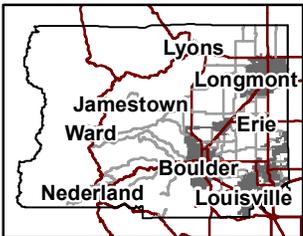
- Estate Residential
- Rural Residential



0 0.035 0.07 Miles

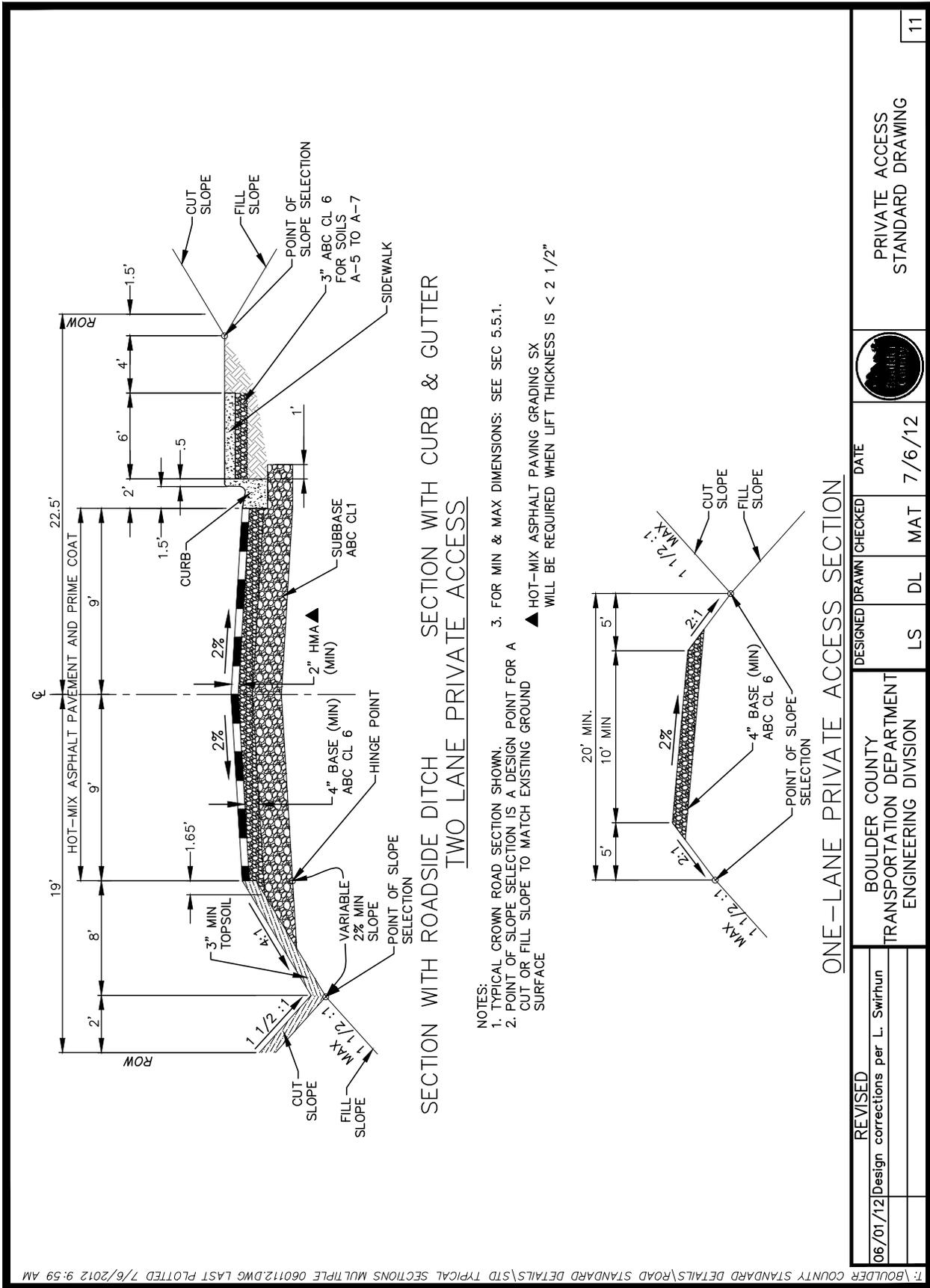


