

Community Planning and Permitting

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BOULDER COUNTY BOARD OF COUNTY COMMISSIONERS PUBLIC HEARING

October 1, 2024 at 01:00 p.m.

All Commissioners' public hearings and meetings will be offered in a hybrid format where attendees can join **through Zoom** or **in-person** at the Boulder County Courthouse, 3rd Floor, 1325 Pearl Street, Boulder.

PUBLIC HEARING

STAFF PLANNER: Sam Walker

STAFF RECOMMENDATION REGARDING:

Docket LU-24-0011/SPR-24-0050: Whisper Mountain Ranch Driveway and Residence

Proposal: ORIGINAL: Limited Impact Special Review to perform 1,947 cubic yards of

non-foundational earthwork for driveway construction, and Site Plan Review to construct a new 4,544 sq. ft. residence on a 37.2 acre parcel in the Forestry

zoning district at 11320 Gold Hill Road

REVISED: Limited Impact Special Review to perform 2,203 cubic yards of non-foundational earthwork for driveway construction, and Site Plan Review to construct a new 4,544 sq. ft. residence on a 37.2 acre parcel in the Forestry

zoning district at 11320 Gold Hill Road

Location: 11320 Gold Hill Road, approximately 1 mile east of the intersection of Gold

Hill Road and County Road 93J (also known as Switzerland Trail), in Section

9, Township 1N, Range 72

Zoning: Forestry (F) Zoning District Applicant: Whisper Mountain LLC

Agent: Sean Maloney & Stephen Sparn, c/o Sopher Sparn Architects

STAFF RECOMMENDATION:

Staff recommends that the Board of County Commissioners conditionally approve docket LU-24-0011/SPR-24-0050: Whisper Mountain Ranch Driveway and Residence.

PACKET CONTENTS:

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o Staff Recommendation	1 - 22
o Application Materials (Attachment A)	A1 - A107
o Referral Responses (Attachment B)	B1 - B21
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o Revised Earthwork Fact Sheet and Alternative Site Analysis (Attachment D)	D1 - D8
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SUMMARY AND RECOMMENDATION:

This application for Limited Impact Special Review proposes 2,203 cubic yards of non-foundational earthwork to construct a new driveway on the subject parcel, and includes Site Plan Review for the construction of a new 4,544-square-foot residence on the same property. Limited Impact Special Use Review is required because the proposed non-foundational earthwork exceeds a cumulative total of 500 cubic yards, and this accessory use is analyzed pursuant to the Special Use Standards outlined in Boulder County Land Use Code (the Code) Art. 4-601. Site Plan Review is required for the proposed residence, which will establish a use on a vacant property, and the residence is analyzed pursuant to the Site Plan Review standards outlined in Code Art. 4-806.

Staff recommends conditional approval of the proposal because, as conditioned, staff finds the non-foundational earthwork can meet the Limited Impact Special Review Criteria and the residence can meet the Site Plan Review Standards in the Code.

DISCUSSION:

The subject parcel is approximately 37.2 acres in size, and is located on the north side of Gold Hill Road, approximately 1.5 miles due west of the historic Gold Hill townsite.

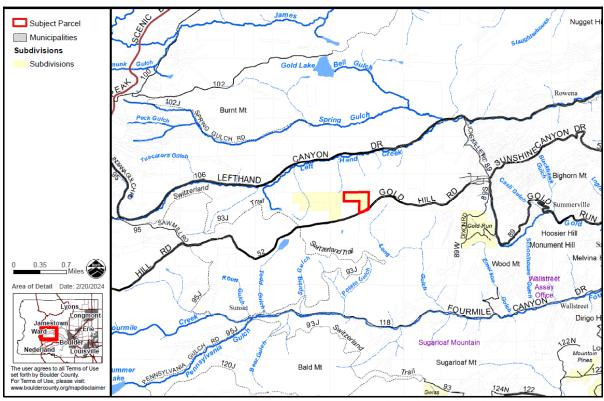


Figure 1: Vicinity Map showing location of the subject parcel

Because the parcel exceeds the 35-acre minimum lot size required for unsubdivided parcels in the Forestry zoning district, the parcel is a legal building lot eligible for permits.

The parcel is currently vacant, and is characterized by moderate-to-steep slopes that fall to both the north and south from a low ridgeline that runs east-west through the property. The applicants propose a ~900-linear-foot driveway that will wrap around the east end of the ridgeline before ending in the proposed location for the new residence, which is on the only flat area within the parcel boundary.

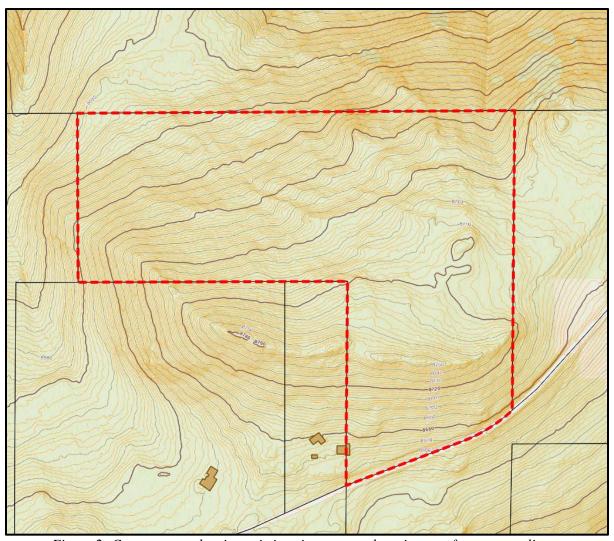


Figure 2: Contour map showing existing site topography using two-foot contour lines.

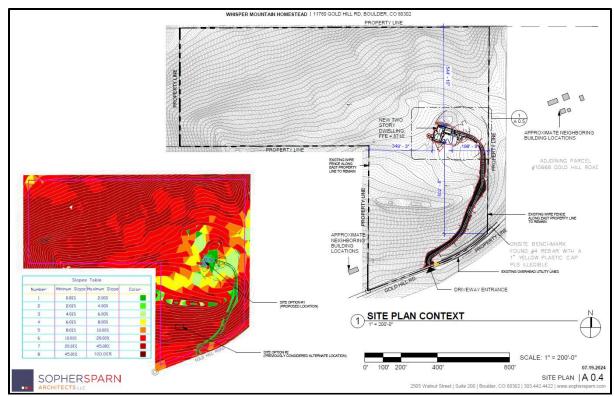


Figure 3: Applicants' site plan and slope analysis. Visible in greater detail on page A19 of Attachment A.

As shown in Figure 4 below, the Boulder County Comprehensive Plan ("the Comprehensive Plan") identifies several resources of note on the subject parcel, including an Overland Habitat Connector, Significant Natural Communities, and a View Protection Score of 0.89 associated with Gold Hill Road. Impacts to these identified resources are discussed below as they relate to Special Review criteria three and nine as well as Site Plan Review standard seven.

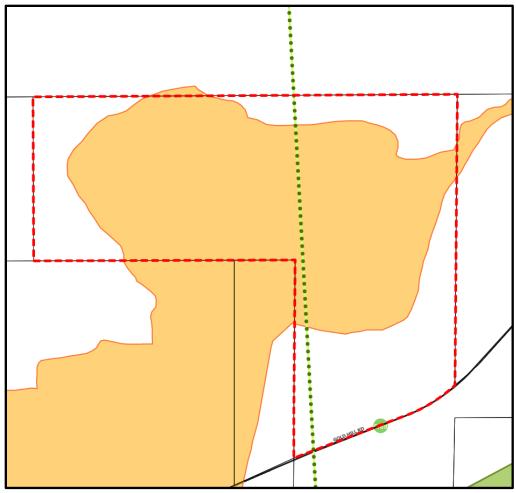


Figure 4: Comprehensive Plan map indicating Overland Habitat Connector with green dotted line, Significant Natural Communities in orange shading, and View Protection Score in green circle.

Staff finds that the proposed non-foundational earthwork and new residence can meet the applicable standards and criteria for approval as described in the Land Use Code.

REFERRALS:

This application was referred to the typical agencies, departments, and property owners within 1,500 feet of the property. All responses received are attached and summarized below.

Boulder County Building Safety and Inspection Services Team: Boulder County Building Safety and Inspection Services reviewed the proposal and expressed no conflicts. Building permits, plan review, inspection approvals, and a Certificate of Occupancy ("C.O.") are required for the proposed residence. The residence will be required to meet the County's BuildSmart requirements, must have an automated fire sprinkler system installed, and must be constructed with ignition-resistant materials and defensible space for wildfire mitigation. A more detailed plan review will be performed at the time of permit application, when full details are available, to assure that the proposal will meet all applicable minimum requirements. A grading permit and observation reports will be required for the proposed non-foundational earthwork.

<u>Boulder County Development Review Team – Access & Engineering:</u> The DRT A&E referral response noted that legal access to the property had been demonstrated, a requirement for an Access Permit, a discussion of the proposed location of the driveway entry to Gold Hill Road, and included several requirements which the constructed driveway must meet as part of the County's Multimodal

Transportation Standards (MMTS) including two which the submitted design does not meet. The response also noted requirements for plans submitted for permitting, including engineered retaining wall designs, a geotechnical report, a drainage letter, and a Stormwater Quality Permit.

<u>Boulder County Public Health Department:</u> The Public Health Department reviewed the proposal and noted that an onsite wastewater treatment system (OWTS) permit has not been issued for the subject property, and that such a permit must be approved before issuance of a Certificate of Occupancy for the proposed residence.

<u>Boulder County Parks & Open Space – Natural Resource Planner (BCPOS):</u> The BCPOS referral response discussed existing on-site ecological resources and made recommendations that the applicants report on and protect those resources. The response also recommended several conditions of approval designed to mitigate the impacts of the proposed development and reinforce the recommendations of the ecological report submitted with the application materials.

<u>Boulder County Wildfire Mitigation Team:</u> The Wildfire Team referral response noted that the proposed residence will require wildfire mitigation, including site location, ignition-resistant materials and construction, defensible space, emergency water supply, and emergency vehicle access.

<u>Xcel Energy:</u> The Xcel referral response expressed no concerns with the proposal, and indicated that the applicants will need to complete an application process for new electrical service.

<u>Colorado Department of Natural Resources Division of Water Resources (DNR DWR):</u> the DNR DWR referral response expressed no concerns with the proposal and indicated that the parcel's acreage would allow issuance of a new well permit to serve the new residence.

<u>Adjacent Property Owners:</u> 5 application notices were mailed to nearby property owners, and Community Planning and Permitting staff received two comments in response.

One comment from the eastern adjacent property owner expressed several concerns about the proposal, including that the proposal will "impede the current view easement", create additional high wind volume and velocity for the neighbor, increased lightning and therefore wildfire risk, distraction for wildlife and residents due to vehicle headlights, diminish and deteriorate use of adjacent property as wildlife habitat, and create erosion and a visible scar on the land. Staff responded to the comment with a request for a copy of the view easement and a site visit to the eastern adjacent property to better determine impacts, and the commenter responded that an easement did not exist but that staff were welcome to come to the adjacent property for additional visual impact analysis.

The second commenter was the owner of the western adjacent property, and their comments indicated that they were concerned with the amount of non-foundational earthwork proposed for the construction of the driveway as well as the potential visual impacts of the residence.

Agencies that responded with no conflicts: Boulder County Conservation Easement Team.

Agencies that did not respond include: Boulder County Long Range Planning, Boulder County Assessor, Boulder County Attorney's Office, Boulder County Real Estate, Boulder County Sheriff, Boulder County Treasurer, Boulder County Public Works Road Maintenance, Boulder County Stormwater Quality Team, Boulder County Audubon Society, Nature Conservancy of Colorado, Gold Hill Zoning & Historic District, Gold Hill Town Meeting, Town of Nederland Planning & Development Services Department, Boulder Valley & Longmont Conservation Districts, Colorado Parks & Wildlife, US Forest Service, Gold Hill Fire Protection District.

LIMITED IMPACT SPECIAL REVIEW SUMMARY:

Community Planning and Permitting staff reviewed the conditions and standards for approval of a Limited Impact Special Review as they apply to non-foundational earthwork that exceeds 500 cubic yards on the subject parcel per Article 4-601 of the Code and finds the following:

(1) Complies with the minimum zoning requirements of the zoning district in which the use is to be established, and will also comply with all other applicable requirements;

The subject parcel is within the Forestry zoning district and is a legal building lot. Non-foundational earthwork in excess of 500 cubic yards can be permitted as an accessory use in the Forestry zoning district (Article 4-101.B.C.11), pending approval of a Limited Impact Special Review and subject to the additional provisions outlined in Code Art. 4-516.Q.

Staff recommend a condition of approval requiring the necessary grading permit be obtained for the proposed non-foundational earthwork. With the required permits and as conditioned, staff finds that this criterion can be met.

Additional Provisions for grading of more than 50 cubic yards under Article 4-516.Q.5 include the following:

a. While it may be exempt from these provisions, grading which impacts a floodplain is not exempt from applying for and receiving a Floodplain Development Permit.

No portion of the proposed earthwork or the subject parcel is located within the Floodplain Overlay district, and therefore no Floodplain Development Permit will be required. This criterion is therefore not applicable.

b. Normal agricultural grading that is exempt from the definition of this use includes but is not limited to: tilling fields, creating or altering irrigation ditch laterals, field leveling, field access roads for agricultural purposes, and other activities associated with farming and agricultural operations. Agricultural grading does not include terraforming for aesthetic purposes, landscaping ponds, altering wetlands, or other nonessential grading.

The proposed non-foundational earthwork will not support an agricultural use, nor is an agricultural use proposed in the application materials. This criterion is therefore not applicable.

c. Ponds to be constructed at a depth of more than 24 inches must obtain a grading permit prior to construction. Ponds used to store/hold water for agricultural purposes (stock ponds, irrigation ponds) shall be exempt from the Site Plan Review or Limited Impact Special Review process unless they require an Individual Floodplain Development Permit.

The proposed earthwork is intended only for the construction of a driveway, and does not include any proposed water storage.

Therefore, this criterion is not applicable.

Therefore, as conditioned, staff finds this provision can be met.

(2) Will be compatible with the surrounding area. In determining compatibility, the Board should consider the location of structures and other improvements on the site; the size,

height and massing of the structures; the number and arrangement of structures; the design of structures and other site features; the proposed removal or addition of vegetation; the extent of site disturbance, including, but not limited to, any grading and changes to natural topography; and the nature and intensity of the activities that will take place on the site. In determining the surrounding area, the Board should consider the unique location and environment of the proposed use; assess the relevant area that the use is expected to impact; and take note of important features in the area including, but not limited to, scenic vistas, historic townsites and rural communities, mountainous terrain, agricultural lands and activities, sensitive environmental areas, and the characteristics of nearby development and neighborhoods;

For purposes of this review, staff considers the area within 1,500 feet of the subject parcel as the applicable surrounding area, which is consistent with the Site Plan Review definition of a neighborhood. Existing development within this area consists primarily of single-family residences on Forestry-zoned parcels of varying size.

Staff find that the proposed driveway will be compatible with the character of development within the defined neighborhood. Although the driveway will be longer than most other existing driveways in the vicinity, it is necessary to provide adequate access to the proposed site of the new residence, which is in a location acceptable to staff as described under the Site Plan Review standards later in this recommendation. As indicated in the alternatives analysis submitted by the applicants during the staff review period (included as Attachment D), a residence location closer to Gold Hill Road would result in a shorter driveway that would be more closely aligned with the existing development in the area, but would also require substantially more site disturbance.

As designed by the applicants, the proposed driveway also avoids removal of vegetation where possible, limits large-scale changes to existing site topography, and minimizes visual impacts of the overall development to Gold Hill Road and nearby property owners.

Therefore, staff finds that this criterion is met.

(3) The use will be in accordance with the Comprehensive Plan;

Policy TR 6.03 Prohibit Improvements with Unacceptable Impacts is part of the Comprehensive Plan's Transportation Element. This policy indicates that the access improvements may be prohibited when they "cause unacceptable impacts to the natural environment, including scenic views and rural character, or to the surrounding community..." Staff find that the proposed driveway will not result in unacceptable impacts to the natural environment because it has been designed in consultation with an ecological study commissioned by the applicants and appears to avoid the important environmental resources identified in that report.

Staff are concerned, however, that the impacts of development may cause unacceptable and permanent impacts to those environmental resources without careful management, particularly during construction of the driveway and associated residence. Figure 14 of the Birch Ecology report included with the application materials (see page A68 of Attachment A, which includes Figure 14 of the Birch Ecology report) illustrates a site plan of the proposed development overlaid on a map of existing environmental resources. Of particular concern to staff is the montane meadow located directly south of the proposed residence location, which the proposed driveway will cross. Staff recommend a condition of approval that restricts any development or activity within the meadow that is not illustrated in Figure 14 of the ecology report, along with a companion condition that the meadow boundaries be marked with a

construction fence prior to the commencement of any site work, with no construction access, material storage, or disturbance taking place within the staked meadow. Staff also recommend that the required revegetation plan (see Site Plan Review standard 12, below) include provision for silt barriers along the required construction fencing to prevent sedimentation in the meadow during construction.

As noted in the discussion section above, the Comprehensive Plan identifies a Significant Natural Communities Area into which the proposed driveway will extend. The extent of the proposed driveway into this identified area is minor relative to the proposed residence, and staff have limited concerns related to the impacts of the driveway itself. The impacts of the proposed residence on this area are discussed below under SPR Standard 11.

The Comprehensive Plan also identifies an Overland Habitat Connector as a line that runs north-south through the subject parcel. Although the proposed driveway would not cross the line indicated in County mapping, it would still impact the connector because the line shown represents an approximate 1-mile-wide buffer area. Staff are not concerned that the proposed driveway will impact wildlife movement through the area, as the vast majority of the subject parcel will remain undeveloped and there will be a clear and undeveloped north-south route through the parcel after construction is completed.

There is also a View Protection Score of 0.89 associated with Gold Hill Road in the area of the subject parcel. Development near the roadway is common in the vicinity and staff find that the proposed driveway will not detrimentally impact the visual character of the Gold Hill Road right-of-way.

Therefore, as conditioned, staff finds that this criterion is met.

(4) Will not result in an over-intensive use of land or excessive depletion of natural resources. In evaluating the intensity of the use, the Board should consider the extent of the proposed development in relation to parcel size and the natural landscape/topography; the area of impermeable surface; the amount of blasting, grading or other alteration of the natural topography; the elimination or disruption of agricultural lands; the effect on significant natural areas and environmental resources; the disturbance of plant and animal habitat, and wildlife migration corridors; the relationship of the proposed development to natural hazards; and available mitigation measures such as the preservation of open lands, the addition or restoration of natural features and screening, the reduction or arrangement of structures and land disturbance, and the use of sustainable construction techniques, resource use, and transportation management.

The originally submitted application materials included a proposal for 1,947 cubic yards of non-foundational earthwork, including 1,432 cubic yards of cut and 780 cubic yards of fill, for the construction of the proposed driveway. Following the application referral, the applicants submitted a revised fact sheet to staff that indicated an increase in the total proposed non-foundational earthwork due to a miscalculation noticed during a staff-requested alternative site analysis. The revised fact sheet indicates that the proposal will require 1,423 cubic yards of cut and 780 cubic yards of backfill, for a total non-foundational disturbance of 2,203 cubic yards.

Even with the increased amount of non-foundational earthwork, staff do not have any concern that the proposed driveway earthwork will result in an over-intensive use of land or the excessive depletion of natural resources. As described in the response to criterion two above, the proposal minimizes the site disturbance required to provide adequate access to an acceptable home site, while avoiding unacceptable disturbance to identified resources on the

parcel. Staff recommend a condition approving the revised non-foundational earthwork total as proposed.

Therefore, as conditioned, staff finds that this criterion is met.

(5) The use will not have a material adverse effect on community capital improvement programs;

Staff have not identified any material adverse effects of the proposal on community capital improvement programs, and no referral agency responded with such a concern.

Therefore, staff finds that this criterion is met.

(6) The use will not require a level of community facilities and services greater than that which is available;

Staff have not identified any community facilities and services that would be burdened by the proposal, and no referral agencies responded with a concern.

Therefore, staff finds that this criterion is met.

(7) Will support a multimodal transportation system and not result in significant negative impacts to the transportation system or traffic hazards;

The subject property is accessed from Gold Hill road, a gravel Boulder County owned and maintained right-of-way (ROW) with a Functional Classification of Collector. Legal access has been demonstrated via adjacency to this public ROW.

The proposed driveway access is located on an inside curve. However, the sight distance to the east (the direction with most limited sight distance) is approximately 270 feet, which exceeds the design stopping distance 115 feet for a speed limit of 20 MPH. The proposed driveway design also generally conforms with the MMTS for new residential access, although (as noted by DRT A&E staff in their referral response) there are two details of the proposed plans that are not adequate. Staff therefore recommend a condition of approval requiring that the permit plans must comply with the MMTS, including allowable slope and corrected pullout lengths.

Therefore, as conditioned, staff finds this criterion can be met.

(8) Will not cause significant air, odor, water, or noise pollution;

There is no indication that the proposal will cause significant air, odor, water, or noise pollution, and no referral agency responded with such a concern.

Therefore, staff finds this criterion can be met.

(9) Will be adequately buffered or screened to mitigate any undue visual impacts of the use;

Staff do not have concerns that the proposed driveway earthwork will pose any undue visual impacts to the surrounding area. Visible development is common along the road in this area, and the proposed driveway will allow for construction of the proposed residence in a location that will not be visible from the road at all. However, the disturbed slopes on either side of the driveway should be revegetated following construction to ensure that they blend with the

areas of the property that will remain undisturbed by construction, particularly those areas on the south-facing slope along Gold Hill Road through which the initial section of the driveway travels. Staff recommend that revegetation of the disturbed areas on either side of the driveway be included in the Revegetation Plan required under Site Plan Review standard 12 below.

Therefore, as conditioned, staff finds this criterion is met.

(10) The use will not otherwise be detrimental to the health, safety, or welfare of the present or future inhabitants of Boulder County;

There is no indication that the proposed non-foundational earthwork will be detrimental to the health, safety, or welfare of the present or future inhabitants of the county, and no referral agency responded with such a concern.

Therefore, staff finds this criterion can be met.

(11) The use will establish an appropriate balance between current and future economic, environmental, and societal needs by minimizing the consumption and inefficient use of energy, materials, minerals, water, land, and other finite resources;

Staff finds that the proposed driveway will minimize the inefficient use of land by providing access to an adequate building site while minimizing the required amount of disturbance to the landscape, as indicated in the applicants' alternatives analysis.

Therefore, staff finds this criterion can be met.

(12) The use will not result in unreasonable risk of harm to people or property – both onsite and in the surrounding area – from natural hazards. Development or activity associated with the use must avoid natural hazards, including those on the subject property and those originating off-site with a reasonable likelihood of affecting the subject property. Natural hazards include, without limitation, expansive soils or claystone, subsiding soils, soil creep areas, or questionable soils where the safe-sustaining power of the soils is in doubt; landslides, mudslides, mudfalls, debris fans, unstable slopes, and rockfalls; flash flooding corridors, alluvial fans, floodways, floodplains, and flood-prone areas; and avalanche corridors; all as identified in the Comprehensive Plan Geologic Hazard and Constraint Areas Map or through the Special Review or Limited Impact Special Review process using the best available information. Best available information includes, without limitation, updated topographic or geologic data, Colorado Geologic Survey landslide or earth/debris flow data, interim floodplain mapping data, and creek planning studies.

The Comprehensive Plan does not identify any areas of geologic hazard within the boundaries of the subject parcel, and staff did not identify any such hazards during a visit to the site.

Therefore, staff finds that this criterion is met.

(13) The proposed use shall not alter historic drainage patterns and/or flow rates unless the associated development includes acceptable mitigation measures to compensate for anticipated drainage impacts. The best available information should be used to evaluate these impacts, including without limitation the Boulder County Storm Drainage Criteria Manual, hydrologic evaluations to determine peak flows, floodplain mapping studies, updated topographic data, Colorado Geologic Survey landslide, earth/debris flow data, and

creek planning studies, all as applicable given the context of the subject property and the application.

The plans indicate retaining walls that will exceed four feet in height from top of wall to bottom of footing. Per the Standards, designs for retaining walls over four feet tall must be signed and sealed by a qualified Colorado-licensed Professional Engineer. Calculations must be submitted for any retaining walls over six feet in height. Staff therefore recommend a condition of approval requiring the submittal of engineered retaining wall designs with the building permit application.

Staff also recommend a condition of approval requiring a geotechnical report supporting the use of 1.5:1 cut slopes as proposed in the application materials.

Staff are concerned that construction near the east property line could increase drainage flows to the adjacent property beyond historic rates. Because the submitted plans indicate that at least one acre of the site will be disturbed by the proposed new development, a Stormwater Quality Permit (SWQP) is required. Staff recommend two conditions of approval intended to address this concern and requirement. The first condition requires submittal of a drainage letter as described in the DRT A&E referral response, and the second requires submittal of a SWQP at the time of building or grading permit submittal. Staff note that the drainage letter should be included with both the grading and building permit submittal as well as the SWQP submittal.

Therefore, as conditioned, staff finds that this criterion is met.

SITE PLAN REVIEW SUMMARY:

Article 4-806 of the Code states that no Site Plan Review can be approved without compliance with the following standards. All site plan review applications must be reviewed in accordance with the following standards which the Director has determined to be applicable based on the nature and extent of the proposed development. Staff has reviewed these standards as they apply to the proposed new residence and finds the following:

- (1) To provide a greater measure of certainty as to the applicable neighborhood relevant for comparison, the following definition of neighborhood shall be used to review proposed Site Plan Review applications:
 - c. For applications outside of platted subdivisions with seven or more developed lots or the townsites of Allenspark, Eldora, Eldorado Springs, Raymond and Riverside, the defined neighborhood is the area within 1,500 feet from the applicable parcel. The neighborhood shall not include any parcels inside municipal boundaries, platted subdivisions with seven or more developed lots or the townsites of Allenspark, Eldora, Eldorado Springs, Raymond and Riverside.

The applicable neighborhood for the subject parcel is the area within 1,500 feet of the subject parcel.

- (2) The size of the resulting development (residential or nonresidential) must be compatible with the general character of the defined neighborhood.
 - a. In determining size compatibility of residential structures within the defined neighborhood, it is presumed that structures of a size within the <u>larger</u> of a total residential floor area of either (1) 125% of the median residential floor area for that defined neighborhood or (2) of a total residential floor area of 1,500 square feet in the

mapped townsites of Allenspark, Eldora, Eldorado Springs, Raymond, and Riverside, or 2,500 square feet for all other areas of the County, are compatible with that neighborhood, subject also to a determination that the resulting size complies with the other Site Plan Review standards in this section 4-806.A.

A. SIZE PRESUMPTION

The presumed compatible size of residential structures within the defined neighborhood (see Standard 1 above for the applicable neighborhood) is 6,986 square feet.

Median (total residential floor area) in the defined neighborhood*	4,248 square feet
125% of the median residential floor area in the defined neighborhood	5,310 square feet
Total existing residential floor area on the subject parcel*	None (vacant)

^{*}Source: Boulder County Assessor's records, as verified by Community Planning and Permitting staff for the subject parcel.

B. RECOMMENDED APPROVED SIZE

RESIDENTIAL FLOOR AREA*	
Approved NEW residential floor area	Approximately 4,544 square feet
Total approved residential floor area	Approximately 4,544 square feet

^{*}Residential Floor Area includes all attached and detached floor area on a parcel including principal and accessory structures used or customarily used for residential purposes, such as garages, studios, pool houses, home offices, and workshops, excluding covered deck. Floor area does not include the area of any covered porch. Gazebos, carports, detached greenhouses and hoophouses up to a total combined size of 400 square feet are also exempt.

The plans submitted with the application materials indicate that the proposed new residence will encompass 4,544 square feet of residential floor area, including a 2,095-square-foot first floor, 1,587-square-foot second floor, and 862-square-foot attached garage. The residence will also feature 1,462 square feet of covered porch areas, although covered porches are excluded from the definition of residential floor area and therefore not included in the calculated total floor area that staff recommend be approved by the Board of County Commissioners.

Staff find that the total resulting residential floor area is compatible with the character of development within the defined neighborhood because it is below the presumptive size maximum of 5,310 square feet and, as conditioned, will not impose visual impacts that are out-of-character with the surroundings.

Staff recommend a condition of approval limiting the size of the residence to the approximate floor area proposed in the application materials.

Therefore, as conditioned, staff finds no conflict with this standard.

(3) The location of existing or proposed buildings, structures, equipment, grading, or uses shall not impose an undue burden on public services and infrastructure.

Staff find that the proposed location for the new residence is appropriate as a mitigating factor for potential visual and ecological impacts, and will not impose an undue burden on public services or infrastructure.

Therefore, staff finds no conflict with this standard.

(4) The proposed development shall avoid natural hazards, including those on the subject property and those originating off-site with a reasonable likelihood of affecting the subject property. Natural hazards include, without limitation, expansive soils or claystone, subsiding soils, soil creep areas, or questionable soils where the safe-sustaining power of the soils is in doubt; landslides, mudslides, mudfalls, debris fans, unstable slopes, and rockfalls; flash flooding corridors, alluvial fans, floodways, floodplains, and flood-prone areas; and avalanche corridors. Natural hazards may be identified in the Comprehensive Plan Geologic Hazard and Constraint Areas Map or through the Site Plan Review process using the best available information. Best available information includes, without limitation, updated topographic or geologic data, Colorado Geologic Survey landslide or earth/debris flow data, interim floodplain mapping data, and creek planning studies. Development within or affecting such natural hazards may be approved, subject to acceptable measures that will satisfactorily mitigate all significant hazard risk posed by the proposed development to the subject property and surrounding area, only if there is no way to avoid one or more hazards, no other sites on the subject property can be reasonably developed, or if reasonably necessary to avoid significant adverse impacts based upon other applicable Site Plan Review criteria.

The Comprehensive Plan does not identify any natural hazards within the boundaries of the subject parcel, nor did staff identify any such hazards on the site.

Therefore, staff finds no conflicts with this standard.

(5) The site plan shall satisfactorily mitigate the risk of wildfire both to the subject property and those posed to neighboring properties in the surrounding area by the proposed development. In assessing the applicable wildfire risk and appropriate mitigation measures, the Director shall consider the referral comments of the County Wildfire Mitigation Coordinator and the applicable fire district, and may also consult accepted national standards as amended, such as the Urban-Wildland Interface Code; National Fire Protection Association (NFPA); International Fire Code; and the International Building Code.

Wildfire mitigation is required for the proposed residence; the proposed project is in Wildfire Zone 1 (the foothills or mountains—approximately west of highways 7, 36, or 93) of the unincorporated portion of Boulder County. The Boulder County Wildfire Mitigation requirements are composed of site location, ignition-resistant materials and construction, defensible space, emergency water supply, and emergency vehicle access. Staff recommend a condition of approval requiring wildfire mitigation for the proposed residence and driveway as described in the attached referral response from the Boulder County Wildfire Mitigation Team (see Attachment B, page B9)

Therefore, as conditioned, staff find that this standard can be met.

(6) The proposed development shall not alter historic drainage patterns and/or flow rates or shall include acceptable mitigation measures to compensate for anticipated drainage impacts. The best available information should be used to evaluate these impacts, including without limitation the Boulder County Storm Drainage Criteria Manual, hydrologic evaluations to determine peak flows, floodplain mapping studies, updated topographic data, Colorado Geologic Survey landslide, earth/debris flow data, and creek planning studies, all as applicable given the context of the subject property and the application.

Due to the flat topography of the proposed location of the residence, staff do not anticipate that it will alter historic drainage patterns or flow rates, and no referral agency responded with such a concern. Drainage concerns related to the proposed access driveway are discussed in response to Special Use criterion 13, above.

Therefore, staff finds no conflicts with this standard.

(7) The development shall avoid significant natural ecosystems or environmental features, including but not necessarily limited to riparian corridors and wetland areas, plant communities, and wildlife habitat and migration corridors, as identified in the Comprehensive Plan or through the Site Plan Review process. Development within or affecting such areas may be approved, subject to acceptable mitigation measures and in the discretion of the Director, only if no other sites on the subject property can be reasonably developed, or only if reasonably necessary to avoid significant adverse impacts based upon other applicable Site Plan Review criteria.

The Comprehensive Plan identifies a Significant Natural Community on the subject property, in which the proposed residence will be located. Prior to submittal of the proposal, staff indicated to the applicants that the identified natural community was the large stand of aspen that stretches across northeast-to-southwest across a large swath of the subject parcel. The Birch Ecology report included with the application materials disputes this identified area as misidentified, indicating instead that the natural community to be protected is the ponderosa pine savannah located on the south-facing slope in the southernmost area of the property, and recommended the proposed residence location north of the ridgeline to avoid impacts to that area.

Although it is not directly located within the identified Significant Natural Community area, staff and Birch Ecology both noted the presence of a montane meadow on-site.

A referral response submitted by the BCPOS Natural Resource planner expressed general concurrence with the findings of the Birch Ecology report, and included several recommended conditions intended to limit the impact of the proposal on natural ecosystems and environmental features. Staff therefore strongly recommend that the applicants use bear-proof waste disposal containers at all times, and recommend a condition of approval requiring a bird next survey prior to any ground disturbance if work is to occur during nesting season.

The proposed residence location appears to have been designed to minimize impacts to all of these resources. Although it is proposed to be located within a section of the aspen stand, the area of disturbance will be relatively small compared to the size of the stand as a whole. The residence location will also be adjacent to, but not on top of, the meadow area. With the condition disallowing disturbance to the meadow area described under Special Use criterion three above, staff recommend that the Board of County Commissioners approve the location of the residence as proposed in the application materials.

Therefore, as conditioned, staff finds no conflicts with this standard.

(8) The development shall avoid agricultural lands of local, state or national significance as identified in the Comprehensive Plan or through the site plan review process. Development within or affecting such lands may be approved, subject to acceptable mitigation measures and in the discretion of the Director, only if no other sites on the subject property can be reasonably developed, or only if reasonably necessary to avoid significant adverse impacts based upon other applicable site plan review criteria.

The Comprehensive Plan does not identify any significant agricultural lands on the parcel.

Therefore, this standard is not applicable.

(9) The development shall avoid significant historic or archaeological resources as identified in the Comprehensive Plan or the Historic Sites Survey of Boulder County, or through the site plan review process. Development within or affecting such resources may be approved, subject to acceptable mitigation measures and in the discretion of the Director, only if no other sites on the subject property can be reasonably developed, or only if reasonably necessary to avoid significant adverse impacts based upon other applicable site plan review criteria.

The Comprehensive Plan does not identify any historic or archaeological resources on the property, nor were any identified by staff during the application review.

Therefore, staff finds no conflicts with this standard.

- (10) The development shall not have a significant negative visual impact on the natural features or neighborhood character of surrounding area. Development shall avoid prominent, steeply sloped, or visually exposed portions of the property. Particular consideration shall be given to protecting views from public lands and rights-of-way, although impacts on views of or from private properties shall also be considered. Development within or affecting features or areas of visual significance may be approved, subject to acceptable mitigation measures and in the discretion of the Director, only if no other sites on the subject property can be reasonably developed, or only if reasonably necessary to avoid significant adverse impacts based upon other applicable site plan review criteria.
 - b. For development anywhere in the unincorporated areas of the county, mitigation of visual impact may include changing structure location, reducing or relocating windows and glazing to minimize visibility, reducing structure height, changing structure orientation, requiring exterior color and materials that blend into the natural environment, and/or lighting requirements to reduce visibility at night.

Locations	Approved as shown on the site plan dated 07/19/2024
Height	Maximum 30 feet above existing grade
Exterior Materials	As shown in the submitted elevations dated 04/29/2024
Exterior Colors	As shown in the submitted elevations dated 04/29/2024

The maximum allowed building height in the Forestry zoning district is 30 feet above existing grade, and the application materials propose that the residence be constructed at a maximum height of 29' 6" above existing grade. Staff have limited visual impact concerns related to the proposed building height due to the isolated location of the structure, existing mature vegetation that surrounds the build site, and the proposed exterior colors and materials. To allow for a small amount of variation should the permit plans require it, staff recommend a condition of approval limiting the height of the structure to a maximum of 30 feet above existing grade. A second condition is also recommended that requires provision of a height survey during the building permit review to ensure that the maximum height is not exceeded.

Staff were also unable to identify any nearby public or private lands that would be impacted by the structure, and recommend approval of the submitted elevations as proposed.

A. EXTERIOR COLORS AND MATERIALS

The application materials included a digital sample of the proposed exterior colors and materials with the proposed elevations.



Figure 5: Proposed exterior colors and materials.

Staff find that, provided they are all matte and non-reflective, the proposed exterior colors and materials will blend with the surrounding landscape and vegetation. Staff therefore recommend a condition approving the proposed exterior treatments as proposed, with a requirement that all materials have a matte, non-reflective finish.

B. EXTERIOR LIGHTING

The locations and types of exterior lighting fixtures were not included in the application materials, although the submitted elevations included a note indicating that exterior fixtures would be "designed in compliance with Article 7-1600 Outdoor Lighting." Staff recommends a condition requiring the submittal of a proposed lighting plan with the building permit application, with a limitation of one exterior light per entry or exit and a prohibition on driveway or landscape lighting, and that Community Planning and Permitting staff verify that exterior lighting has been added to the structures according to the approved plan prior to the issuance of a Certificate of Occupancy.

As conditioned, staff finds no conflict with this standard.

(11) The location of the development shall be compatible with the natural topography and existing vegetation and the development shall not cause unnecessary or excessive site disturbance. Such disturbance may include but is not limited to long driveways, over-sized parking areas, or severe alteration of a site's topography. Driveways or grading shall have a demonstrated associated principal use.

A. LOCATION

Staff recommend approval of the proposed location for the residence as indicated on the site plan, dated 07/19/2024.

B. EARTHWORK AND GRADING

The fact sheet submitted with the application materials indicates that construction of the proposed residence will require 719 cubic yards of foundation cut and 6 cubic yards of foundation backfill. A significant amount of non-foundational earthwork is also proposed, and was reviewed according to the Special Review criteria above. A revised fact sheet submitted by the applicants following the referral of the application corrected the amount of non-foundational earthwork, but did not show a change in the proposed foundational earthwork. Staff recommend approving this earthwork as proposed, subject to the condition described under Special Review criterion four above.

C. GRADING NARRATIVE

Any fill placed around the new residence shall be placed in a manner which promotes positive drainage away from the residence and does not impact surrounding properties or the county ROW.

D. UTILITIES

To minimize disturbances to the site, staff recommends a condition requiring all utility service lines be routed underground (see <u>Article 7-1200</u> of the Code) and located in areas already disturbed or proposed to be disturbed (e.g., along driveway).

Therefore, as conditioned, staff finds no conflict with this standard.

(12) Runoff, erosion, and/or sedimentation from the development shall not have a significant adverse impact on the surrounding area

To mitigate the potential negative impacts from runoff, erosion, or sedimentation, staff recommend a condition of approval requiring the placement of a silt barrier down slope of all disturbance areas and along the construction fencing used to delineate the meadow during construction, as well as revegetation of disturbed areas after construction. Staff note that, per the BCPOS Natural Resource Planner's referral response, hydroseeding is not recommended as part of the required revegetation due to poor success rates in local climates.

Therefore, as conditioned, staff finds no conflict with this standard.

(13) The development shall avoid Natural Landmarks and Natural Areas as designated in the Goals, Policies & Maps Element of the Comprehensive Plan and shown on the Zoning District Maps of Boulder County. The protection of Natural Landmarks and Natural Areas shall also be extended to their associated buffer zones. Development within or affecting such Landmarks or Areas may be approved, subject to acceptable mitigation measures and in the discretion of the Director, only if no other sites on the subject property can be reasonably developed, or only if reasonably necessary to avoid significant adverse impacts based upon other applicable site plan review criteria.

The Plan does not identify any Natural Landmarks or Natural Areas on the subject property.

Therefore, staff finds no conflicts with this standard.

(14) Where an existing principal structure is proposed to be replaced by a new principal structure, construction or subsequent enlargement of the new structure shall not cause

significantly greater impact (with regard to the standards set forth in this Section 4-806) than the original structure.

There is no proposal to replace the existing principal structure with a new one.

Therefore, staff finds that this standard is not applicable.

(15) The proposal shall be consistent with the Comprehensive Plan, any applicable intergovernmental agreement affecting land use or development, and this Code.

As conditioned, staff finds no conflict with this standard.

RECOMMENDATION:

Staff has determined that, as conditioned, the proposal can meet all the applicable criteria of the Boulder County Land Use Code for Limited Impact Special Review and for Site Plan Review. Therefore, staff recommend that the Board of County Commissioners **CONDITIONALLY APPROVE** Docket LU-24-0011/SPR-24-0050: Whisper Mountain Ranch Driveway and Residence, subject to the following conditions:

- The development is subject to the requirements of the Boulder County Building Safety and Inspection Services Team and adopted County Building Codes, as outlined in the referral comments, including, but not limited to required building and grading permits, fire suppression, ignition resistant materials and defensible space, and the BuildSmart energy efficiency and sustainability requirements.
- 2. Prior to the commencement of any physical construction on site, the boundaries of the meadow must be delineated with construction fencing according the mapping provided in the Birch Ecology report and the installed fencing must be inspected by Community Planning & Permitting staff.
- 3. No disturbance is allowed within the meadow outside of the areas shown on Exhibit 14 of the Birch Ecology report as being necessary for the driveway approach. The meadow may not be used for construction access, equipment storage, or any other disturbance.
- 4. Earthwork including 1,423 cubic yards of non-foundational cut, 780 cubic yards of non-foundational fill, 719 cubic yards of foundational cut, and 6 cubic yards of foundational fill, is approved as proposed.
- 5. At the time of building or grading permit submittal, the proposed driveway design must comply with the Boulder County Multimodal Transportation Standards, including without limitation:
 - a. Table 5.5.1 Parcel Access Design Standards (1-Lane Mountain Access)
 - b. Section 5.3.2 Typical Cross Section Design
 - c. Section 5.3.3 Geometric Standards
 - d. Standard Drawings 11 Private Access
 - e. Standard Drawing 14 Access with Roadside Ditch
 - f. Standard Drawing 15 Access Profiles Detail
 - g. Standard Drawing 16 Access Grade & Clearance
 - h. Standard Drawing 17 Access Pullouts
 - i. Standard Drawing 18 Access Turnaround

j. Standard Drawing 19 – Typical Turnaround & Pullout Locations

The plans must also correct the issues raised in item five of the Development Review Team – Access & Engineering referral response dated September 23, 2024.

Prior to the issuance of a Certificate of Occupancy, Community Planning & Permitting staff must verify that the driveway has been constructed according to the approved plan.

- 6. At building permit, the submitted plans must include engineered designs for retaining walls.
- 7. *At building permit*, the submitted plans must include a geotechnical report support the use of 1.5:1 cut slopes as proposed in the application materials.
- 8. At building permit, a drainage letter is required. In addition to demonstrating historic drainage at the east property line, the letter must also meet the requirements of the November 9, 2021 memo included with the Development Review Team Access & Engineering referral response titled "Allowance of the Use of Drainage Letter on Private Development and Public Capital Projects."
- 9. As a part of Boulder County's water quality protection and Municipal Separate Storm Sewer System (MS4) Construction Program, a Stormwater Quality Permit (SWQP) is required for this project based on the disturbance illustrated in the submitted materials.

At building permit submittal, provide a complete Stormwater Quality Permit submittal to stormwater@bouldercounty.gov.

- 10. The size of the new residence is approved as proposed, including approximately 4,544 square feet of residential floor area.
- 11. Wildfire Mitigation is required as described in the Wildfire Mitigation Team referral response dated September 18, 2024 and included in the staff recommendation packet.

On the Building Permit application, select either the Wildfire Partners or the Regulatory Wildfire Mitigation path.