Area of Detail Date: 6/10/2021



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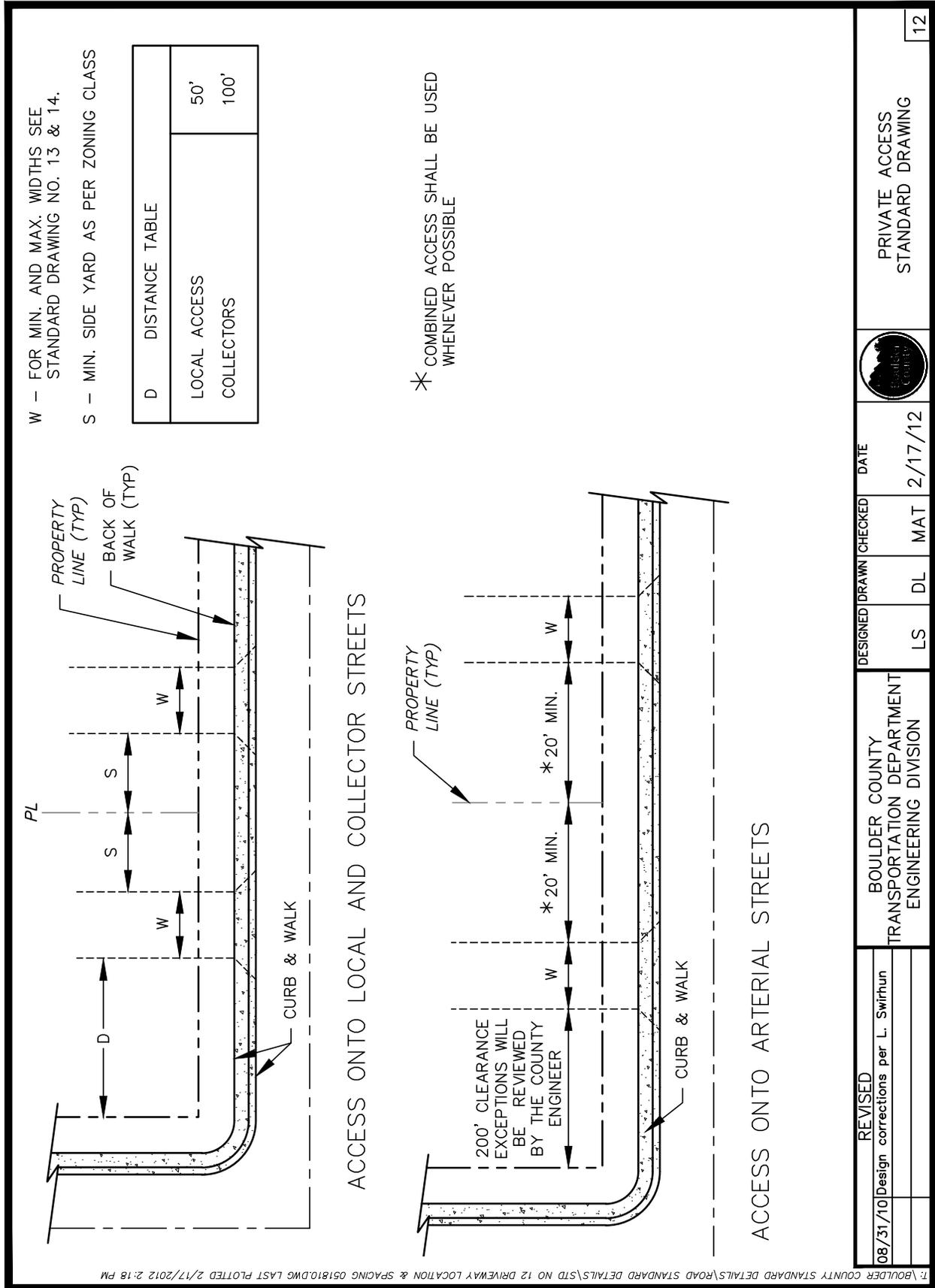
Standard Drawing 11