Prior to issuance of any permits, a Wildfire Partners or Regulatory Wildfire Mitigation assessment and defensible space marking shall be completed. Based upon the path selected, either a Wildfire Partners Assessment report or a Wildfire Mitigation Plan will be created which will describe the wildfire mitigation requirements to be implemented.

Before scheduling rough inspections, vegetation marked for removal must be cut and all slash, cuttings, and debris must be removed or properly disposed of and inspected by the Boulder County Community Planning & Permitting Department.

At the time of final inspections, all required items in the Wildfire Partners Assessment Report or Regulatory Wildfire Mitigation Plan are to be implemented, inspected and approved by a Wildfire Mitigation Specialist, and approved.

Please refer to the Boulder County Building Code for Ignition-Resistant Construction requirements. See the referral from the Wildfire Mitigation Team for more information on the

County's wildfire mitigation requirements, including: site location, emergency water supply, and emergency vehicle access. See the referral from the Building Safety & Inspection Services Team for more information on the County's Automatic Fire Sprinkler System requirement.

- 12. In accordance with the Migratory Bird Treaty Act, a bird nest survey must be completed prior to any ground disturbance if work is to occur during nesting season.
- 13. The locations of the residence and driveway are approved as proposed on the submitted site plan dated 07/19/2024.
- 14. The elevations are approved as proposed on the submitted plans dated 04/29/2024.

Prior to the final inspection, the Community Planning & Permitting Department must verify that the residence has been constructed according to the approved elevations.

15. The height of the residence is approved at a maximum of 30 feet from existing grade. A height survey is required to ensure that the residence does not exceed the maximum allowed height.

Prior to issuance of building or grading permits, the <u>first part of the Height Survey</u>

<u>Verification form</u> must be completed and submitted to the Community Planning & Permitting Department.

Prior to rough frame inspection, the <u>second part of the form</u> will be provided upon building permit application and must be submitted to the Community Planning & Permitting Department.

16. The application materials included digital samples for proposed exterior colors and materials as shown in the elevations dated 04/29/2024. These exterior colors and materials are approved as proposed, but must be verified to have a matte, non-reflective finish prior to the issuance of a Certificate of Occupancy.

Prior to issuance of a Certificate of Occupancy or at the time of final inspection, the Community Planning & Permitting Department must inspect and verify that the approved color samples are used on each of the new structures.

17. Prior to the issuance of building permits, the applicant must submit to the Community Planning & Permitting Department for review and approval a lighting plan that includes the placement of all exterior lighting fixtures and cut sheets for each fixture. Only one exterior fixture is permitted per entry or exit, and no driveway or landscape lighting is permitted.

NOTE: <u>Down lighting</u> is required, meaning that all bulbs must be fully shielded to prevent light emissions above a horizontal plane drawn from the bottom of the fixture. All exterior light fixtures must be in conformance with <u>Article 7-1600</u> and <u>Article 18-162A</u> of the Boulder County Land Use Code.

Prior to issuance of a Certificate of Occupancy, the full installation of the approved lighting plan must be inspected and approved by the Community Planning & Permitting Department.

- 18. *Prior to issuance of building and grading permits*, submit to the Community Planning and Permitting Department for review and approval a plan depicting the routing of all utility services. The utility routing plan must be included as part of the building plan set required at the time of permit application. To minimize disturbances to the site, all utility service lines must be routed underground (see Article 7-1200 of the Boulder County Land Use Code) and located in areas already disturbed or proposed to be disturbed (e.g., along driveway).
 - a. *At the time of building inspections*, full installation of the utilities per the approved plan must be inspected and confirmed by the Community Planning and Permitting Department.
- 19. At building or grading permit submittal, a Revegetation Plan must be submitted for approval. This plan should include native grass species to be used, an explanation of how topsoils will be stockpiled, mapped delineation of all disturbance areas (this includes construction staging areas, driveway, utility lines, and septic system with access), locations of all erosion control measures, and matting requirements, if necessary. The plan must also illustrate the extent of construction fencing around the meadow area, and include details regarding the placement of all silt barriers downslope of disturbed areas as well as along the construction fencing used to delineate the meadow.

Prior to issuance of a Certificate of Occupancy, the full installation of the approved Revegetation Plan must be inspected and approved by the Community Planning & Permitting Department. If weather is not conducive to seeding or if adequate revegetation efforts have not occurred and vegetation is not adequately established at the time of final inspection request, an irrevocable letter of credit or monies deposited into a County Treasurer account will be required to assure the success of revegetation. The applicant should consider the following well in advance of their revegetation inspection:

- a. Whether applying for a Certificate of Occupancy, final inspection, or the return of funds held in escrow for completion of revegetation, some level of germination and growth of grass seed is required.
- b. Keep in mind that the steeper the slopes and dryer the soil, the greater the attention needed to establish a level of germination adequate to obtain revegetation approval.
- c. Areas of disturbance found at inspection not included on the revegetation plan are still subject to reseeding and matting.

Incomplete revegetation is the leading cause for delays in obtaining a Certificate of Occupancy.

- 20. *Prior to issuance of building permits*, the applicants must obtain a completed OWTS permit.
- 21. The Applicants are subject to the terms, conditions, and commitments of record and in the file for Docket LU-24-0011/SPR-24-0050: Whisper Mountain Ranch Driveway and Residence.



Boulder County Land Use Department

Courthouse Annex Building 2045 13th Street • PO Box 471 • Boulder, Colorado 80302

Phone: 303-441-3930

Email: planner@bouldercounty.org Web: www.bouldercounty.org/lu

Office Hours: Mon., Wed., Thurs., Fri. 8 a.m. to 4:30 p.m.

Tuesday 10 a.m. to 4:30 p.m.

Shaded Areas for Staff Use Only				
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Planning Application Form

The Land Use Department maintains a submittal schedule for accepting applications. Planning applications are accepted on Mondays, by appointment only. Please call 303-441-3930 to schedule a submittal appointment.

Project Number				Project Name Whisper Mountain Homestead				
Appeal Correction Plat Exemption Plat Final Plat Limited Impact Special U Limited Impact Special U Limited Impact Special U			on of Special / Plan	Road Name Change Road/Easement Vacation Site Plan Review Site Plan Review Waiver Sketch Plan Special Use/SSDP		de Sta Su Va	☐ Special Use (Oil & Gas development) ☐ State Interest Review (1041) ☐ Subdivision Exemption ☐ Variance ☐ Other:	
Location(s)/Street Address(es) 1	1320 Gol	d Hill Rd, E	Boulder, CC	0 80302	7			
Subdivision Name Whisper I	Mountain	Ranch					1	
Lot(s)Tract 4	Block(s)				Township(s) N		Range(s) 72	
Area in Acre 85.79	Existing Z PT O	festry Existing Use of Property Vacant				Numper of Proposed Lots		
Proposed Water Supply On-site well Proposed Sewag			Proposed Sewage	Disposal MethodOn-site septic				
Applicants:								
พืพที่เราได้ Mountain, LLC (Michela Bernardi)			rmithela	abernardi@ou	tlook.c	om		
1⁴ჩშიაფენის Hill Rd								
Böulder	C'O	870302		Phone				
Applicant/Property Owner/Agent/C	y Owner/Agent/Consultant			Email				
Mailing Address								
City	State	Zip Code Phone						
່ວິວັງກໍ່ຕີກໍ່ຮັກວັລາກ Architects				ร์ทีเล็loney@sophersparn.com				
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Certification (Please refer to the Regulations and Application Submittal Package for complete application requirements.)

I certify that I am signing this Application Form as an owner of record of the property included in the Application. I certify that the information and exhibits I have submitted are true and correct to the best of my knowledge. I understand that all materials required by Boulder County must be submitted prior to having this matter processed. I understand that public hearings or meetings may be required. I understand that I must sign an Agreement of Payment for Application processing fees, and that additional fees or materials may be required as a result of considerations which may arise in the processing of this docket. I understand that the road, school, and park dedications may be required as a condition of approval. I understand that I am consenting to allow the County Staff involved in this application or their designees to enter onto and inspect the subject property at any reasonable time, without obtaining any prior consent.

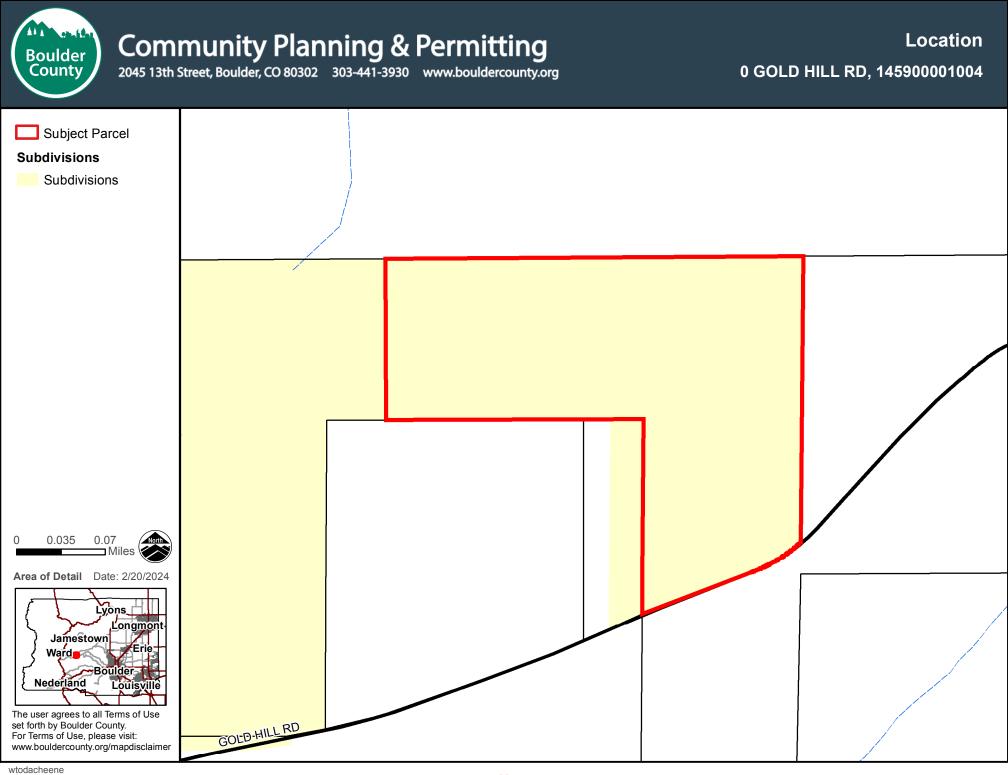
All landowners are required to sign application. If additional space is needed, attach additional sheet signed and dated.

Signatur of Property Owner	Printed Name	Date 05/17/24
Signature of Property Owner	Printed Name	Date

The Land Use Director may waive the landowner signature requirement for good cause, under the applicable provisions of the Land Use Code.

Form: P/01 • Rev. 07.23.18 • g:/publications/planning/p01-planning-application-form.pdf

Community Planning & Permitting Vicinity Boulder County 2045 13th Street, Boulder, CO 80302 303-441-3930 www.bouldercounty.org 0 GOLD HILL RD, 145900001004 James Subject Parcel Nugget Hi Slaughtern Municipalities **Subdivisions** Subdivisions Gulc Gold Lake 102 Rowena 102J **Burnt Mt** Peck Gulch Gulch SUNSHINE ANYON DR Spring GULCH RD CANYON Tuscarora Guleb Bighorn Mt LEFTHAND Switzerland **Krail** Summerville 93J Hoosier Hill Suitzerland Trail Melvina Wood Mt Wallstreet Area of Detail Date: 2/20/2024 Assay Sunset Lyons ... FQURMIL Wallstreet Longmont Dirigo H Jamestown ourmile 22N -Boulder Sugarloaf Mountain Nederland Louisville Mountain Pines Sugarloaf Mt Bald Mt The user agrees to all Terms of Use ummer Trail set forth by Boulder County. ake For Terms of Use, please visit: www.bouldercounty.org/mapdisclaimer 124N Swiss

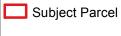


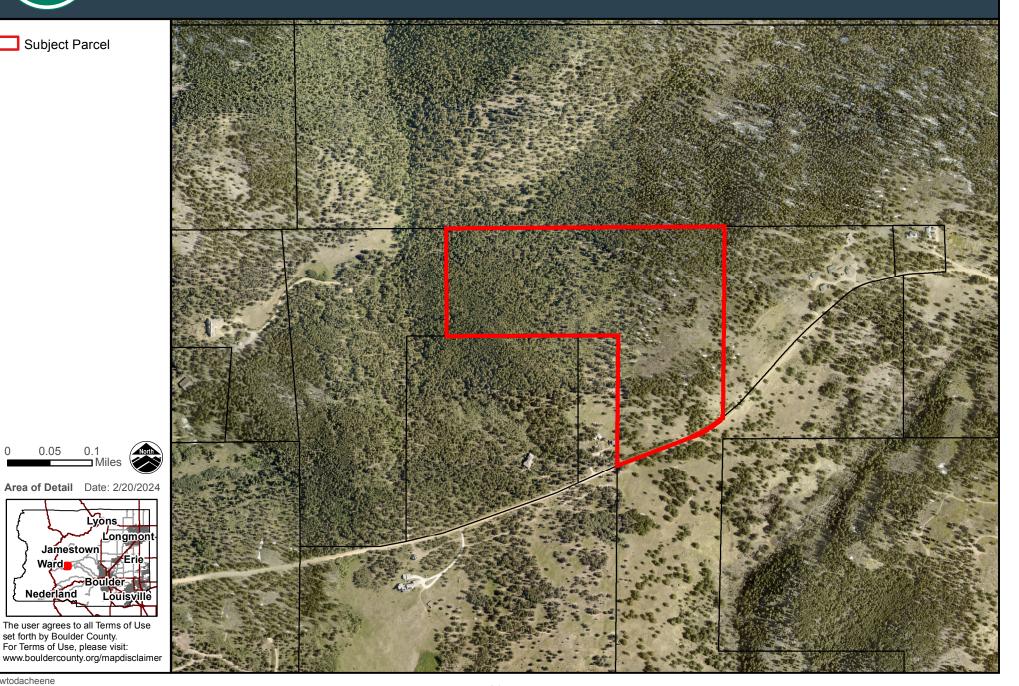


Community Planning & Permitting 2045 13th Street, Boulder, CO 80302 303-441-3930 www.bouldercounty.org

Aerial

0 GOLD HILL RD, 145900001004





Jamestown

Nederland 4

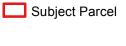
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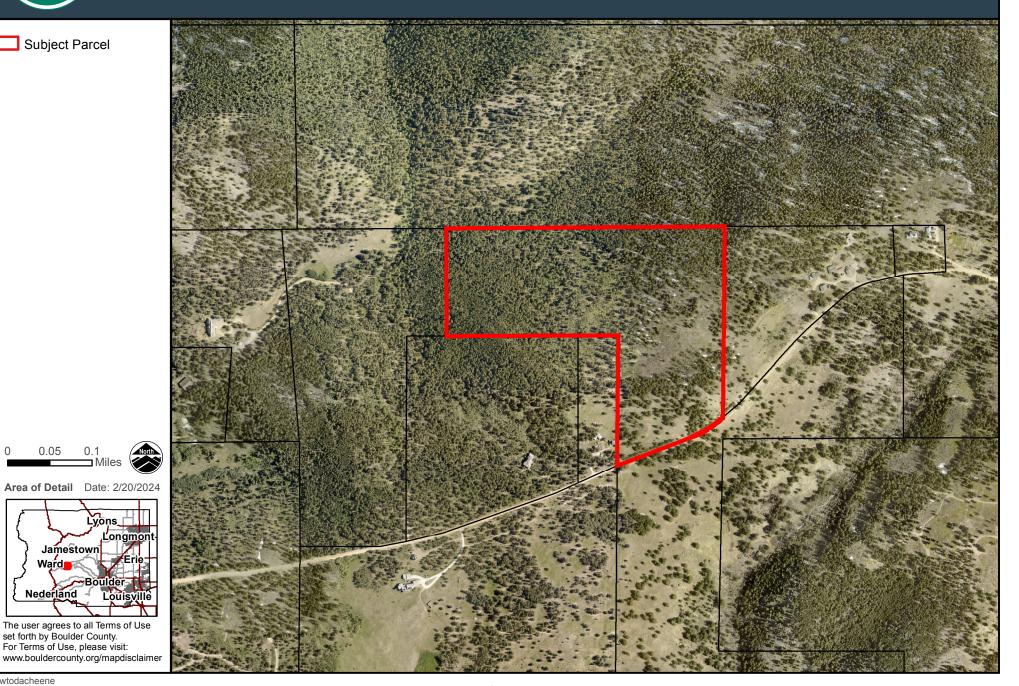


Community Planning & Permitting 2045 13th Street, Boulder, CO 80302 303-441-3930 www.bouldercounty.org

Aerial

0 GOLD HILL RD, 145900001004



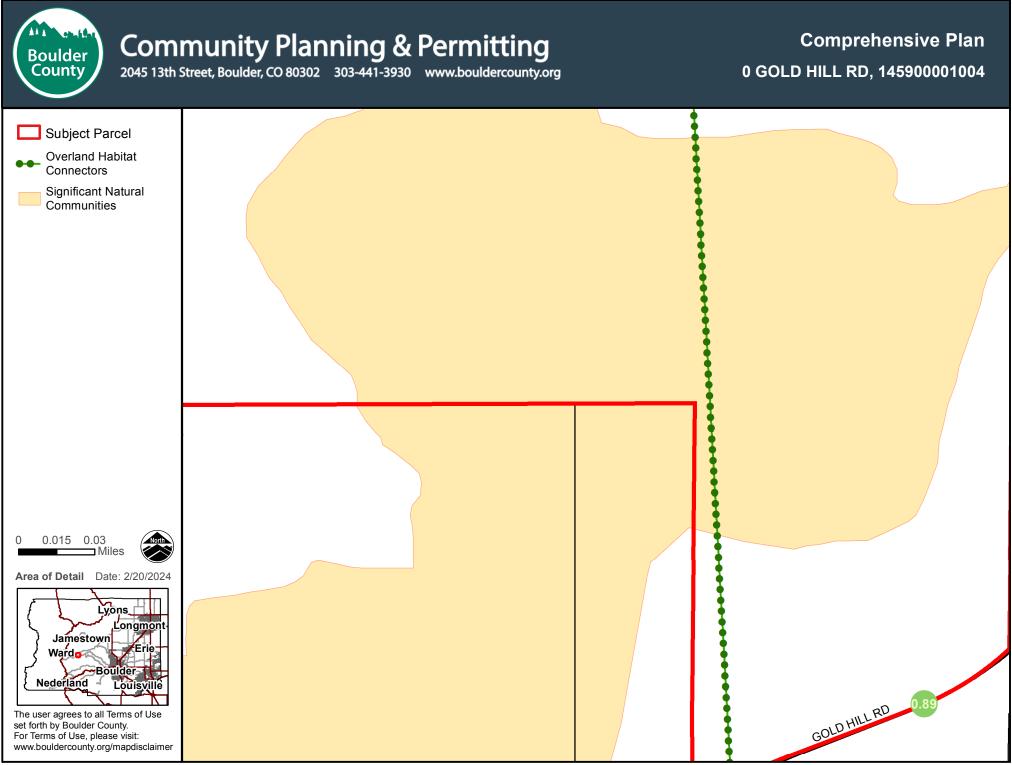


Jamestown

Nederland 4

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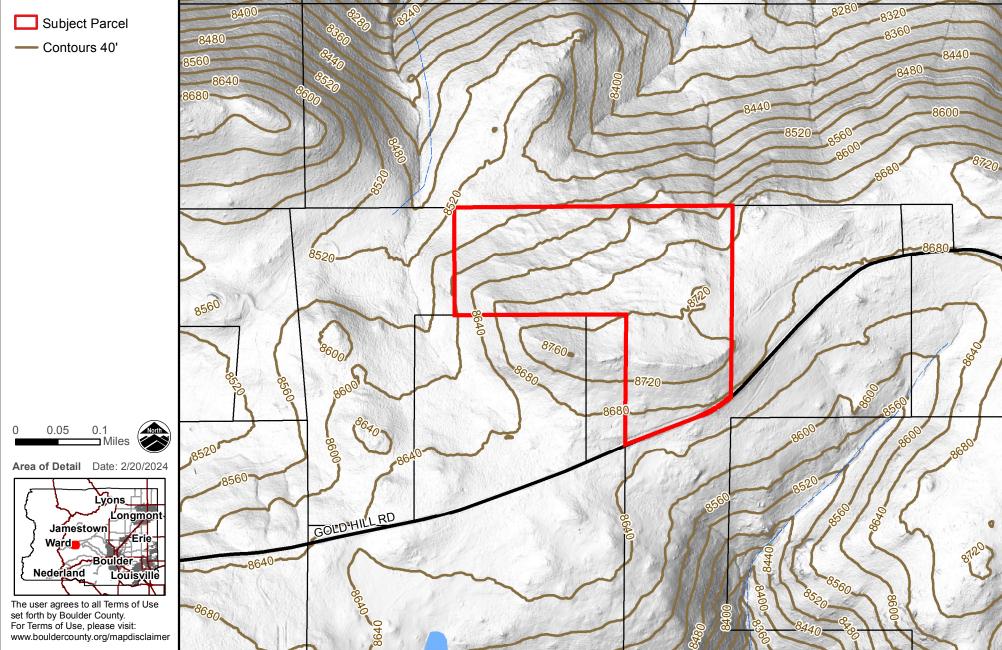




Community Planning & Permitting

Elevation Contours

2045 13th Street, Boulder, CO 80302 303-441-3930 www.bouldercounty.org 0 GOLD HILL RD, 145900001004