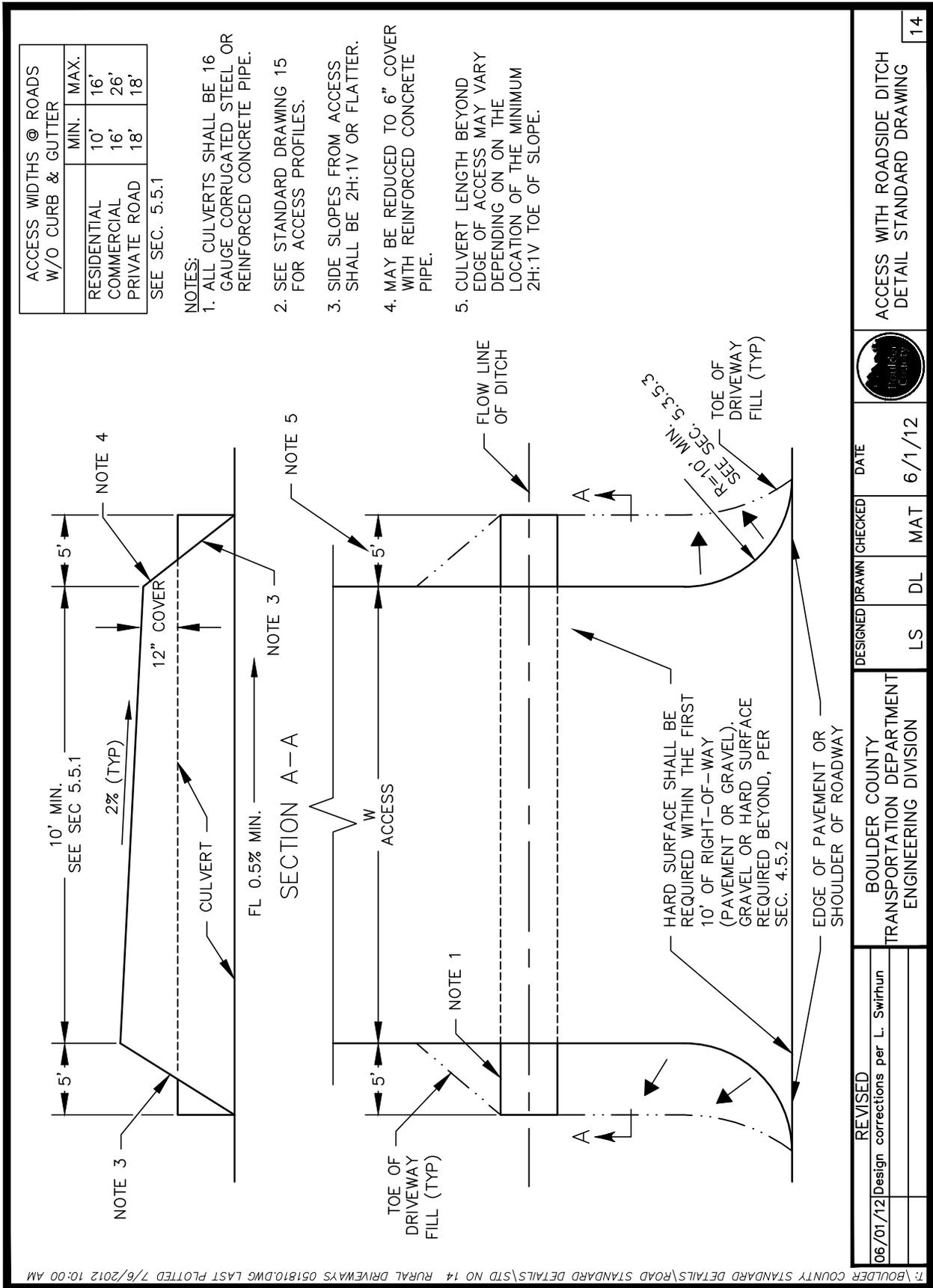
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06/01/12	DESIGNED	DRAWN	CHECKED	DATE	 PRIVATE ACCESS STANDARD DRAWING	11
Design corrections per L. Swirhun	LS	DL	MAT	7/6/12		