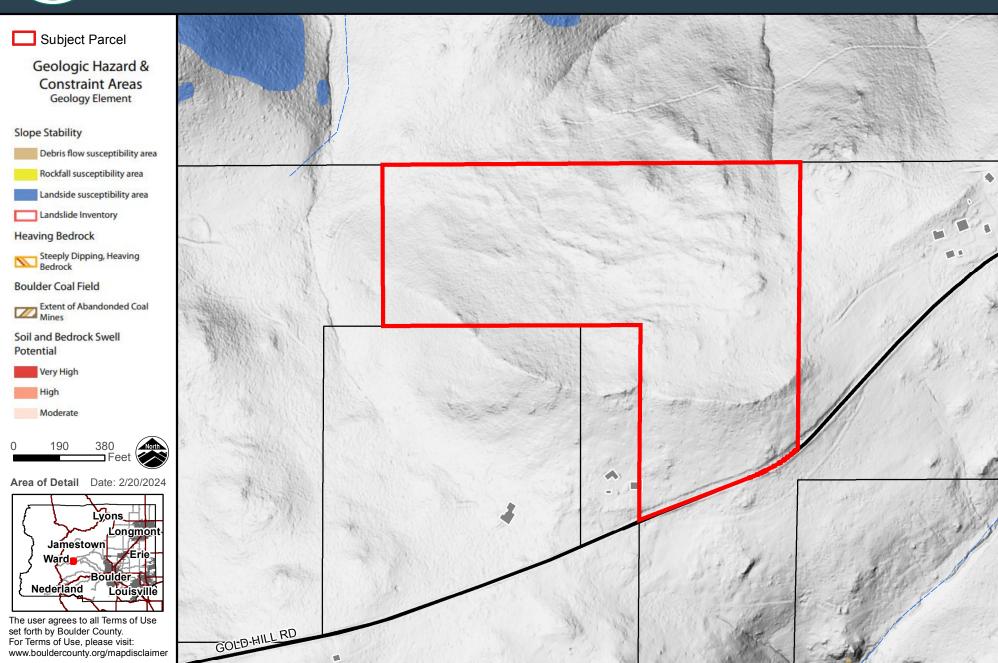


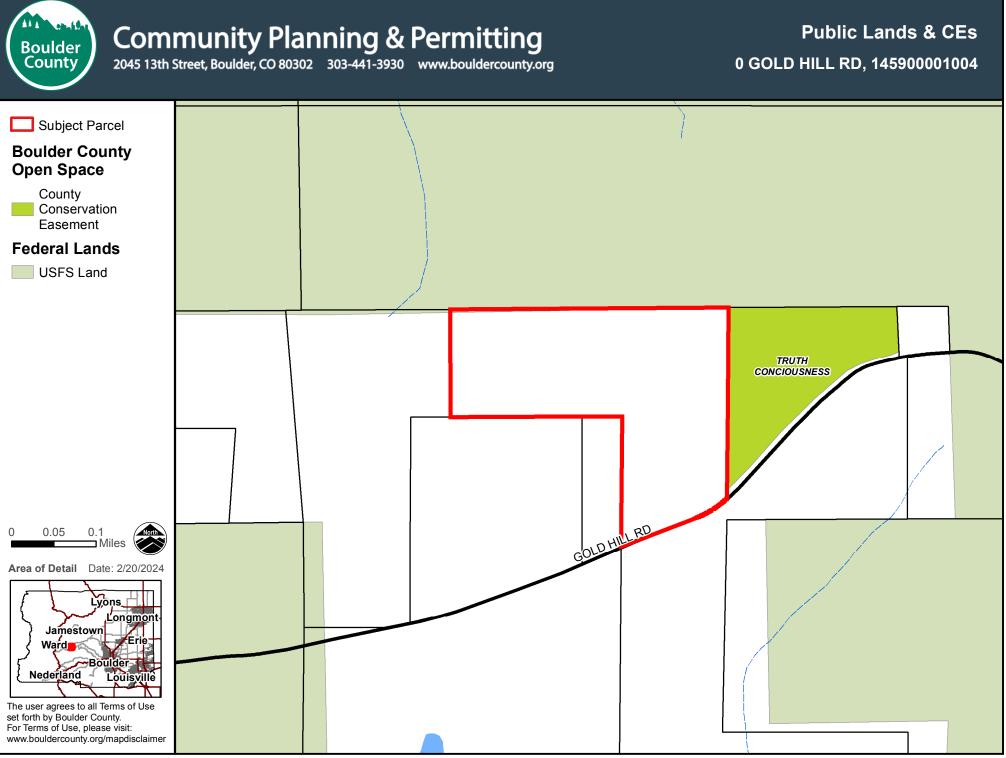


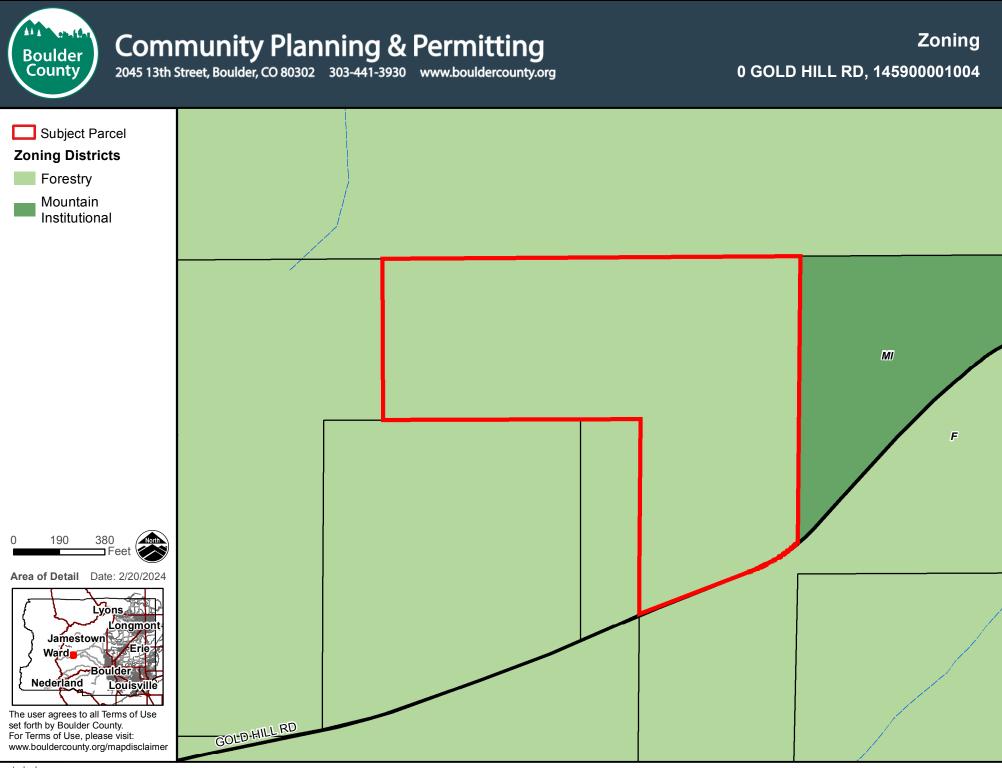
Community Planning & Permitting

2045 13th Street, Boulder, CO 80302 303-441-3930 www.bouldercounty.org

Geologic Hazards
0 GOLD HILL RD, 145900001004







Limited Impact Special Use Review Fact Sheet

Project Identification

Project Name: Whisper Mountain Homestead
Property Address/Location: 11780 Gold Hill Rd, Boulder, CO 80302
Current Owner: Whisper Mountain, LLC
Size of Property in Acres: 35.79 Acres

The applicant(s) is/are required to complete each section of this Limited Impact Special Use Review Fact Sheet even if the information is duplicated elsewhere in the application.

Completed Fact Sheets reduce the application review time which helps expediate the Director's Determination. Please make duplicates of this Limited Impact Special Use Review Fact Sheet if the project involves more than two structures.

Determining Floor Area

If an existing wall(s) and/or roof(s) are removed and a new wall(s)/roof(s) are constructed, the associated floor area due to the new wall(s)/roof(s) are considered new construction and must be included in the calculation of floor area for the Limited Impact Special Use Review and shown on this Fact Sheet.

Structure #1 Information

(e.g	Type of Structure: (e.g. residence, studio, barn, etc.)		Residenc		
(Finished + Unf	inished square	ng Floor Area: feet including ge if attached.)	N/A sq. ft.	Deconstruction:	N/A sq. ft.
Are new floor area	•				
Yes (include th	e new floor are	a square footag	ge in the table l	below)	
	loor Area (Nev	v Construction	Only)		
	Finished	Unfinished	Total		
Basement:	N/A sq. ft.	N/A sq. ft.	N/A sq.ft.	Height (above existing grade)	29'-6"
First Floor:	2095 _{sq. ft.}	sq. ft.	2095 sq. ft.	Exterior Wall Material	WOOD & STONE
Second Floor:	1587 _{sq. ft.}	sq. ft.	1587 _{sq.ft.}	Exterior Wall Color	GREY TONES
Garage:	862 _{sq. ft.}	sq. ft.	862 _{sq. ft.}	Roofing Material	METAL
Covered Deck:	1462 _{sq. ft.}	sq. ft.	1462 _{sq.ft.}	Roofing Color	CHARCOAL
Total:	4544 sq. ft.	sq. ft.	4544 sq. ft.	Total Bedrooms	4

Structure #2 Information

Type of Structure: (e.g. residence, studio, barn, etc.)					
(Finished + Unfi	Total Existing Floor Area: (Finished + Unfinished square feet including				
(je if attached.)	Deconstruction:	sq.ft.	
Are new floor area	s being propo	sed where den	nolition will oc	cur?	
Yes (include the	e new floor are	a square foota	ge in the table l	oelow)	
☐ No					
Proposed F	loor Area (Nev	v Construction	Only)		
	Finished	Unfinished	Total		
				Height	
Basement:	sq. ft.	sq. ft.	sq. ft.	(above existing grade)	
First Floor:	sq. ft.	sq. ft.	sq. ft.	Exterior Wall Material	
1113(11001.	34.11.	34.11.	34.11.	waniwaterial	
				Exterior	
Second Floor:	sq. ft.	sq. ft.	sq. ft.	Wall Color	
Garage:				Roofing	
☐ Detached☐ Attached☐	sq. ft.	sq. ft.	sq. ft.	Material	
Covered Deck:	sq. ft.	sq. ft.	sq. ft.	Roofing Color	
Covered Deck.	sq. it.	Sq.1t.	Sq.1t.	Color	
Total:	sq. ft.	sq. ft.	sq. ft.	Total Bedrooms	

Grading Calculation

Cut and fill calculations are necessary to evaluate the disturbance of a project and to verify whether or not a Limited Impact Special Review is required. Limited Impact Special Review is required when grading for a project involves more than 500 cubic yards (minus normal cut/fill and backfill contained within the foundation footprint).

If grading totals are close to the 500 yard trigger, additional information may be required, such as a grading plan stamped by a Colorado Registered Professional Engineer.

Earth Work and Grading

This worksheet is to help you accurately determine the amount of grading for the property in accordance with the Boulder County Land Use Code. Please fill in all applicable boxes.

Note: Applicant(s) must fill in the shaded boxes even though foundation work does not contribute toward the 500 cubic yard trigger requiring Limited Impact Special Use Review. Also, all areas of earthwork must be represented on the site plan.

Earth Work and Grading Worksheet:

	Cut	Fill	Subtotal	
Driveway and Parking Areas	1432 CY	780 CY	1947 CY	
Berm(s)	0 CY	0 CY	0 CY	
Other Grading	0 CY	0 CY	0 CY	
Subtotal	1432 CY	780 CY	1947 CY	
* If the total in Box 1 is greater than 500 cubic yards, then a Limited Impact Special Review is required.				
	Cut	Fill	Total	
Foundation	719 CY	6 CY	725 CY	
	719 CY			

Excess Material will be Transported to the Following Location: 07/15/2024

Excess Materials Transport Location:
Excess material will be transported to an approved local site to be
determined by the project contractor at time of construction.

Narrative

Use this space to describe any special circumstances that you feel the Land Use Office should be aware of when reviewing your application, including discussion regarding any factors (listed in Article 4-806.2.b.i) used to demonstrate that the presumptive size limitation does not adequately address the size compatibility of the proposed development with the defined neighborhood. If more room is needed, feel free to attach a separate sheet.			

Is Your Property Gated and Locked?

Note: If county personnel cannot access the property, then it could cause delays in reviewing your application.

Certification

I certify that the information submitted is complete and correct. I agree to clearly identify the property (if not already addressed) and stake the location of the improvements on the site within four days of submitting this application. I understand that the intent of the Site Plan Review process is to address the impacts of location and type of structures, and that modifications may be required. Site work will not be done prior to issuance of a Grading or Building Permit.

Signature	Print Name	Date



July 22, 2024
Boulder County Land Use Department
P.O. Box 471
Boulder, Colorado 80306

Re: Lot 4, Whisper Mountain Ranch – Narrative – SPR & LISR

Whisper Mountain Homestead

Michela Bernardi Seppi and her husband, Andy Seppi, the Owners of Tract 4 - Whisper Mountain Ranch, seek to build a new residence referred to as the *Whisper Mountain Homestead* in west Boulder County. This proposal aims to create a visually compatible and environmentally sensitive single -family residence well integrated into this unique mountain property.

Site & Access – The 35.79 acre property is in unincorporated west Boulder County approximately 1.5 miles west of Gold Hill on Gold Hill Road. Natural and environmental features that define the site are a steep, south facing hillside with scattered rock outcroppings and several stands of Ponderosa pines and Aspen groves. At the top of the property, the area levels off into a small alpine meadow surrounded by a mixture of aspen and pine forests. Ultimately, the land drops steeply off to the north into Left Hand Canyon. The north property line of the lot abuts heavily forested US Forest Service land that slopes steeply down to the north down into Left Hand Canyon. The property is undeveloped and will be accessed off Gold Hill Road.

Site Analysis – The clients have tasked Birch Ecology with creating a comprehensive *Ecological Assessment* (see Appendix 1) of their property and collaborating with their architects, Sopher Sparn Architects, and the civil engineering firm, The Hager Company. The team's primary goal was to survey the property and identify the building site with the least environmental impact on their property while adhering to Boulder County Land Use Review Criteria. By combining the site ecological data with civil engineering slope analysis and road engineering details, we have identified what the team considers the building site location which creates the least disturbance to the land for our client's new home.

The team conducted thorough evaluations over several site visits during early spring and summer to assess the property under various climatic conditions, ranging from deep snow to summer weather. The objective was to view climatic conditions, topography as well as observe and identify the plant and tree species thriving in different seasons. In the early stages of the evaluation process, the team identified two potential building sites for the new residence (See fig. 15 - Ecological Assessment), one on the south face and one on the northern part of the property. These sites were chosen based on several factors, including solar exposure, views, access potential, driveway alignment and environmental impact. As the evaluation process continued, it became evident that one site was emerging as a clear choice.

Site 1, North Site – Site 1 is located on the north side of the property just over the high point ridge of the property. This specific site location was chosen because of its remote location, relatively flat topography and substantially less disturbance requirements based on the Ecological Assessment created

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by Birch Ecology. The specific building site chosen was based on the *ecological mapping* of the upper meadow to respect sensitive plants and wildlife habitats and by its complete privacy from any other building, road or open space (See fig. 14 - Ecological Assessment). Accessing this site requires approximately 900' of an excavated roadway.

Site 2, South Face –This site was analyzed because of its closer proximity to Gold Hill Road and the sunny exposure and great views on this south facing hillside. Accessing this site would be shorter than Site 1, however, it became evident that *any* site on the south facing hillside would result in a significant amount of disturbance to the hillside due to the steep grades which have been mapped at 35% grade (See fig.16 – Slope Analysis). This site disturbance, along with any home on the south hillside, would be visible from Gold Hill Road which was deemed a negative since Gold Hill Road is *Protected View Corridor* (VPS < 1) as mapped by Boulder County.

Design of the Residence – The house was designed with a timeless mountain aesthetic to harmonize with its beautiful surroundings. Emphasizing efficiency and minimal impact, the compact building form was carefully crafted to blend seamlessly into the landscape. By rotating the structure to complement the natural terrain and optimize mountain views, each room offers picturesque vistas. The exterior features a blend of natural Colorado stone, weathered wood siding, and a sleek dark standing seam metal roof, enhancing the home's rugged yet elegant charm. The structure will be constructed of Boulder County code compliant fire resistive construction materials.

The house is a two-story structure totaling 4,544 SF with an open floor plan containing four bedrooms, four and a half baths. It has an open kitchen, dining, and living areas, a large laundry and mud room, and a detached garage with private gym space. The ground floor has a full wrap-around porch providing sheltered outdoor spaces that can be used throughout the Spring, Summer, and Fall seasons. Additional outdoor dining and sitting areas have been strategically placed to capitalize on the captivating views of the mountains and meadows.

Road Design – The Site Access and Residence Grading, Erosion Control and Revegetation Plan (See Appendix 2) was created by Hager Engineering. The overall site topographic survey and slope study reveal that most of the site comprises slopes ranging from 25% to over 100%. An east-west ridge runs above the southerly sloped hillside area, parallel to Gold Hill Road. Building a residence, along with the necessary emergency vehicle turnaround and parking areas in these steeply sloped regions, would require substantial soil disturbance, extensive earthwork, and the construction of retaining walls. Moreover, establishing a new home and turnaround in this area would result in significant visual impacts along Gold Hill Road.

The design of the driveway access to the preferred site aims to minimize earthwork and disturbances to the existing native grass hillsides, evergreen trees, and aspen meadows. The entrance location ultimately chosen was on the straight section of the road to provide safe road visibility, lack of vegetation and a less steep slope. The section of the driveway from Gold Hill Road to the ridge has been designed to be as short as possible while still meeting the Boulder County Multimodal Transportation Standards for maximum access drive slopes, widths, and centerline radius requirements.

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Furthermore, the driveway alignment is intended to decrease headlight pollution by reducing the amount of light that may spill towards the neighbor's home. Any boulders unearthed during driveway construction will be repurposed to create natural rock slopes and native landscape terracing along the driveway. The volumes of earthwork have been minimized to the best extent possible within the current design of the home and driveway.

RESPONSE TO SITE PLAN REVIEW STANDARDS - ARTICLE 4-806

The following discussion addresses the relevant criteria in Article 4-806 used to determine the compatibility of the proposed development within the defined neighborhood.

Defined Neighborhood – The defined neighborhood is the area within 1,500 feet from this parcel as identified in the Preliminary Size Analysis prepared on 2/27/2024 provide by Boulder County.

Size of Development - The PSM for this property is 5,310 sf calculated by Boulder County on 2/27/24. This SPR Application seeks approval to construct a 4,544 sf residence/garage with a maximum height of 29'-6" which is less than the PSM for this property.

Visibility of Proposed Development – The proposed residence is located on the north side of the property, behind a low ridge in a relatively flat meadow, that will not be visible from Gold Hill Road nor any other properties in the defined neighborhood, public roads or open space. The specific building site chosen was based on the ecological mapping (see Fig. 14. *Ecological Assessment*) of the upper meadow to respect sensitive plants and wildlife habitats, and by its complete privacy from any other building, road or open space.

Public Services and Infrastructure – The proposed residence, located on this 35.79 acre parcel will be provided water by a legally approved and drilled residential well system authorized by the Division of Water Resources (DWR) through the State of Colorado. The Onsite Wastewater Treatment System (OWTS) Treatment will be design by a licensed engineer to comply with the Boulder County Health Departments OWTS requirements at the location shown on our proposed site plan. And lastly, electrical power will be provided by Xcel Energy currently located along Gold Hill Road and provided to the building site by an excavated underground trench brought up in the new road serving to the building site.

Natural Hazards – The building site is not in an area identified in a Geological Hazard & Constraint Areas Map. The residence is being located on the property in an area free of natural hazards. It is in a geological stable area of decomposed granite and is not in any flood-prone areas.

Wildfire Risk - The property is in Fire Zone #1 per the Boulder County Wildfire Zone Map. Therefore, all exterior building materials will be ignition-resistant construction or better. Additionally, adequate defensible space will be created to prevent the spread of fire to and from the structure.

Grading and Drainage – All aspects of the grading and drainage have been engineered by our civil engineer, The Hager Company to not alter any historic drainage patters and flow rates (see *Site Access*

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and Residence Grading, Erosion Control and Revegetation Plan, Appendix 2 and Road Design above). The access road to the building site and the area surrounding the building are engineered meet all the Boulder County Storm Drainage Criteria Manual. Please see our LISR submission for a detailed report on the grading and drainage along with road cross sections.

Ecological Impact – We have retained Birch Ecology, LLC to prepare a Site Assessment to help us determine the best location for the access road as well as the actual building site. We have located the residence in the area where we believe it will have the least impacts on plant communities, wildlife habitat and migration corridors. Please see detailed report.

Historic or Archaeological Resources – This property is not located on or near any historic or archaeological areas per the Comprehensive Plan or the Historic Sites Survey.

Visual Impact on the Natural Features and Neighborhood Character – To assure the least ecologic impact on this property, we retained Birch Ecology to conduct an ecological survey (see Ecological Assessment – Appendix 1) to inform us how best to locate the residence on the property with least impact. The goal of the report is to locate the road and building site to assure that the development will not result in an over-intensive use or excessive depletion of natural resources. As discussed above, the building site has complete privacy from any other building, road or open space.

Compatibility with the Natural Topography – See *Site Analysis* & *Road Design* discussion above and the Site Access and Residence Grading, Erosion Control and Revegetation Plan – Appendix 2.

RESPONSE TO LIMITED IMPACT SPECIAL USE REVIEW STANDARDS - ARTICLE 4-601 (A1 - A13)

- A1 **Zoning Requirements** The 35.79 acre property is zoned as a Forestry Use and a single-family residence is an allowed use.
- A2 **Compatibility with Surrounding Areas** The single-family home is compatible with the surrounding area. The location cannot be seen from Gold Hill Road or any neighbor. The structure itself, including size, height, massing and location all strive to minimize site disturbance and impact to the property.
- A3 **Consistent with the Comprehensive Plan** A residential use in this forestry zone is consistent with the Comprehensive Plan.
- A4 **Use of Land and Natural Resources** See written SPR statements above and the *Ecological Assessment* Appendix 1 and the *Site Access and Residence Grading, Erosion Control and Revegetation Plan* Appendix 2 for a detailed discussion.
- A5 Not applicable given the scope of the project.
- A6 Not applicable given the scope of the project.
- A7 Not applicable given the scope of the project.

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A8 – Not applicable given the scope of the project.

A9 – **Mitigation of Undue Visual Impacts of Use** – The visual impact of this residence has been carefully considered in our detailed site analysis. The road entrance off Gold Hill Road has been located to provide the lease cut and fill possible and will be restored and revegetated in a sensitive manner with native plants and rock retaining walls. The continuation of the road has been carefully located to not allow any vehicle lights to shine into the neighboring property to the east.

A10 – Not applicable given the scope of the project.

A11 – Minimizing the Consumption of Energy, Materials, Water, Land – The proposed residence is an allowed use in this zone and is planned on being a net-zero energy efficient home.

A12 – Not applicable given the scope of the project.

A13 – **Proposed Use Shall Not Alter Historic Drainage Patterns** - The proposed development will not alter the historic drainage patterns or flow rates onto any adjoining property. The road was carefully designed to meet Boulder County. Storm Drainage Criteria. Every effort was utilized into minimizing the grading and drainage impact of the road leading to the proposed home. See *Site Analysis* & *Road Design* discussion above and the *Residence Grading, Erosion Control and Revegetation Plan* – Appendix 2, for a detailed discussion.

We respectfully request that Boulder County approve this Site Plan Review and Limited Impact Special Review.

END OF STATEMENT

Sincerely,

SOPHER SPARN ARCHITECTS, LLC

Stephen Sparn, AIA Principal Architect

Enclosures

cc: Michela Bernardi Seppi & Andy Seppi

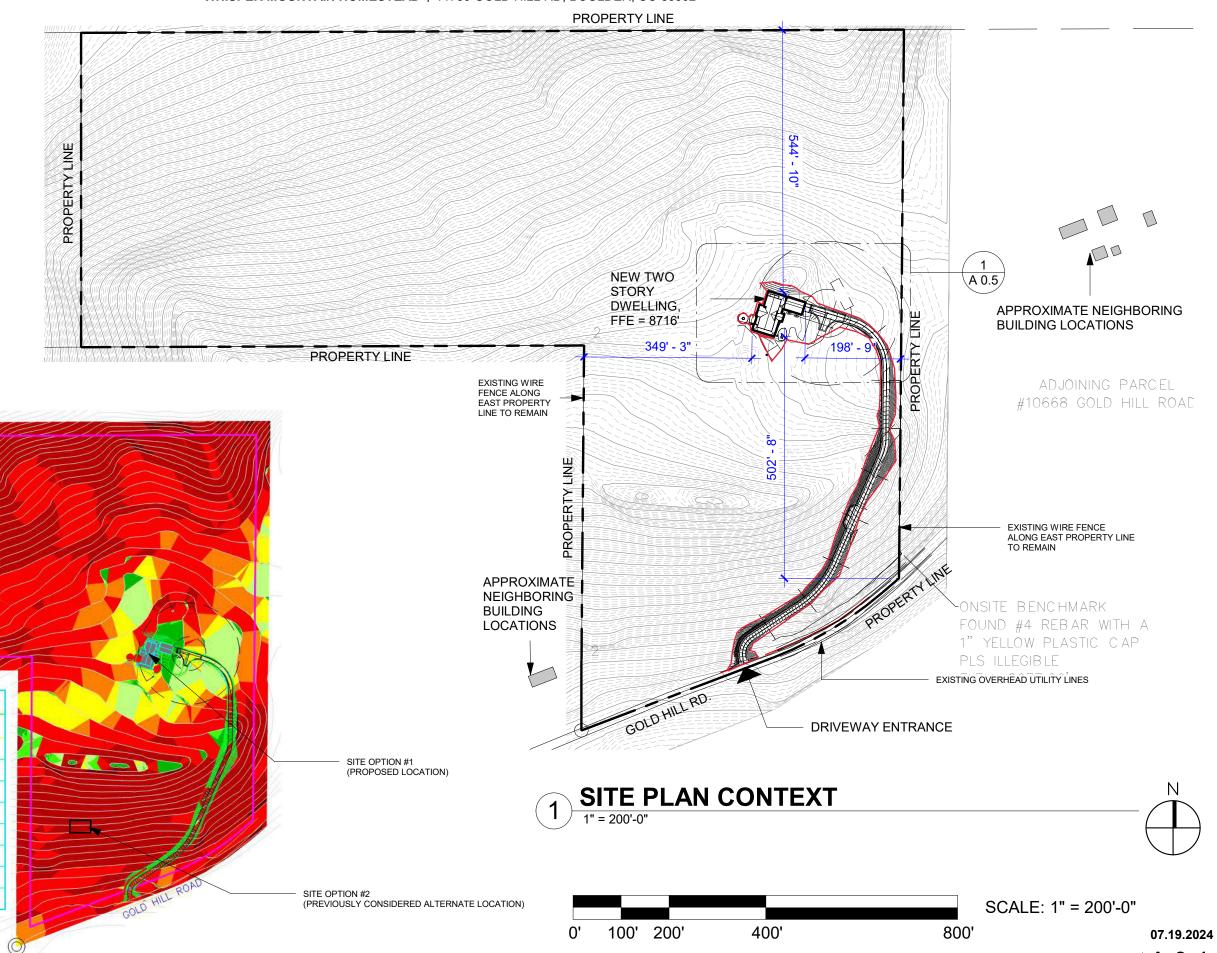


RENDERING IS PROVIDED FOR ILLUSTRATIVE PURPOSES AND DOES NOT CONSTITUTE THE FINAL LANDSCAPE DESIGN PER WILDFIRE PARTNERS

WHISPER MOUNTAIN HOMESTEAD

07.19.2024

WHISPER MOUNTAIN HOMESTEAD | 11780 GOLD HILL RD, BOULDER, CO 80302



SITE PLAN |A 0.4|

Slopes Table

Minimum Slope Maximum Slope

2.00%

4.00%

6.00%

8.00%

10.00%

20.00%

45.00%

100.00%

0.00%

2.01%

4.01%

6.01%

8.01%

10.01%

20.01%

45.01%

ARCHITECTS LLC

SOPHERSPARN

Color

Number

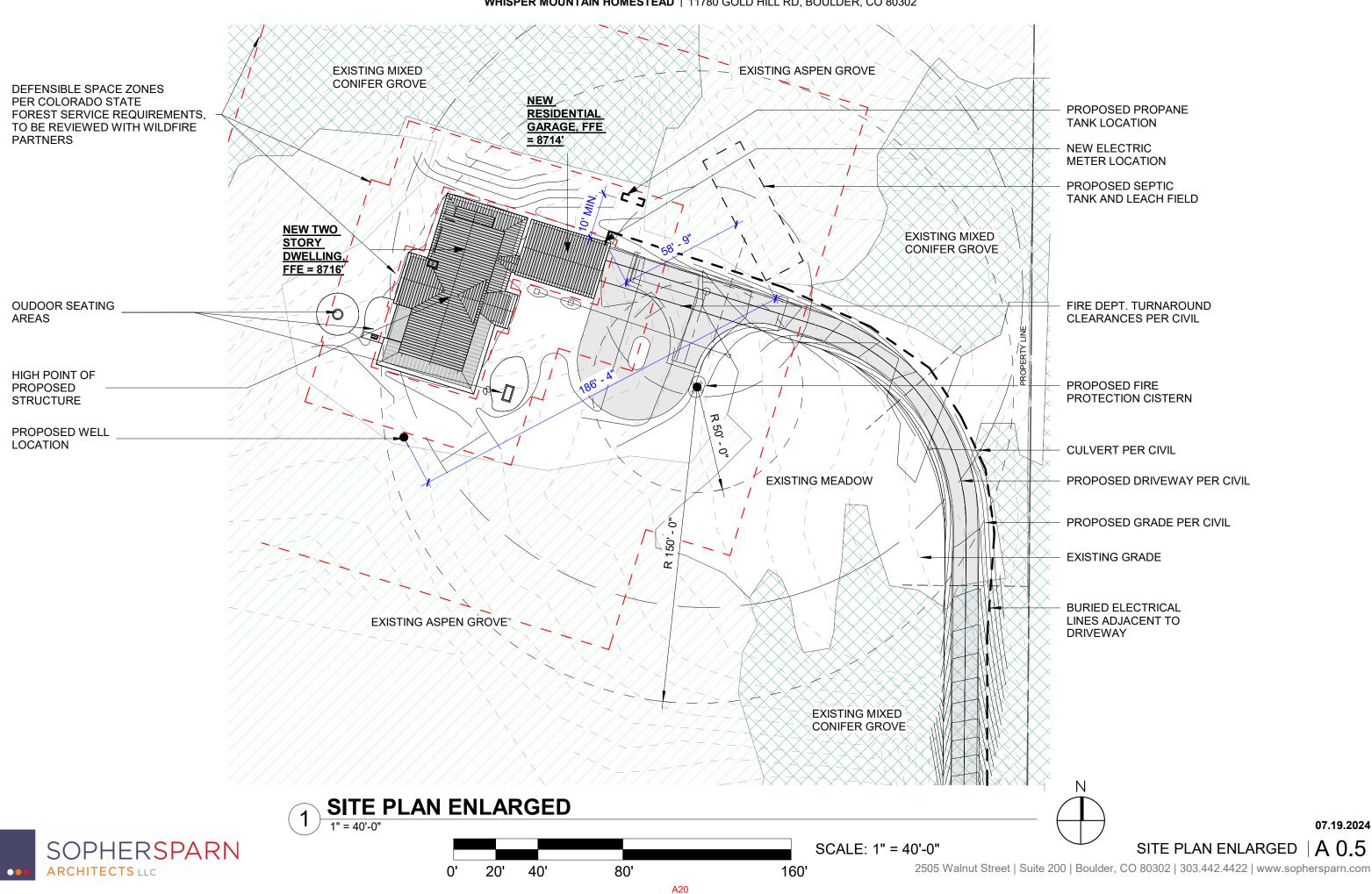
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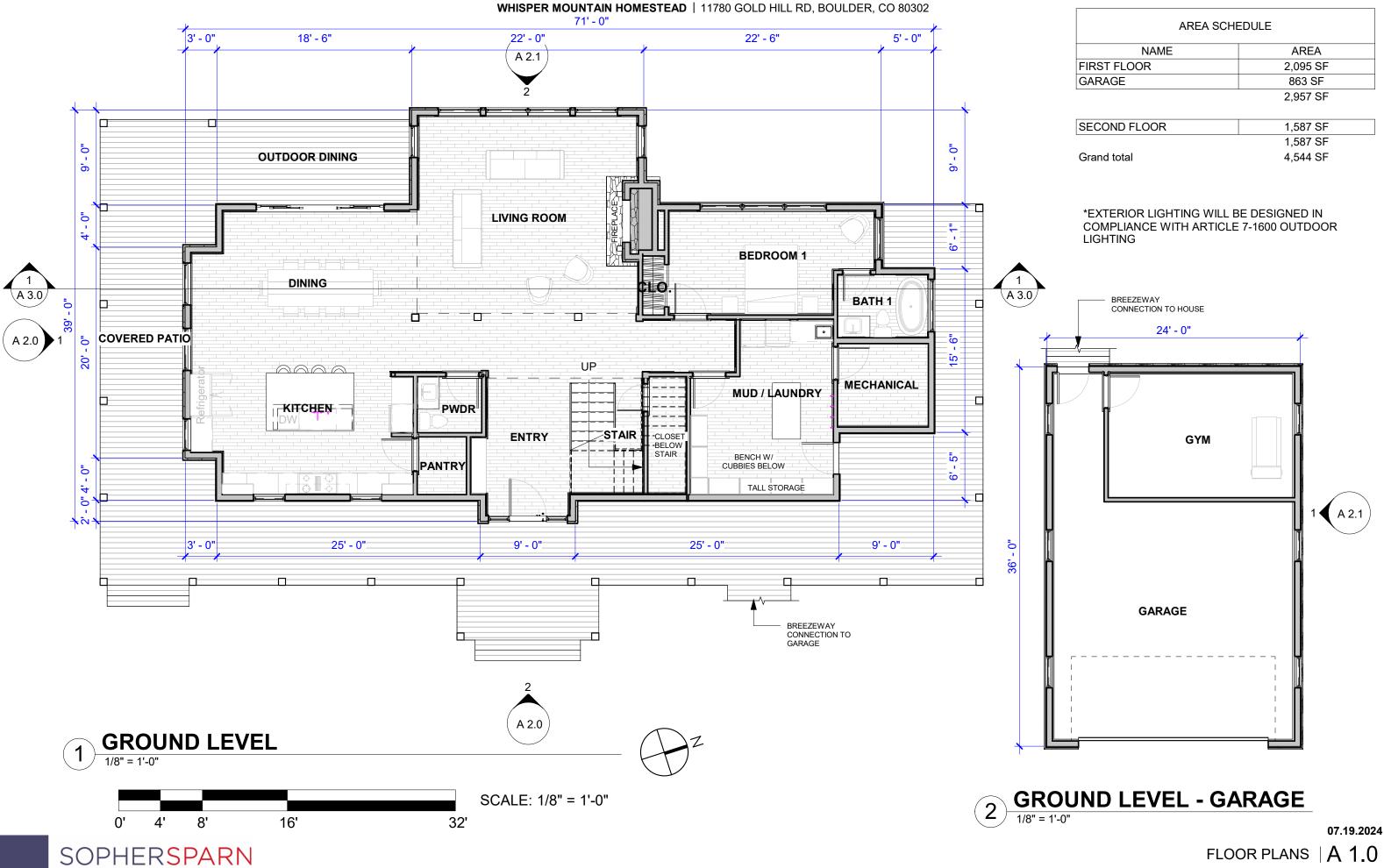
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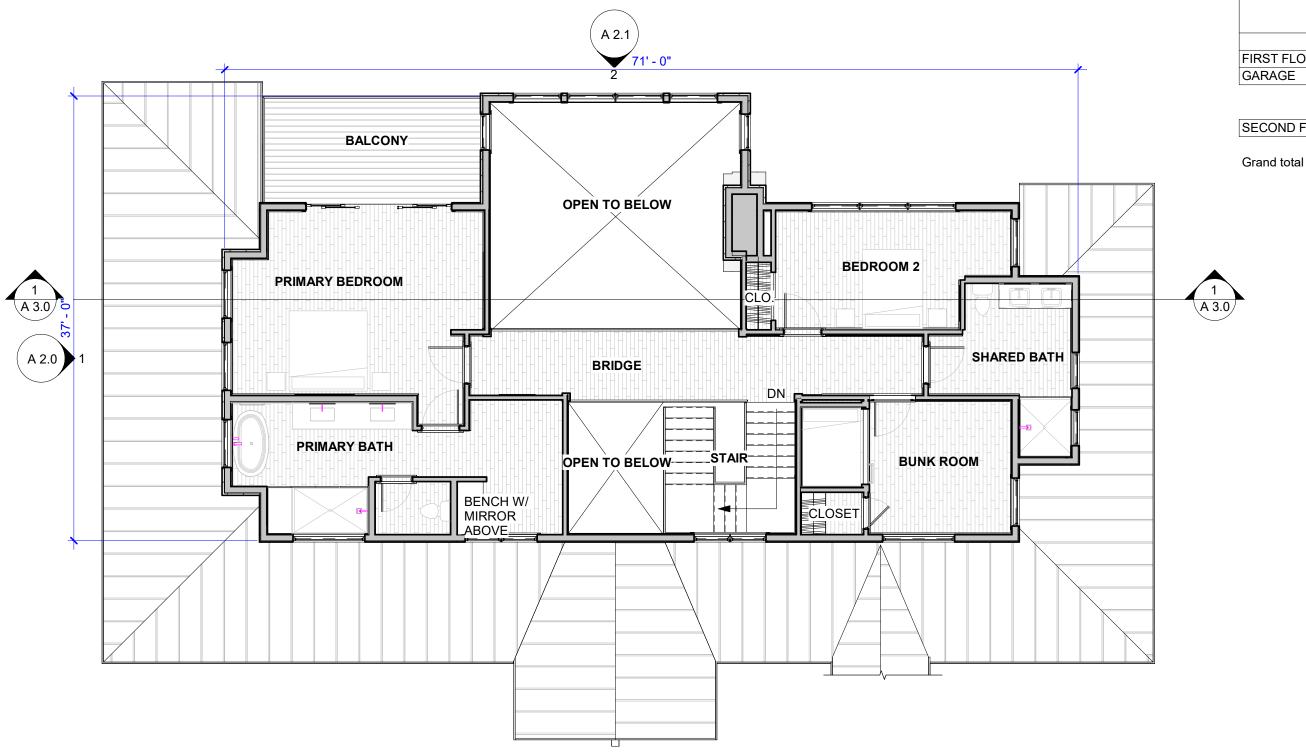
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ARCHITECTS LLC

4,544 SF

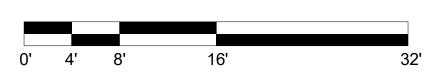


AREA SCI	HEDULE
NAME	AREA
FIRST FLOOR	2,095 SF
GARAGE	863 SF
	2,957 SF
SECOND FLOOR	1,587 SF
	1,587 SF

1 SECOND LEVEL

ARCHITECTS LLC

SOPHERSPARN



SCALE: 1/8" = 1'-0"



*EXTERIOR LIGHTING WILL BE DESIGNED IN COMPLIANCE WITH ARTICLE 7-1600 OUTDOOR LIGHTING

07.19.2024

FLOOR PLANS | A 1.1



WHISPER MOUNTAIN HOMESTEAD | 11780 GOLD HILL RD, BOULDER, CO 80302





*EXTERIOR LIGHTING WILL BE DESIGNED IN COMPLIANCE WITH ARTICLE 7-1600 OUTDOOR LIGHTING



PROPOSED GRADE

8727' - 1"

04.29.2024

ELEVATIONS | A 2.0

SCALE: 1" = 10'-0"

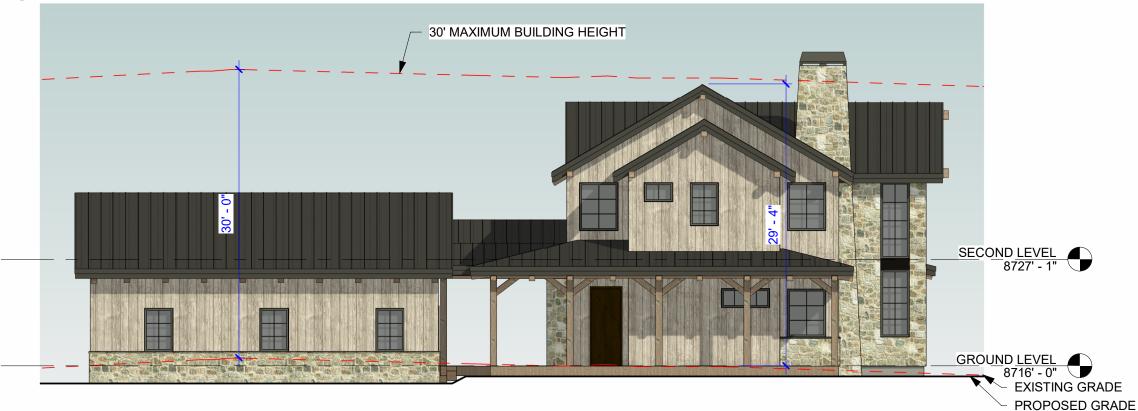
20'

10'





*EXTERIOR LIGHTING WILL BE DESIGNED IN COMPLIANCE WITH ARTICLE 7-1600 OUTDOOR LIGHTING



1 RIGHT ELEVATION





SCALE: 1" = 10'-0"

07.19.2024
ELEVATIONS | A 2.1

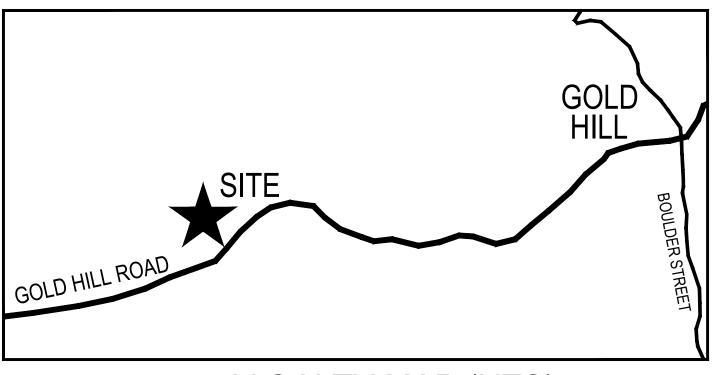
2505 Walnut Street | Suite 200 | Boulder, CO 80302 | 303.442.4422 | www.sophersparn.com

WHISPER MOUNTAIN RANCH LOT 4

11780 GOLD HILL ROAD, BOULDER, COLORADO

SITE ACCESS & RESIDENCE

GRADING, EROSION CONTROL & REVEGETATION PLANS



VICINITY MAP (NTS)

SHEET INDEX

C0.0 COVER SHEET
C1.0 GRADING, REVEGETATION & EROSION CONTROL PLAN - SOUTH
C1.1 GRADING, REVEGETATION & EROSION CONTROL PLAN - NORTH
C1.2 DRIVEWAY PROFILE
C1.3 DRIVEWAY SECTIONS

GENERAL NOTES:

1. ALL MATERIALS AND WORKMANSHIP SHALL BE IN CONFORMANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF THE BOULDER COUNTY, COLORADO DEPARTMENT OF TRANSPORTATION, LOCAL FIRE AUTHORITY, AND APPLICABLE STATE AND LOCAL STANDARDS AND SPECIFICATIONS. THE CONTRACTOR SHALL HAVE IN POSSESSION AT THE JOB SITE AT ALL TIMES ONE (1) SIGNED COPY OF APPROVED PLANS, STANDARDS AND SPECIFICATIONS. CONTRACTOR SHALL CONSTRUCT AND MAINTAIN EMERGENCY ACCESS ROUTES TO THE SITE AND STRUCTURE AT ALL TIMES PER THE APPLICABLE FIRE DISTRICT REQUIREMENTS. THE CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FOR ANY VARIANCE TO THE ABOVE DOCUMENTS. NOTIFY OWNER AND ENGINEER OF ANY CONFLICTING STANDARDS OR SPECIFICATIONS. IN THE EVENT OF ANY CONFLICTING STANDARD OR SPECIFICATION, THE MORE STRINGENT OR HIGHER QUALITY STANDARD, DETAIL OR SPECIFICATION

2. THE CONTRACTOR SHALL OBTAIN, AT HIS OWN EXPENSE, ALL APPLICABLE CODES, LICENSES, STANDARD SPECIFICATIONS, PERMITS, BONDS, ETC., WHICH ARE NECESSARY TO PERFORM THE PROPOSED WORK, INCLUDING, BUT NOT LIMITED TO A LOCAL AND STATE GROUNDWATER DISCHARGE AND COLORADO DEPARTMENT OF HEALTH AND ENVIRONMENT (CDPHE) STORMWATER DISCHARGE PERMIT ASSOCIATED WITH CONSTRUCTION ACTIVITY.