Standard Drawing 12



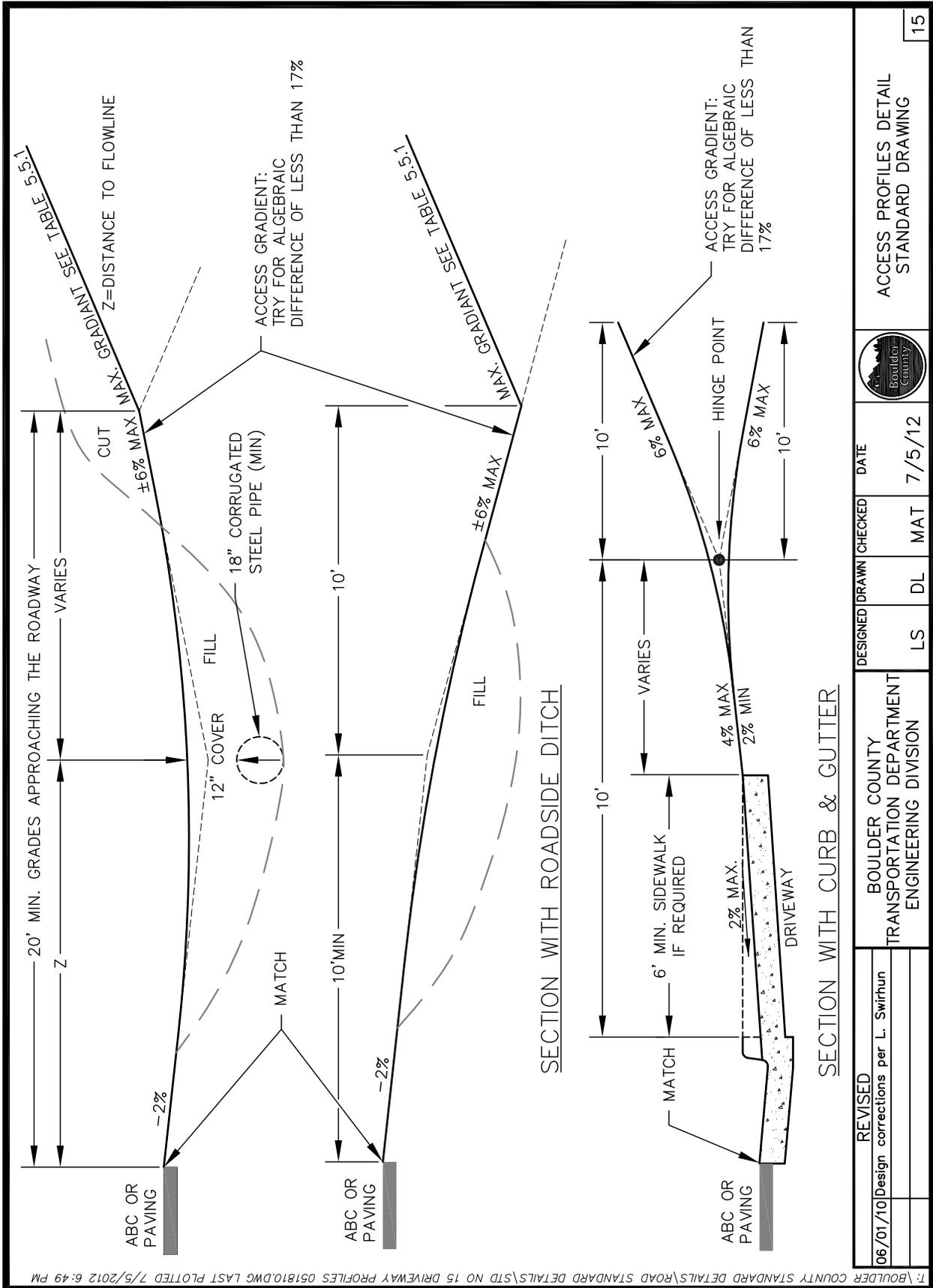
Standard Drawing 14



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REVISED	DESIGNED	DRAWN	CHECKED	DATE
06/01/12	LS	DL	MAT	6/1/12
BOULDER COUNTY TRANSPORTATION DEPARTMENT ENGINEERING DIVISION				
ACCESS WITH ROADSIDE DITCH DETAIL STANDARD DRAWING				
				14

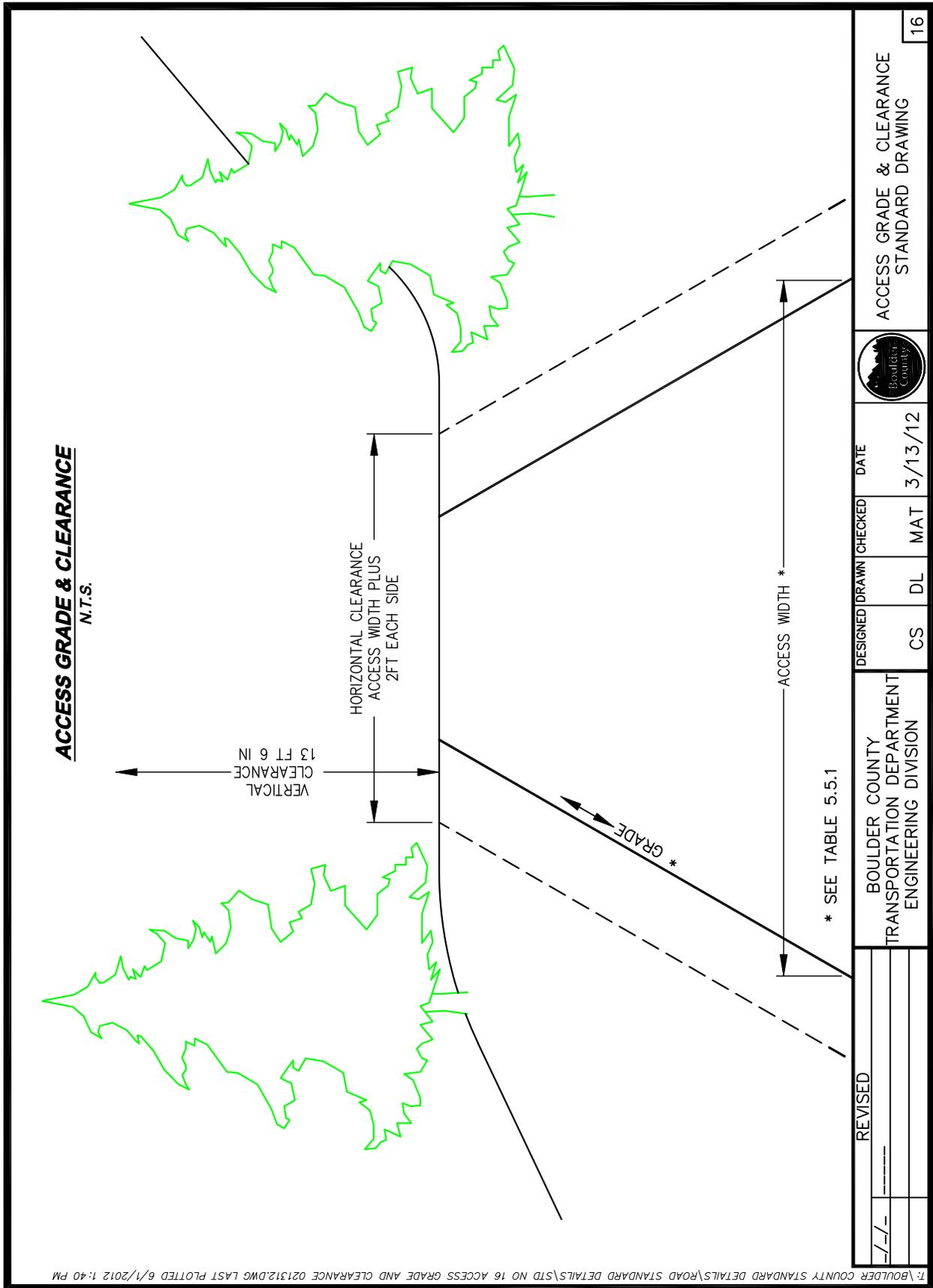
Standard Drawing 15



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REVISIONS	DESIGNED	DRAWN	CHECKED	DATE
06/01/10 Design corrections per L. Swirhun	LS	DL	MAT	7/5/12
BOULDER COUNTY TRANSPORTATION DEPARTMENT ENGINEERING DIVISION				
ACCESS PROFILES DETAIL STANDARD DRAWING				15

Standard Drawing 16





Community Planning & Permitting

Courthouse Annex • 2045 13th Street • Boulder, Colorado 80302 • Tel: 303.441.3930 • Fax: 303.441.4856
Mailing Address: P.O. Box 471 • Boulder, Colorado 80306 • www.bouldercounty.org

Building Safety & Inspection Services Team

MEMO

TO: Andy Vieth, Staff Planner
FROM: Michelle Huebner, Plans Examiner Supervisor
DATE: May 4, 2022

RE: Referral Response, SPR-22-0043: Harris Residence. Site Plan Review to deconstruct a 3,762-square-foot residential floor area and construct a new 2,802-square-foot residence, and 1,230-square-feet of accessory structures on a 0.71 acre parcel.