3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE REQUIRED PARTY (OWNER, OWNER'S REPRESENTATIVE, MUNICIPAL/DISTRICT INSPECTOR, GEOTECHNICAL ENGINEER, ENGINEER AND/OR UTILITY OWNER) AT LEAST 48 HOURS PRIOR TO START OF ANY CONSTRUCTION. PRIOR TO BACKFILLING, AND AS REQUIRED BY JURISDICTIONAL AUTHORITY AND/OR PROJECT SPECIFICATIONS. THE CONTRACTOR SHALL CONTINUE WITH NOTIFICATIONS THROUGHOUT THE PROJECT AS REQUIRED BY THE STANDARDS AND SPECIFICATIONS.

4. THE LOCATIONS OF EXISTING UTILITIES ARE SHOWN IN THE APPROXIMATE LOCATION BASED ON INFORMATION BY OTHERS. NOT ALL UTILITIES MAY BE SHOWN. THE CONTRACTOR SHALL DETERMINE THE EXACT SIZE, LOCATION AND TYPE OF ALL EXISTING UTILITIES WHETHER SHOWN OR NOT BEFORE COMMENCING WORK. THE CONTRACTOR SHALL BE FULLY AND SOLELY RESPONSIBLE FOR ANY AND ALL DAMAGES AND COSTS WHICH MIGHT OCCUR BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES. THE CONTRACTOR SHALL NOTIFY ALL PUBLIC AND PRIVATE UTILITY COMPANIES AND DETERMINE THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO PROCEEDING WITH GRADING AND CONSTRUCTION. ALL WORK PERFORMED IN THE AREA OF UTILITIES SHALL BE PERFORMED AND INSPECTED ACCORDING TO THE REQUIREMENTS OF THE UTILITY OWNER. LIKEWISE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND MAPPING ANY EXISTING UTILITY (INCLUDING DEPTH) WHICH MAY CONFLICT WITH THE PROPOSED CONSTRUCTION, AND FOR RELOCATING ENCOUNTERED UTILITIES AS DIRECTED BY THE ENGINEER. CONTRACTOR SHALL CONTACT AND RECEIVE APPROVAL FROM TOWN OF ERIE, UTILITY OWNER AND ENGINEER BEFORE RELOCATING ANY ENCOUNTERED UTILITIES. CONTRACTOR RESPONSIBLE FOR SERVICE CONNECTIONS, AND RELOCATING AND RECONNECTING AFFECTED UTILITIES AS COORDINATED WITH UTILITY OWNER AND/OR ENGINEER, INCLUDING NON-MUNICIPAL UTILITIES (TELEPHONE, GAS, CABLE, ETC., WHICH SHALL BE COORDINATED WITH THE UTILITY OWNER). THE CONTRACTOR SHALL IMMEDIATELY CONTACT ENGINEER UPON DISCOVERY OF A UTILITY DISCREPANCY OR CONFLICT. AT LEAST 48 HOURS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE UTILITY NOTIFICATION CENTER OF COLORADO (1-800-922-1987, WWW.UNCC.ORG).

5. THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS AT AND ADJACENT TO THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING THE PERFORMANCE OF THE WORK. THE CONTRACTOR SHALL PREPARE A TRAFFIC CONTROL PLAN FOR OWNER AND/OR TOWN APPROVAL AND PROVIDE ALL LIGHTS, SIGNS, BARRICADES, FENCING, FLAGMEN OR OTHER DEVICES NECESSARY TO PROVIDE FOR PUBLIC SAFETY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR AGREES TO COMPLY WITH THE PROVISIONS OF THE TRAFFIC CONTROL PLAN AND THE LATEST EDITION OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES," PART VI, FOR CONSTRUCTION SIGNAGE AND TRAFFIC CONTROL. ALL TEMPORARY AND PERMANENT TRAFFIC SIGNS SHALL COMPLY TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) WITH REGARD TO SIGN SHAPE, COLOR, SIZE, LETTERING, ETC. UNLESS OTHERWISE SPECIFIED. IF APPLICABLE, PART NUMBERS ON SIGNAGE DETAILS REFER TO MUTCD SIGN NUMBERS.

6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ANY GROUNDWATER ENCOUNTERED DURING THE CONSTRUCTION OF ANY PORTION OF THIS PROJECT. GROUNDWATER SHALL BE PUMPED, PIPED, REMOVED AND DISPOSED OF IN A MANNER WHICH DOES NOT CAUSE FLOODING OF EXISTING STREETS NOR EROSION ON ABUTTING PROPERTIES IN ORDER TO CONSTRUCT THE IMPROVEMENTS SHOWN ON THESE PLANS. CONTINUOUS AND POINT DISCHARGE OF STORM FLOWS AND GROUNDWATER TO NEIGHBORING PROPERTIES IS NOT PERMITTED.

7. THE EXISTING AND PROPOSED ELEVATIONS OF SLOPES, FLATWORK, SIDEWALKS, CURBS, PAVING, ETC. AS SHOWN HEREON ARE BASED ON EXTRAPOLATION OF FIELD SURVEY DATA AND EXISTING CONDITIONS. AT CRITICAL AREAS AND SITE FEATURES, CONTRACTOR SHALL HAVE FORMWORK INSPECTED AND APPROVED BY OWNER, OWNER'S REPRESENTATIVE, OR ENGINEER PRIOR TO PLACING CONCRETE. MINOR ADJUSTMENTS, AS APPROVED, TO PROPOSED GRADES, INVERTS, ETC. MAY BE REQUIRED TO PREVENT PONDING OR SLOPE NOT IN CONFORMANCE WITH MUNICIPAL STANDARDS. ALL FLATWORK MUST PREVENT PONDING AND PROVIDE POSITIVE DRAINAGE AWAY FROM EXISTING AND PROPOSED BUILDINGS, WALLS, ROOF DRAIN OUTFALLS, ACROSS DRIVES AND WALKS, ETC., TOWARDS THE PROPOSED INTENDED DRAINAGE FEATURES AND CONVEYANCES.

8. ANY EXISTING MONITORING WELLS, CLEANOUTS, VALVE BOXES, ETC. TO BE PROTECTED AND TO REMAIN IN SERVICE. IF FEATURES EXIST, EXTEND OR LOWER TO FINAL SURFACE WITH LIKE KIND CAP WITH STANDARD CAST ACCESS LID WITH SAME MARKINGS. IN LANDSCAPED AREAS PROVIDE A CONCRETE COLLAR (18"x18"x6" THICK) AT ALL EXISTING AND PROPOSED MONITORING WELLS, CLEANOUTS, VALVE BOXES,

9. ALL SURPLUS MATERIALS, TOOLS, AND TEMPORARY STRUCTURES, FURNISHED BY THE CONTRACTOR, SHALL BE REMOVED FROM THE PROJECT SITE BY THE CONTRACTOR. ALL DEBRIS AND RUBBISH CAUSED BY THE OPERATIONS OF THE CONTRACTOR SHALL BE REMOVE AND THE AREA OCCUPIED DURING CONSTRUCTION ACTIVITIES SHALL BE RESTORED TO ITS ORIGINAL CONDITION, WITHIN 48 HOURS OF PROJECT COMPLETION, UNLESS OTHERWISE DIRECTED BY THE MUNICIPALITY OR OWNER'S REPRESENTATIVE.

SITE DETAILS

10. THE CONTRACTOR IS REQUIRED TO PROVIDE AND MAINTAIN EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH THE LOCAL JURISDICTION, THE STATE OF COLORADO, URBAN DRAINAGE AND FLOOD CONTROL DISTRICT "URBAN STORM DRAINAGE CRITERIA MANUAL VOLUME 3", THE M-STANDARD PLANS OF THE COLORADO DEPARTMENT OF TRANSPORTATION, AND THE APPROVED EROSION CONTROL PLAN. JURISDICTIONAL AUTHORITY MAY REQUIRE THE CONTRACTOR TO PROVIDE ADDITIONAL EROSION CONTROL MEASURES AT THE CONTRACTOR'S EXPENSE DUE TO UNFORESEEN EROSION PROBLEMS OR IF THE PLANS DO NOT FUNCTION AS INTENDED. THE CONTRACTOR IS RESPONSIBLE FOR PROHIBITING SILT AND DEBRIS LADEN RUNOFF FROM LEAVING THE SITE, AND FOR KEEPING ALL PUBLIC AREAS FREE OF MUD AND DEBRIS. THE CONTRACTOR IS RESPONSIBLE FOR RE-ESTABLISHING FINAL GRADES AND FOR REMOVING ACCUMULATED SEDIMENTATION FROM ALL AREAS INCLUDING SWALES AND DETENTION/WATER QUALITY AREAS. CONTRACTOR SHALL REMOVE TEMPORARY EROSION CONTROL MEASURES AND REPAIR AREAS AS REQUIRED AFTER VEGETATION IS AT LEAST 80% ESTABLISHED AND ACCEPTED BY OWNER AND MUNICIPALITY. COORDINATE WITH ENGINEER PLACEMENT OF PERMANENT, APPROPRIATELY—SIZED ROCK AT ALL PIPE OUTFALLS TO DISSIPATE FLOW ENERGY, REDUCE EROSION AND SPREAD FLOWS TO PROVIDE A WIDE, NATURAL SHEETFLOW TO PROPERTY OUTFALL.

11. PROTECT ALL TREES AND VEGETATION THAT ARE NOT IMPACTED BY GRADING EFFORTS. AT TOP OF SLOPE REMOVE AND DISPOSE OF TREES AND ROOTS IF GRADING IS WITHIN TREE DRIPLINE OR ROOT ZONE, AND IF SLOPE GRADING CAUSES TREES TO BE UNSTABLE IN WET AND WINDY CONDITIONS, PARTICULARLY AT AREAS NEAR EXISTING STRUCTURES AND OTHER AREAS AS COORDINATED WITH OWNER. FLAG SPECIFIC TREES FOR REMOVAL FOR OWNER TO APPROVE REMOVAL PRIOR TO CONSTRUCTION. PLACE CONSTRUCTION FENCING AT DRIPLINE OF TREES AND PLANTS NEAR THE WORK ZONE IF NEEDED TO PROHIBIT TRAFFIC WITHIN TREE DRIPLINE.

12. BENCHMARK INFORMATION: PROPERTY LINE AND TOPOGRAPHIC INFORMATION WAS PROVIDED BY ARCHITECT AND FLATIRONS SURVEYING, INC. REFER TO SURVEY FROM OWNER/ARCHITECT FOR ALL BENCHMARK AND HORIZONTAL CONTROL INFORMATION. STAKING OF SITE FEATURES SHALL BE ACCOMPLISHED USING THE ARCHITECTURAL PLANS. COORDINATE AND VERIFY ALL VERTICAL AND HORIZONTAL DATA SHOWN IN SURVEY AND REPORT ANY IRREGULARITIES OR DISCREPANCIES TO ENGINEER PRIOR TO CONSTRUCTION. UTILIZE ARCHITECTURAL PLANS FOR STRUCTURE LAYOUT.

13. THE CONTRACTOR SHALL FURNISH THE OWNER, ARCHITECT, AND ENGINEER OF RECORD A COMPLETE SET OF CONSTRUCTION RECORD DRAWINGS ("AS-BUILTS"), FOR THE CONSTRUCTED IMPROVEMENTS. THE PLANS SHALL SHOW SUFFICIENT DIMENSION TIES TO PERMANENT SURFACE FEATURES FOR ALL BURIED FACILITIES TO ALLOW FOR FUTURE LOCATING. THE PLANS SHALL SHOW FINAL PAVEMENT, FLOW LINE ELEVATIONS, CONTOURS AT POND/DRAINAGE FEATURES (AS SURVEYED AND CERTIFIED BY A COLORADO P.L.S.), MANHOLE, PIPE, AND INLET LOCATIONS, INVERTS, GRATE ELEVATIONS, SIZES OF ALL UTILITIES, AND ANY VARIATIONS FROM THE APPROVED PLAN. ENGINEER WILL PRODUCE FINAL RECORD DRAWINGS.

14. SITE FEATURES SHOWN HEREIN MAY NEED TO BE REVISED BASED ON FINAL ARCHITECTURE PLANS, LANDSCAPE ARCHITECTURE PLANS, ENCOUNTERED SITE CONDITIONS, ETC.. NOTIFY OWNER, ARCHITECT, LANDSCAPE ARCHITECT, AND CIVIL ENGINEER OF ANY ANY DISCREPANCIES AND PLAN REVISIONS PRIOR TO WORK. THESE PLANS ARE FOR GRADING, DRAINAGE AND EROSION CONTROL PURPOSES ONLY. COORDINATE DOWNSPOUT CONNECTIONS AND EXTENSION WITH OWNER AND/OR ARCHITECT, WITH WATER TIGHT CONVEYANCE EXTENSION OR PIPE SYSTEM TO MINIMUM 5' FROM BUILDING OR FURTHER AS REQUIRED BY THE PROJECT GEOTECHNICAL ENGINEER. PROHIBIT DOWNSPOUT OUTFALL TO PEDESTRIAN AREAS, PARTICULARLY ON THE NORTH SIDE OF STRUCTURES WHERE FREEZING IS LIKELY. CONTACT ENGINEER FOR ADDITIONAL SITE DOWNSPOUT PIPING PLANS AS NEEDED.

15. PROVIDE 8" EXPOSED FOUNDATION ABOVE EXTERIOR GRADES. PROVIDE 10% SLOPE AWAY FROM FOUNDATION FOR 10 FEET AS NOTED ON PLANS AND PER GEOTECHNICAL REPORT. SELECT, PLACE AND COMPACT SOIL PER REFERENCED SPECIFICATIONS AND GEOTECHNICAL REPORT. COORDINATE ALL ALL FFES, TOP FDN ELEVS, CLEARANCE UNDER DECKS, STEPS DOWN FROM THRESHOLDS, PORCHES/STOOPS/PATIOS/STEPS, WINDOW WELLS, WATERPROOFING, ETC. WITH ARCHITECT, STRUCTURAL, AND LANDSCAPE ARCHITECT PLANS PRIOR TO CONSTRUCTION

16. THESE PLANS ARE FOR GRADING, DRAINAGE AND EROSION CONTROL PURPOSES ONLY AND NOT FOR UTILITIES, GROUNDWATER REMEDIATION, BUILDING LAYOUT, SHORING AND/OR WALL DESIGN/CONSTRUCTION. SEE PLANS BY OTHERS FOR LOCATION AND LAYOUT OF SITE FEATURES, UTILITIES, ETC.. WALLS ARE SHOWN FOR ALIGNMENT, GRADING, TOP OF WALL(TW)/BOTTOM OF WALL(BW) ELEVATIONS, AND BUDGETING PURPOSES ONLY. FINAL WALL DESIGN AND ALL DETAILS RELATED TO EXCAVATION, SHORING, AND PROTECTION OF EXISTING ONSITE AND OFFSITE SLOPES/STRUCTURES TO BE PROVIDED BY OTHER GEOTECHNICAL AND SHORING ENGINEERS. COORDINATE EXCAVATION, SHORING, AND SOIL PLACEMENT SPECIFICATIONS WITH PROJECT GEOTECHNICAL ENGINEER AND SHORING/WALL DESIGNER.

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BOULDER COUNTY REGULATION MOUNTAIN SEED MIX 7,000 FEET AND ABOVE ELEVATION

COMMON NAME	SPECIES NAME	VARIETY	% OF MIX	#PLS/ACRE
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https://assets.bouldercounty.gov/wp-content/uploads/2017/03/p11-suggested-native-plants-for-horticultural-use-front-range.pdf

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(HTTPS: //MHFD.ORG/WP-CONTENT/UPLOADS/2021/01/CHAPTER-7-CONSTRUCTION-BMPS.PDF)



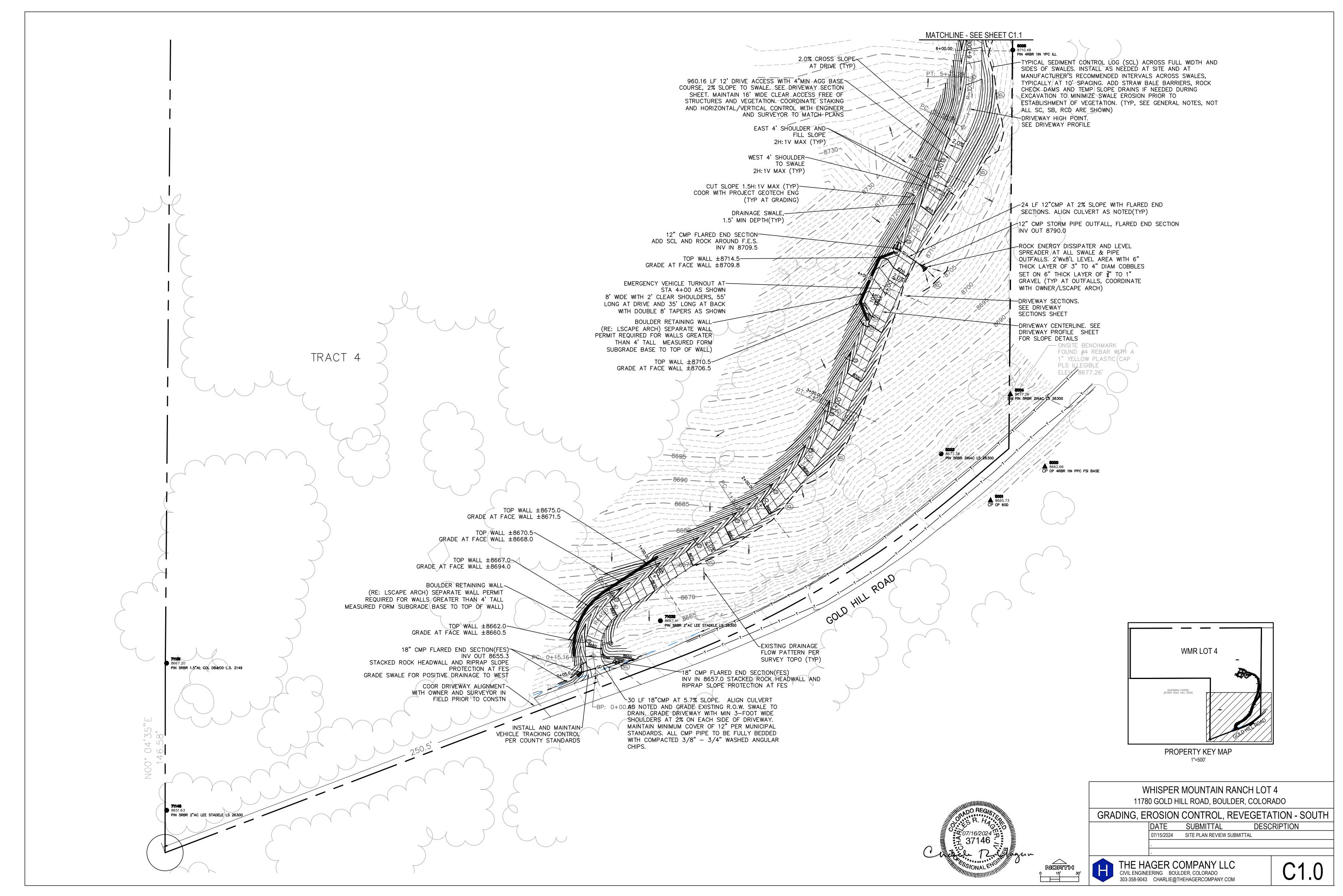
WHISPER MOUNTAIN RANCH LOT 4
11780 GOLD HILL ROAD, BOULDER, COLORADO

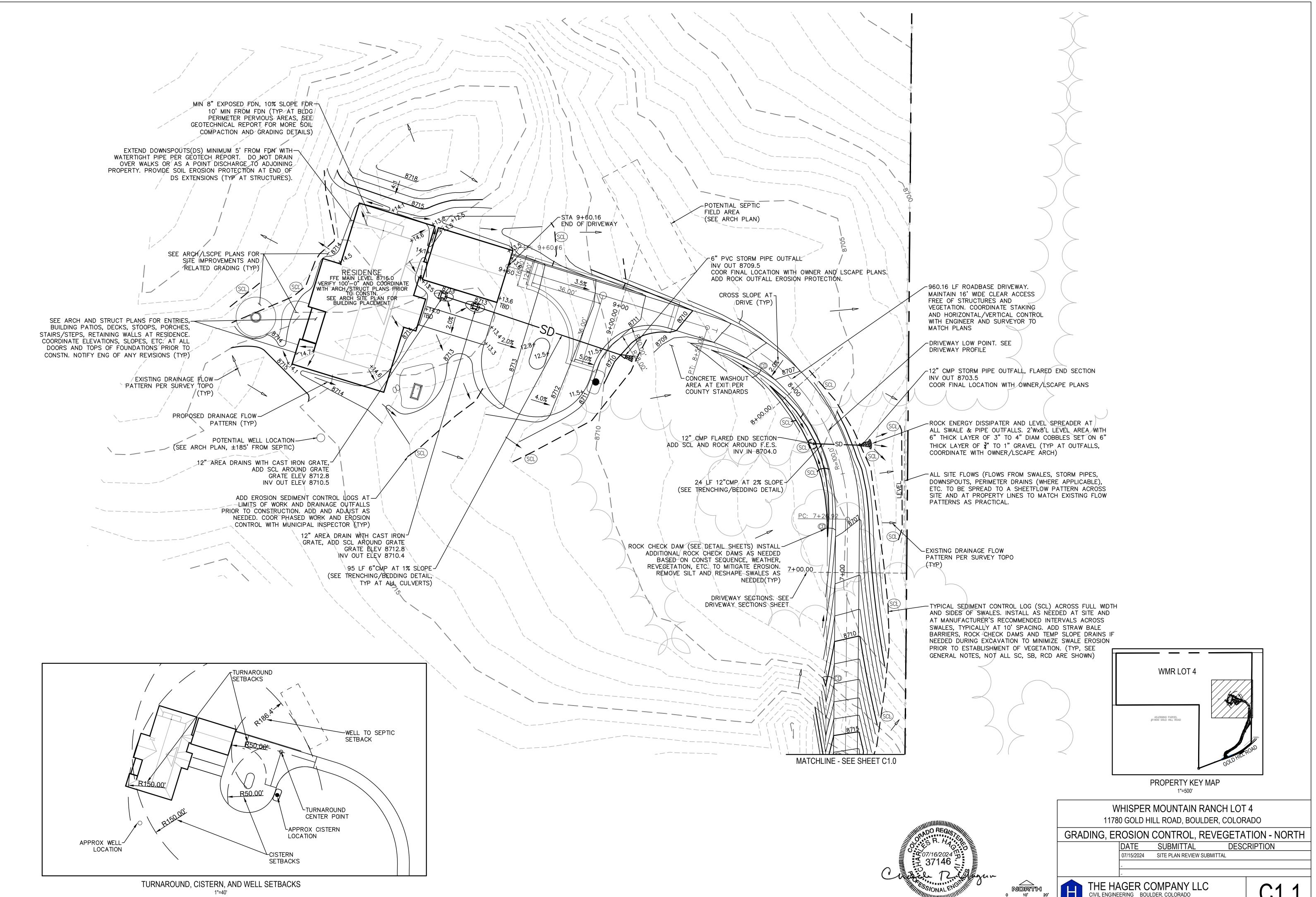
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07/15/2024 SITE PLAN REVIEW SUBMITTAL