Location: 5973 Dimmit Drive

Thank you for the referral. We have the following comments for the applicants:

1. **Building Permit.** A building permit, plan review, inspection approvals, and a Certificate of Occupancy (“C.O.”) are required for the proposed residence. A separate building permit is required for; the storage container and accessory building.

Please refer to the county’s adopted 2015 editions of the International Codes and code amendments, which can be found via the internet under the link:

2015 Building Code Adoption & Amendments, at the following URL:

<https://assets.bouldercounty.org/wp-content/uploads/2017/03/building-code-2015.pdf>

2. **Automatic Fire Sprinkler System.** Under the 2015 International Residential Code (“IRC”) as adopted by Boulder County, all new one- and two-family dwellings and townhouses are required to be equipped with an automatic fire sprinkler system that is designed and installed in accordance with NFPA 13D or IRC Section P2904.
3. **BuildSmart.** Please refer to the county’s adoption and amendments to Chapter 11 of the IRC, the county’s “BuildSmart” program, for the applicable requirements for energy conservation and sustainability for residential additions and new residential buildings. Please be aware that there are energy related requirements of this code that may require the use of renewable energy systems (such as rooftop solar systems) that will also need to be approved by your electric utility provider. In some cases, there may be limitations on the size of on-site systems allowed by your utility provider that could constrain the project design. We strongly encourage discussions

between the design team and the utility company as early in the process as possible in order to identify these constraints.

4. **Design Wind and Snow Loads.** The design wind and ground snow loads for the property are 160 mph (Vult) and 40 psf, respectively.
5. **Ignition-Resistant Construction.** Please refer to; the [temporary pause](#) on the issuance of building permits for new structures and certain additions in the unincorporated Boulder County areas of Wildfire Zone 2 not affected by the Marshall Fire is in effect through June 6, 2022. This pause does not apply to property owners who are building new structures and certain additions, so long as they commit to rebuild to the requirements adopted as [Appendix A of Article 19-500](#) of the Boulder County Land Use Code.
6. **Electric vehicle charging outlet.** Boulder County Building Code requires:
 - a. R329.1 Electric vehicle charging pre-wire option. In addition to the one 125-volt receptacle outlet required for each car space by NEC Section 210.52(G)(1.), every new garage or carport that is accessory to a one- or two-family dwelling or townhouse shall include at least one of the following, installed in accordance with the requirements of Article 625 of the Electrical Code:
 - i. A Level 2 (240-volt) electric vehicle charging receptacle outlet, or
 - ii. Upgraded wiring to accommodate the future installation of a Level 2 (240-volt) electric vehicle charging receptacle outlet, or
 - iii. Electrical conduit to allow ease of future installation of a Level 2 (240-volt) electric vehicle charging receptacle outlet.
7. **Plan Review.** The items listed above are a general summary of some of the county's building code requirements. A much more detailed plan review will be performed at the time of building permit application, when full details are available for review, to assure that all applicable minimum building codes requirements are to be met. Our [Residential Plan Check List](#) and other Building Safety publications can be found at: <https://assets.bouldercounty.org/wp-content/uploads/2017/03/b24-residential-plan-check-list.pdf>

If the applicants should have questions or need additional information, we'd be happy to work with them toward solutions that meet minimum building code requirements. Please call (720) 564-2640 or contact us via e-mail at building@bouldercounty.org



Parks & Open Space

5201 St. Vrain Road • Longmont, CO 80503
303-678-6200 • POSinfo@bouldercounty.org
www.BoulderCountyOpenSpace.org

TO: Andy Vieth, Community Planning & Permitting Department
FROM: Ron West, Natural Resource Planner
DATE: May 21, 2022
SUBJECT: Docket SPR-22-0043, Harris, 5973 Dimmit Drive

Staff has reviewed the submitted materials, and does not foresee significant natural resource impacts from the proposal. The lot is in a built-out subdivision, and the View Protection Corridor associated with Cherryvale Road should not be significantly modified.