THE HAGER COMPANY LLC

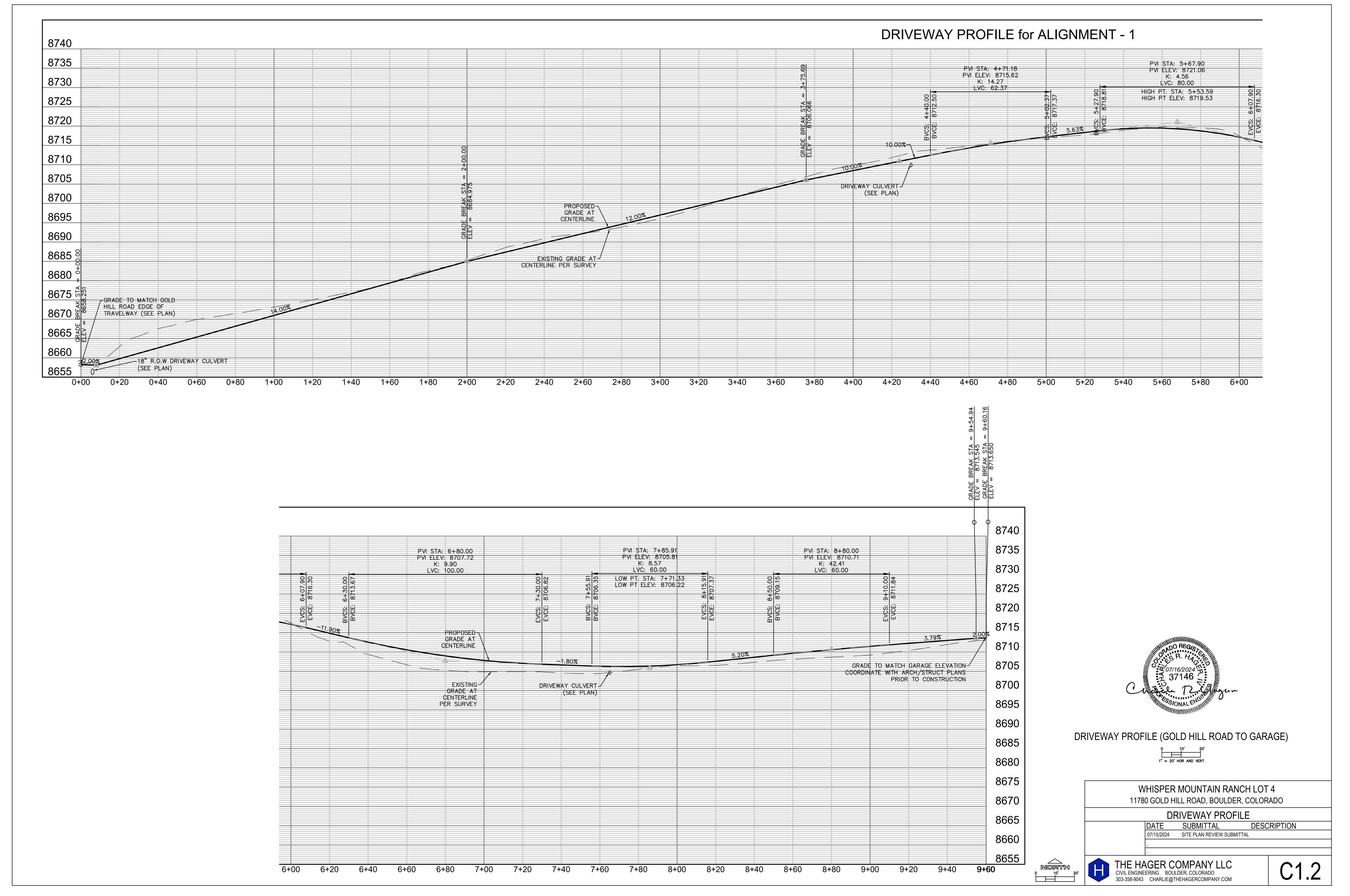
CIVIL ENGINEERING BOULDER, COLORADO 303-358-9043 CHARLIE@THEHAGERCOMPANY.COM



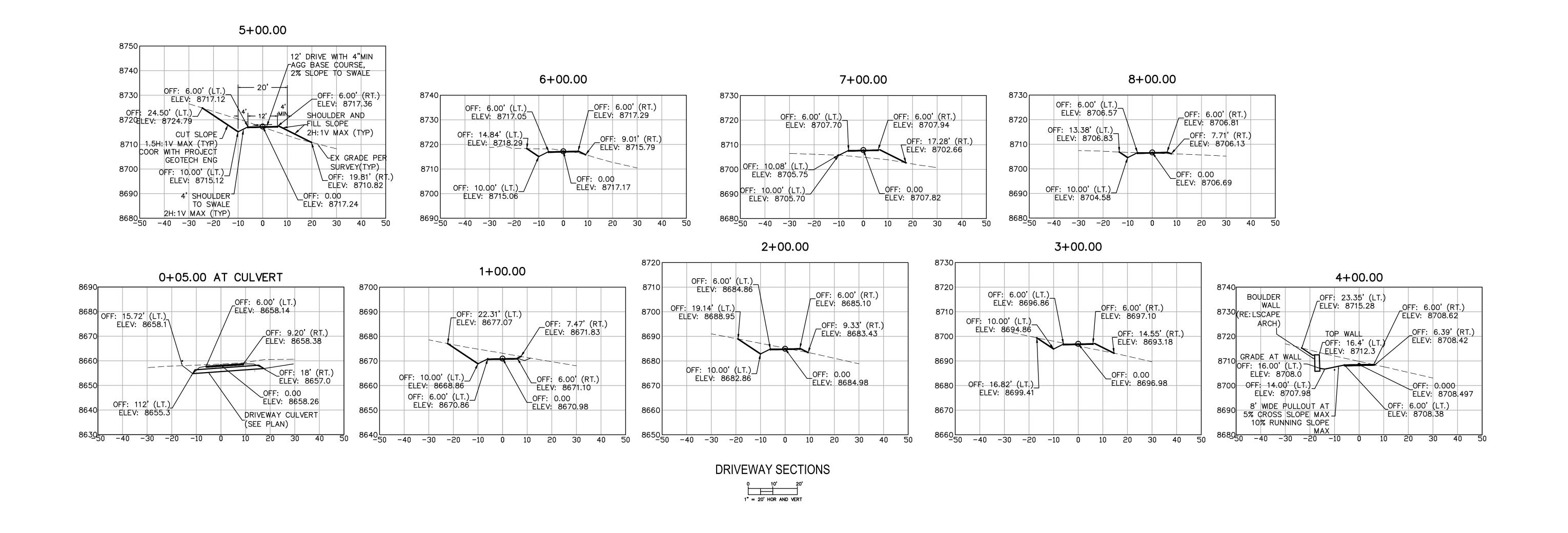


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303-358-9043 CHARLIE@THEHAGERCOMPANY.COM



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WHISPER MOUNTAIN RANCH LOT 4
11780 GOLD HILL ROAD, BOULDER, COLORADO
DRIVEWAY SECTIONS

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THE HAGER COMPANY LLC
CIVIL ENGINEERING BOULDER, COLORADO
303-358-9043 CHARLIE@THEHAGERCOMPANY.COM

C1.3

DESCRIPTION

SLOPE SELECTION

PRIVATE ACCESS

WHISPER MOUNTAIN RANCH LOT 4

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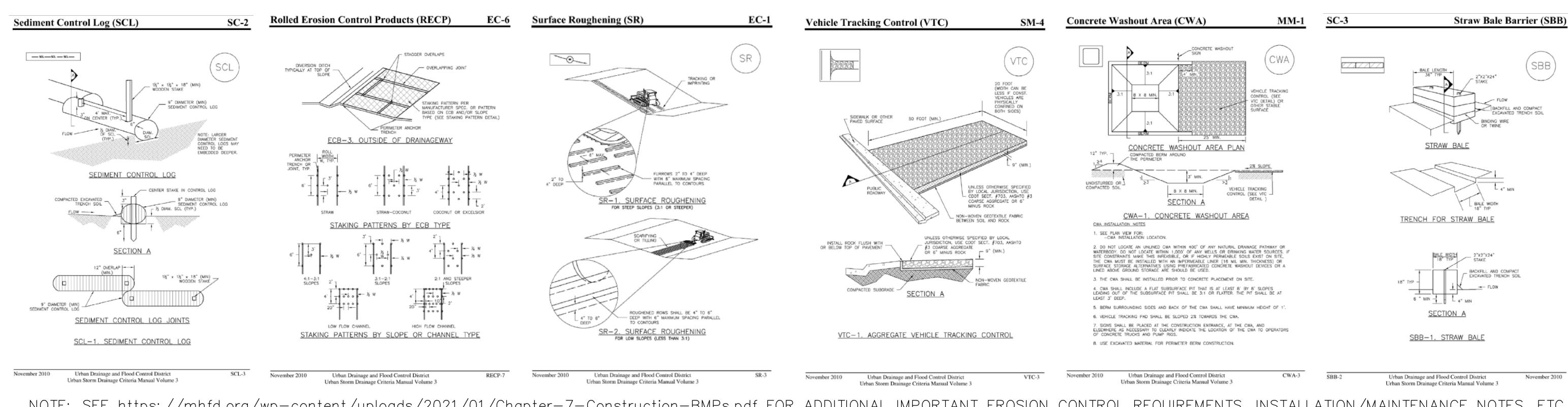
SITE DETAILS

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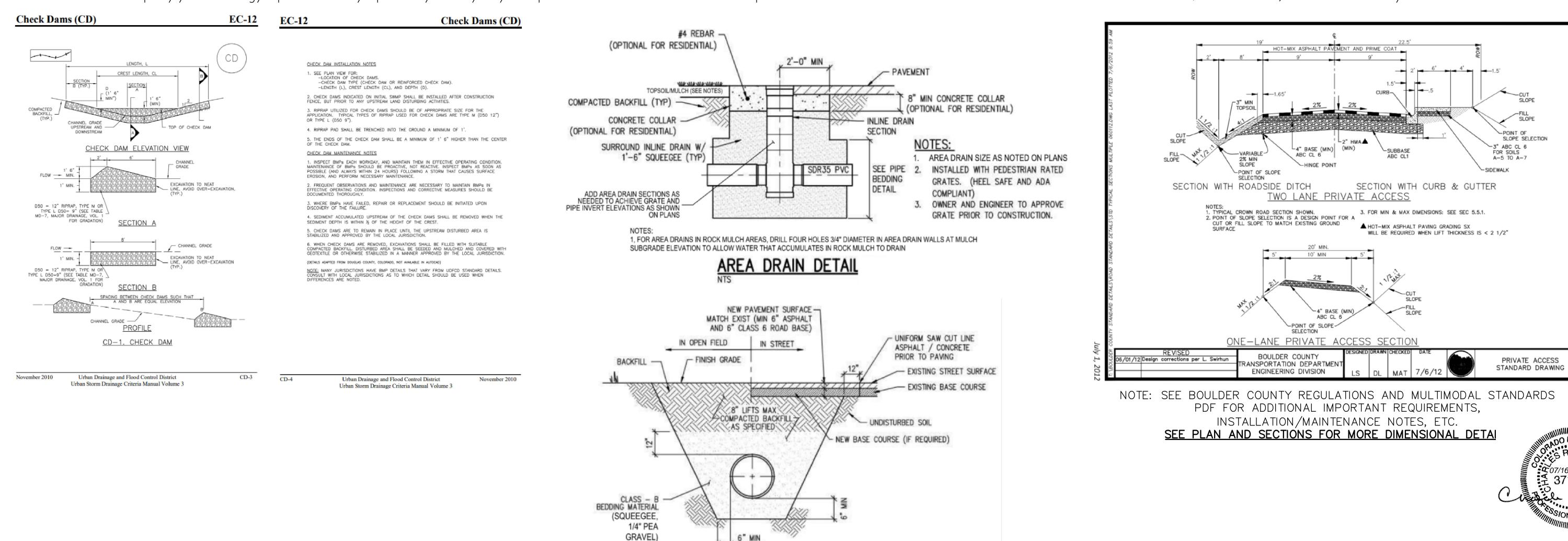
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CIVIL ENGINEERING BOULDER, COLORADO 303-358-9043 CHARLIE@THEHAGERCOMPANY.COM DESCRIPTION



NOTE: SEE https://mhfd.org/wp-content/uploads/2021/01/Chapter-7-Construction-BMPs.pdf FOR ADDITIONAL IMPORTANT EROSION CONTROL REQUIREMENTS, INSTALLATION/MAINTENANCE NOTES, ETC.



CMP/PVC/HDPE PIPE

3. MINIMUM COVER IS 18" BELOW FINISHED GRADE.

SPECIFICATIONS OR AS REQUIRED.

1. IF UNSTABLE MATERIALS ARE FOUND IN TRENCH, OVEREXCAVATE PER

SAFETY OF THE WORKERS AND THE PROTECTION OF OTHER UTILITIES.

2. TRENCH TO BE BRACED OR SHEETED AS NECESSARY FOR THE

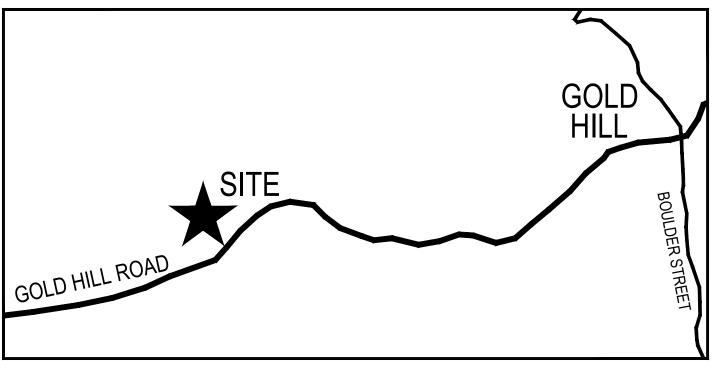
STORM SEWER PIPE BEDDING DETAIL

WHISPER MOUNTAIN RANCH LOT 4

11780 GOLD HILL ROAD, BOULDER, COLORADO

SITE ACCESS & RESIDENCE

GRADING, EROSION CONTROL & REVEGETATION PLANS



VICINITY MAP (NTS)

SHEET INDEX

	SHEET HIBEK
C0.0	COVER SHEET
C1.0	GRADING, REVEGETATION & EROSION CONTROL PLAN - SOUTH
C1.1	GRADING, REVEGETATION & EROSION CONTROL PLAN - NORTH
C1.2	DRIVEWAY PROFILE
C1.3	DRIVEWAY SECTIONS
C1.4	SITE DETAILS

GENERAL NOTES:

1. ALL MATERIALS AND WORKMANSHIP SHALL BE IN CONFORMANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF THE BOULDER COUNTY, COLORADO DEPARTMENT OF TRANSPORTATION, LOCAL FIRE AUTHORITY, AND APPLICABLE STATE AND LOCAL STANDARDS AND SPECIFICATIONS. THE CONTRACTOR SHALL HAVE IN POSSESSION AT THE JOB SITE AT ALL TIMES ONE (1) SIGNED COPY OF APPROVED PLANS, STANDARDS AND SPECIFICATIONS. CONTRACTOR SHALL CONSTRUCT AND MAINTAIN EMERGENCY ACCESS ROUTES TO THE SITE AND STRUCTURE AT ALL TIMES PER THE APPLICABLE FIRE DISTRICT REQUIREMENTS. THE CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FOR ANY VARIANCE TO THE ABOVE DOCUMENTS. NOTIFY OWNER AND ENGINEER OF ANY CONFLICTING STANDARDS OR SPECIFICATIONS. IN THE EVENT OF ANY CONFLICTING STANDARD OR SPECIFICATION, THE MORE STRINGENT OR HIGHER QUALITY STANDARD, DETAIL OR SPECIFICATION

2. THE CONTRACTOR SHALL OBTAIN, AT HIS OWN EXPENSE, ALL APPLICABLE CODES, LICENSES, STANDARD SPECIFICATIONS, PERMITS, BONDS, ETC., WHICH ARE NECESSARY TO PERFORM THE PROPOSED WORK, INCLUDING, BUT NOT LIMITED TO A LOCAL AND STATE GROUNDWATER DISCHARGE AND COLORADO DEPARTMENT OF HEALTH AND ENVIRONMENT (CDPHE) STORMWATER DISCHARGE PERMIT ASSOCIATED WITH CONSTRUCTION ACTIVITY.

3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE REQUIRED PARTY (OWNER, OWNER'S REPRESENTATIVE, MUNICIPAL/DISTRICT INSPECTOR, GEOTECHNICAL ENGINEER, ENGINEER AND/OR UTILITY OWNER) AT LEAST 48 HOURS PRIOR TO START OF ANY CONSTRUCTION. PRIOR TO BACKFILLING, AND AS REQUIRED BY JURISDICTIONAL AUTHORITY AND/OR PROJECT SPECIFICATIONS. THE CONTRACTOR SHALL CONTINUE WITH NOTIFICATIONS THROUGHOUT THE PROJECT AS REQUIRED BY THE STANDARDS AND SPECIFICATIONS.

4. THE LOCATIONS OF EXISTING UTILITIES ARE SHOWN IN THE APPROXIMATE LOCATION BASED ON INFORMATION BY OTHERS. NOT ALL UTILITIES MAY BE SHOWN. THE CONTRACTOR SHALL DETERMINE THE EXACT SIZE, LOCATION AND TYPE OF ALL EXISTING UTILITIES WHETHER SHOWN OR NOT BEFORE COMMENCING WORK. THE CONTRACTOR SHALL BE FULLY AND SOLELY RESPONSIBLE FOR ANY AND ALL DAMAGES AND COSTS WHICH MIGHT OCCUR BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES. THE CONTRACTOR SHALL NOTIFY ALL PUBLIC AND PRIVATE UTILITY COMPANIES AND DETERMINE THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO PROCEEDING WITH GRADING AND CONSTRUCTION. ALL WORK PERFORMED IN THE AREA OF UTILITIES SHALL BE PERFORMED AND INSPECTED ACCORDING TO THE REQUIREMENTS OF THE UTILITY OWNER. LIKEWISE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND MAPPING ANY EXISTING UTILITY (INCLUDING DEPTH) WHICH MAY CONFLICT WITH THE PROPOSED CONSTRUCTION, AND FOR RELOCATING ENCOUNTERED UTILITIES AS DIRECTED BY THE ENGINEER. CONTRACTOR SHALL CONTACT AND RECEIVE APPROVAL FROM TOWN OF ERIE, UTILITY OWNER AND ENGINEER BEFORE RELOCATING ANY ENCOUNTERED UTILITIES. CONTRACTOR RESPONSIBLE FOR SERVICE CONNECTIONS, AND RELOCATING AND RECONNECTING AFFECTED UTILITIES AS COORDINATED WITH UTILITY OWNER AND/OR ENGINEER, INCLUDING NON-MUNICIPAL UTILITIES (TELEPHONE, GAS, CABLE, ETC., WHICH SHALL BE COORDINATED WITH THE UTILITY OWNER). THE CONTRACTOR SHALL IMMEDIATELY CONTACT ENGINEER UPON DISCOVERY OF A UTILITY DISCREPANCY OR CONFLICT. AT LEAST 48 HOURS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE UTILITY NOTIFICATION CENTER OF COLORADO (1-800-922-1987, WWW.UNCC.ORG).

5. THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS AT AND ADJACENT TO THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING THE PERFORMANCE OF THE WORK. THE CONTRACTOR SHALL PREPARE A TRAFFIC CONTROL PLAN FOR OWNER AND/OR TOWN APPROVAL AND PROVIDE ALL LIGHTS, SIGNS, BARRICADES, FENCING, FLAGMEN OR OTHER DEVICES NECESSARY TO PROVIDE FOR PUBLIC SAFETY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR AGREES TO COMPLY WITH THE PROVISIONS OF THE TRAFFIC CONTROL PLAN AND THE LATEST EDITION OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES," PART VI, FOR CONSTRUCTION SIGNAGE AND TRAFFIC CONTROL. ALL TEMPORARY AND PERMANENT TRAFFIC SIGNS SHALL COMPLY TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) WITH REGARD TO SIGN SHAPE, COLOR, SIZE, LETTERING, ETC. UNLESS OTHERWISE SPECIFIED. IF APPLICABLE, PART NUMBERS ON SIGNAGE DETAILS REFER TO MUTCD SIGN NUMBERS.