A Revegetation Plan is required that includes grass species to be used, an explanation of how topsoils will be stockpiled and reused, mapped delineation of all disturbance areas (this includes construction staging areas, driveway, utility lines, and septic system), and locations of silt fence or erosion control logs down slope of disturbed areas. New horticultural plantings should emphasize xeriscaping principles (Article 7-200-B-8, Land Use Code).



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MEMO TO: County Health and Parks Departments, FPD
FROM: Andy Vieth, Staff Planner
DATE: May 3, 2022
RE: Site Plan Review application SPR-22-0043

Docket SPR-22-0043: Harris Residence

Request: Site Plan Review to deconstruct a 3,762-square-foot residential floor area and construct a new 2,802-square-foot residence, and 1,230-square-feet of accessory structures on a 0.71 acre parcel.
Location: 5973 Dimmit Drive, Lot 1 Gapter, Section 34, Township 1N, Range 70W
Zoning: Rural Residential (RR) Zoning District
Applicants/Owners: Robert & Susie Harris
Agent: Neal Evers, AIA

Site Plan Review by the Boulder County Community Planning & Permitting Director is required for new building/grading/access or floodplain development permits in the plains and mountainous areas of unincorporated Boulder County. The subject review process considers potential significant impact to the ecosystem, surrounding land uses and infrastructure, and safety concerns due to natural hazards.

The Community Planning & Permitting staff values comments from individuals and referral agencies. Please check the appropriate response below or send a letter to the Community Planning & Permitting Department at P.O. Box 471, Boulder, Colorado 80306 or via email to planner@bouldercounty.org. All comments will be made part of the public record and given to the applicant. Only a portion of the submitted documents may have been enclosed; you are welcome to call the Community Planning & Permitting Department at 303-441-3930 or email planner@bouldercounty.org to request more information.

Please return responses by **May 23, 2022**
(Please note that due to circumstances surrounding COVID-19, application timelines and deadlines may need to be modified as explained in the CPP Notice of Emergency Actions issued March 23, 2020 (see <https://boco.org/covid-19-cpp-notice-20200323>)).

We have reviewed the proposal and have no conflicts.
 Letter is enclosed.

Signed  PRINTED Name Jessica Fasick

Agency or Address CP&P Historic Review



City of Boulder Open Space & Mountain Parks

2520 55th St. | Boulder, CO 80301; 303-441-3440

<http://www.osmp.org>

MEMORANDUM

To: Andy Vieth, Staff Planner, Boulder County Community Planning and Permitting

From: Matt Ashley, Property Agent, City of Boulder Open Space and Mountain Parks

Date: May 23, 2022

Re: Docket SPR-22-0043
Harris Residence Site Plan Review

Thank you for the opportunity to review the application referenced above. The subject property is in the vicinity of City of Boulder Open Space and Mountain Parks (OSMP) land. Please consider the following comments regarding this development application:

Viewshed

OSMP supports efforts by county staff to have the applicant maintain trees and vegetation that could help shield the proposed development from the public viewshed while considering the need for wildfire defensible space. OSMP also encourages the county to consider requiring Firewise landscaping plants as defined by the Colorado State Forest Service (CSFS). More information on Firewise plants can be found at the following link: <https://extension.colostate.edu/topic-areas/natural-resources/firewise-plant-materials-6-305/>

Native Plants

Use of native plant materials for revegetation and landscaping should be recommended. Non-native plant materials should not be planted, particularly Mediterranean sage, myrtle spurge, purple loosestrife, Russian olive, or any other State of Colorado listed noxious weed species.

The grading and landscape plans should include a section on weed management.

Following are some sources of information about the use of local native plants in landscaping: https://conps.org/wp-content/uploads/2015/05/Suggested-Native-Plants_0408.pdf

<https://conps.org/gardening-with-native-plants/>

<https://bouldercolorado.gov/services/gardening-native-plants>

Visual Impact

Exterior lighting should be directed downward to minimize glare and the illumination of nearby OSMP lands, conservation easements, or other undeveloped property. Exterior colors should be muted to blend into the natural surroundings, to reduce the visual impact to nearby OSMP lands. Please feel free to contact me if you have any questions or comments about this response.