6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ANY GROUNDWATER ENCOUNTERED DURING THE CONSTRUCTION OF ANY PORTION OF THIS PROJECT. GROUNDWATER SHALL BE PUMPED, PIPED, REMOVED AND DISPOSED OF IN A MANNER WHICH DOES NOT CAUSE FLOODING OF EXISTING STREETS NOR EROSION ON ABUTTING PROPERTIES IN ORDER TO CONSTRUCT THE IMPROVEMENTS SHOWN ON THESE PLANS. CONTINUOUS AND POINT DISCHARGE OF STORM FLOWS AND GROUNDWATER TO NEIGHBORING PROPERTIES IS NOT PERMITTED.

7. THE EXISTING AND PROPOSED ELEVATIONS OF SLOPES, FLATWORK, SIDEWALKS, CURBS, PAVING, ETC. AS SHOWN HEREON ARE BASED ON EXTRAPOLATION OF FIELD SURVEY DATA AND EXISTING CONDITIONS. AT CRITICAL AREAS AND SITE FEATURES, CONTRACTOR SHALL HAVE FORMWORK INSPECTED AND APPROVED BY OWNER, OWNER'S REPRESENTATIVE, OR ENGINEER PRIOR TO PLACING CONCRETE. MINOR ADJUSTMENTS, AS APPROVED, TO PROPOSED GRADES, INVERTS, ETC. MAY BE REQUIRED TO PREVENT PONDING OR SLOPE NOT IN CONFORMANCE WITH MUNICIPAL STANDARDS. ALL FLATWORK MUST PREVENT PONDING AND PROVIDE POSITIVE DRAINAGE AWAY FROM EXISTING AND PROPOSED BUILDINGS, WALLS, ROOF DRAIN OUTFALLS, ACROSS DRIVES AND WALKS, ETC., TOWARDS THE PROPOSED INTENDED DRAINAGE FEATURES AND CONVEYANCES.

8. ANY EXISTING MONITORING WELLS, CLEANOUTS, VALVE BOXES, ETC. TO BE PROTECTED AND TO REMAIN IN SERVICE. IF FEATURES EXIST, EXTEND OR LOWER TO FINAL SURFACE WITH LIKE KIND CAP WITH STANDARD CAST ACCESS LID WITH SAME MARKINGS. IN LANDSCAPED AREAS PROVIDE A CONCRETE COLLAR (18"x18"x6" THICK) AT ALL EXISTING AND PROPOSED MONITORING WELLS, CLEANOUTS, VALVE BOXES,

9. ALL SURPLUS MATERIALS, TOOLS, AND TEMPORARY STRUCTURES, FURNISHED BY THE CONTRACTOR, SHALL BE REMOVED FROM THE PROJECT SITE BY THE CONTRACTOR. ALL DEBRIS AND RUBBISH CAUSED BY THE OPERATIONS OF THE CONTRACTOR SHALL BE REMOVE AND THE AREA OCCUPIED DURING CONSTRUCTION ACTIVITIES SHALL BE RESTORED TO ITS ORIGINAL CONDITION, WITHIN 48 HOURS OF PROJECT COMPLETION, UNLESS OTHERWISE DIRECTED BY THE MUNICIPALITY OR OWNER'S REPRESENTATIVE.

10. THE CONTRACTOR IS REQUIRED TO PROVIDE AND MAINTAIN EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH THE LOCAL JURISDICTION, THE STATE OF COLORADO, URBAN DRAINAGE AND FLOOD CONTROL DISTRICT "URBAN STORM DRAINAGE CRITERIA MANUAL VOLUME 3", THE M-STANDARD PLANS OF THE COLORADO DEPARTMENT OF TRANSPORTATION, AND THE APPROVED EROSION CONTROL PLAN. JURISDICTIONAL AUTHORITY MAY REQUIRE THE CONTRACTOR TO PROVIDE ADDITIONAL EROSION CONTROL MEASURES AT THE CONTRACTOR'S EXPENSE DUE TO UNFORESEEN EROSION PROBLEMS OR IF THE PLANS DO NOT FUNCTION AS INTENDED. THE CONTRACTOR IS RESPONSIBLE FOR PROHIBITING SILT AND DEBRIS LADEN RUNOFF FROM LEAVING THE SITE, AND FOR KEEPING ALL PUBLIC AREAS FREE OF MUD AND DEBRIS. THE CONTRACTOR IS RESPONSIBLE FOR RE-ESTABLISHING FINAL GRADES AND FOR REMOVING ACCUMULATED SEDIMENTATION FROM ALL AREAS INCLUDING SWALES AND DETENTION/WATER QUALITY AREAS. CONTRACTOR SHALL REMOVE TEMPORARY EROSION CONTROL MEASURES AND REPAIR AREAS AS REQUIRED AFTER VEGETATION IS AT LEAST 80% ESTABLISHED AND ACCEPTED BY OWNER AND MUNICIPALITY. COORDINATE WITH ENGINEER PLACEMENT OF PERMANENT, APPROPRIATELY—SIZED ROCK AT ALL PIPE OUTFALLS TO DISSIPATE FLOW ENERGY, REDUCE EROSION AND SPREAD FLOWS TO PROVIDE A WIDE, NATURAL SHEETFLOW TO PROPERTY OUTFALL.

11. PROTECT ALL TREES AND VEGETATION THAT ARE NOT IMPACTED BY GRADING EFFORTS. AT TOP OF SLOPE REMOVE AND DISPOSE OF TREES AND ROOTS IF GRADING IS WITHIN TREE DRIPLINE OR ROOT ZONE, AND IF SLOPE GRADING CAUSES TREES TO BE UNSTABLE IN WET AND WINDY CONDITIONS, PARTICULARLY AT AREAS NEAR EXISTING STRUCTURES AND OTHER AREAS AS COORDINATED WITH OWNER. FLAG SPECIFIC TREES FOR REMOVAL FOR OWNER TO APPROVE REMOVAL PRIOR TO CONSTRUCTION. PLACE CONSTRUCTION FENCING AT DRIPLINE OF TREES AND PLANTS NEAR THE WORK ZONE IF NEEDED TO PROHIBIT TRAFFIC WITHIN TREE DRIPLINE.

12. BENCHMARK INFORMATION: PROPERTY LINE AND TOPOGRAPHIC INFORMATION WAS PROVIDED BY ARCHITECT AND FLATIRONS SURVEYING, INC. REFER TO SURVEY FROM OWNER/ARCHITECT FOR ALL BENCHMARK AND HORIZONTAL CONTROL INFORMATION. STAKING OF SITE FEATURES SHALL BE ACCOMPLISHED USING THE ARCHITECTURAL PLANS. COORDINATE AND VERIFY ALL VERTICAL AND HORIZONTAL DATA SHOWN IN SURVEY AND REPORT ANY IRREGULARITIES OR DISCREPANCIES TO ENGINEER PRIOR TO CONSTRUCTION. UTILIZE ARCHITECTURAL PLANS FOR STRUCTURE LAYOUT.

13. THE CONTRACTOR SHALL FURNISH THE OWNER, ARCHITECT, AND ENGINEER OF RECORD A COMPLETE SET OF CONSTRUCTION RECORD DRAWINGS ("AS-BUILTS"), FOR THE CONSTRUCTED IMPROVEMENTS. THE PLANS SHALL SHOW SUFFICIENT DIMENSION TIES TO PERMANENT SURFACE FEATURES FOR ALL BURIED FACILITIES TO ALLOW FOR FUTURE LOCATING. THE PLANS SHALL SHOW FINAL PAVEMENT, FLOW LINE ELEVATIONS, CONTOURS AT POND/DRAINAGE FEATURES (AS SURVEYED AND CERTIFIED BY A COLORADO P.L.S.), MANHOLE, PIPE, AND INLET LOCATIONS, INVERTS, GRATE ELEVATIONS, SIZES OF ALL UTILITIES, AND ANY VARIATIONS FROM THE APPROVED PLAN. ENGINEER WILL PRODUCE FINAL RECORD DRAWINGS.

14. SITE FEATURES SHOWN HEREIN MAY NEED TO BE REVISED BASED ON FINAL ARCHITECTURE PLANS, LANDSCAPE ARCHITECTURE PLANS, ENCOUNTERED SITE CONDITIONS, ETC.. NOTIFY OWNER, ARCHITECT, LANDSCAPE ARCHITECT, AND CIVIL ENGINEER OF ANY ANY DISCREPANCIES AND PLAN REVISIONS PRIOR TO WORK. THESE PLANS ARE FOR GRADING, DRAINAGE AND EROSION CONTROL PURPOSES ONLY. COORDINATE DOWNSPOUT CONNECTIONS AND EXTENSION WITH OWNER AND/OR ARCHITECT, WITH WATER TIGHT CONVEYANCE EXTENSION OR PIPE SYSTEM TO MINIMUM 5' FROM BUILDING OR FURTHER AS REQUIRED BY THE PROJECT GEOTECHNICAL ENGINEER. PROHIBIT DOWNSPOUT OUTFALL TO PEDESTRIAN AREAS, PARTICULARLY ON THE NORTH SIDE OF STRUCTURES WHERE FREEZING IS LIKELY. CONTACT ENGINEER FOR ADDITIONAL SITE DOWNSPOUT PIPING PLANS AS NEEDED.

15. PROVIDE 8" EXPOSED FOUNDATION ABOVE EXTERIOR GRADES. PROVIDE 10% SLOPE AWAY FROM FOUNDATION FOR 10 FEET AS NOTED ON PLANS AND PER GEOTECHNICAL REPORT. SELECT, PLACE AND COMPACT SOIL PER REFERENCED SPECIFICATIONS AND GEOTECHNICAL REPORT. COORDINATE ALL ALL FFEs, TOP FDN ELEVS, CLEARANCE UNDER DECKS, STEPS DOWN FROM THRESHOLDS, PORCHES/STOOPS/PATIOS/STEPS, WINDOW WELLS, WATERPROOFING, ETC. WITH ARCHITECT, STRUCTURAL, AND LANDSCAPE ARCHITECT PLANS PRIOR TO CONSTRUCTION

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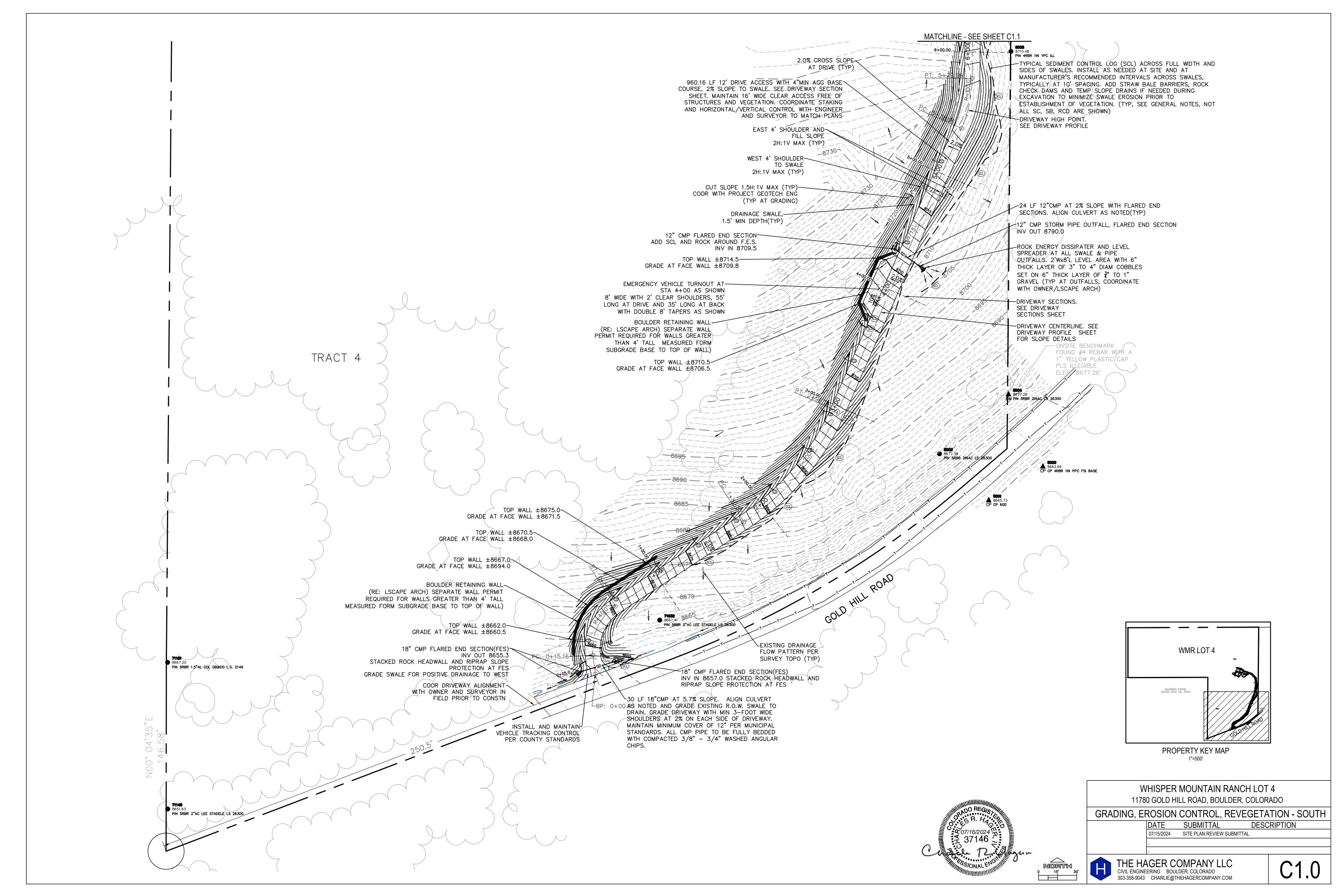
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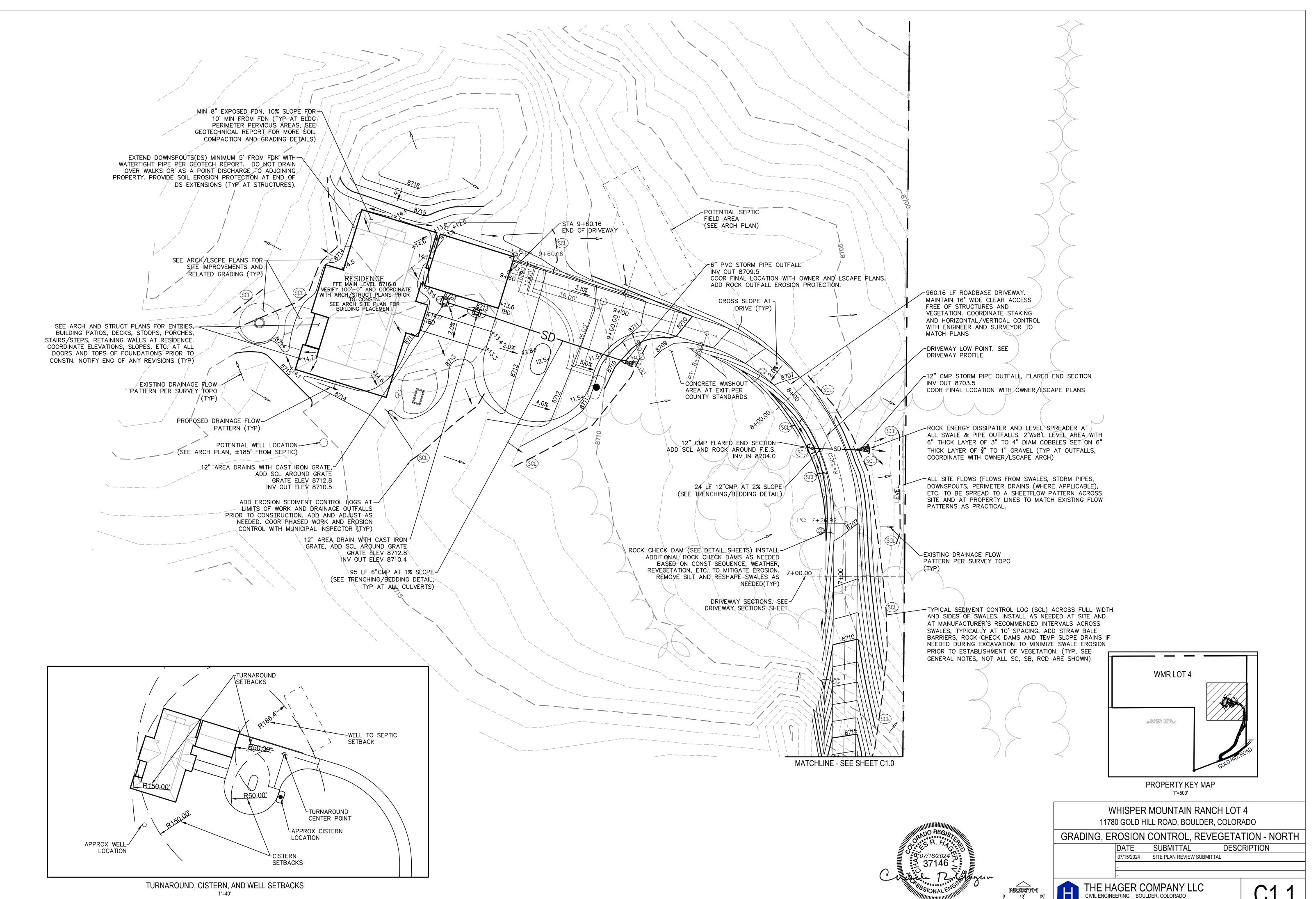
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DATE SUBMITTAL DESCRIPTION
07/15/2024 SITE PLAN REVIEW SUBMITTAL

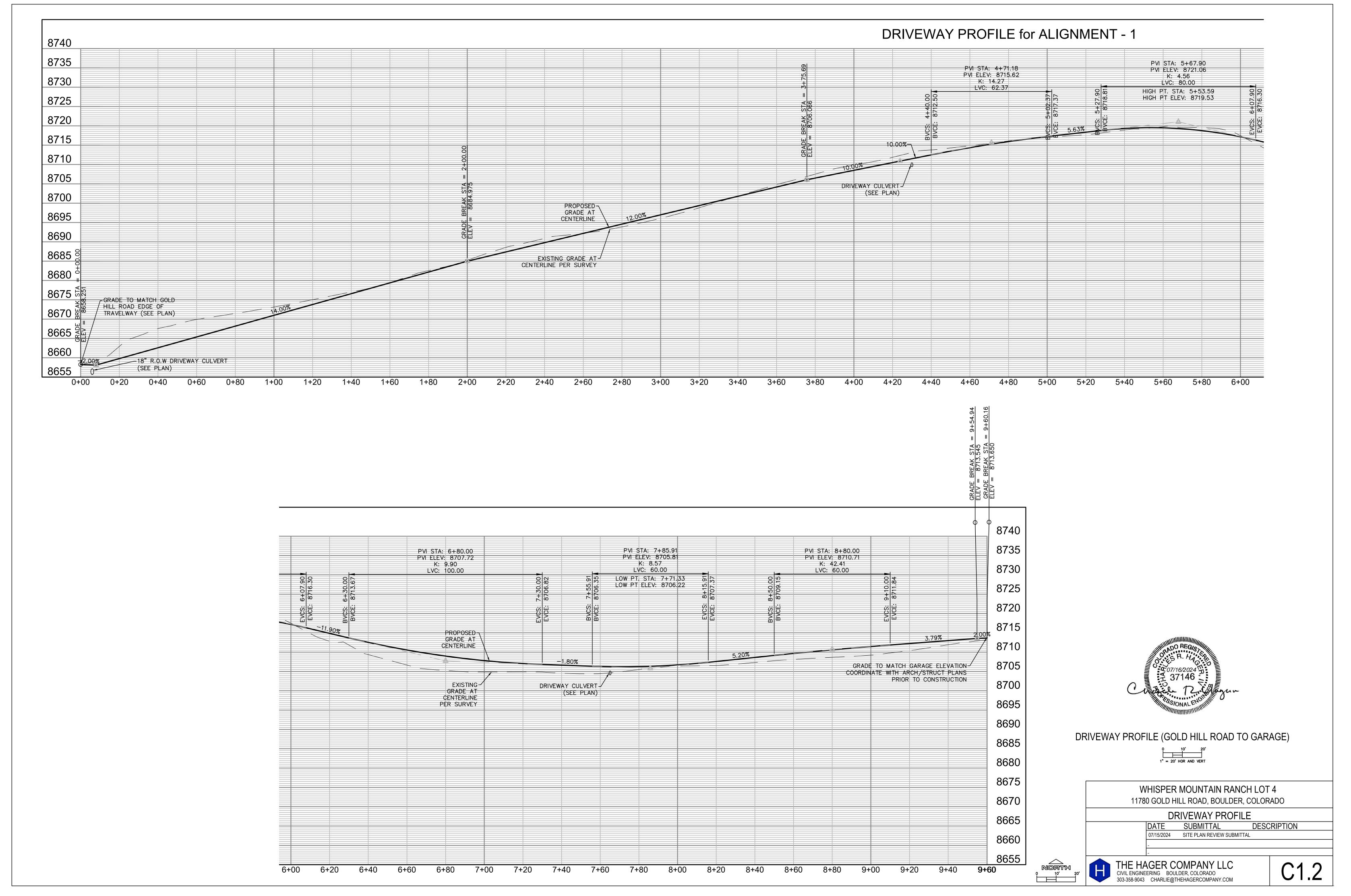
THE HAGER COMPANY LLC

CIVIL ENGINEERING BOULDER, COLORADO 303-358-9043 CHARLIE@THEHAGERCOMPANY.COM

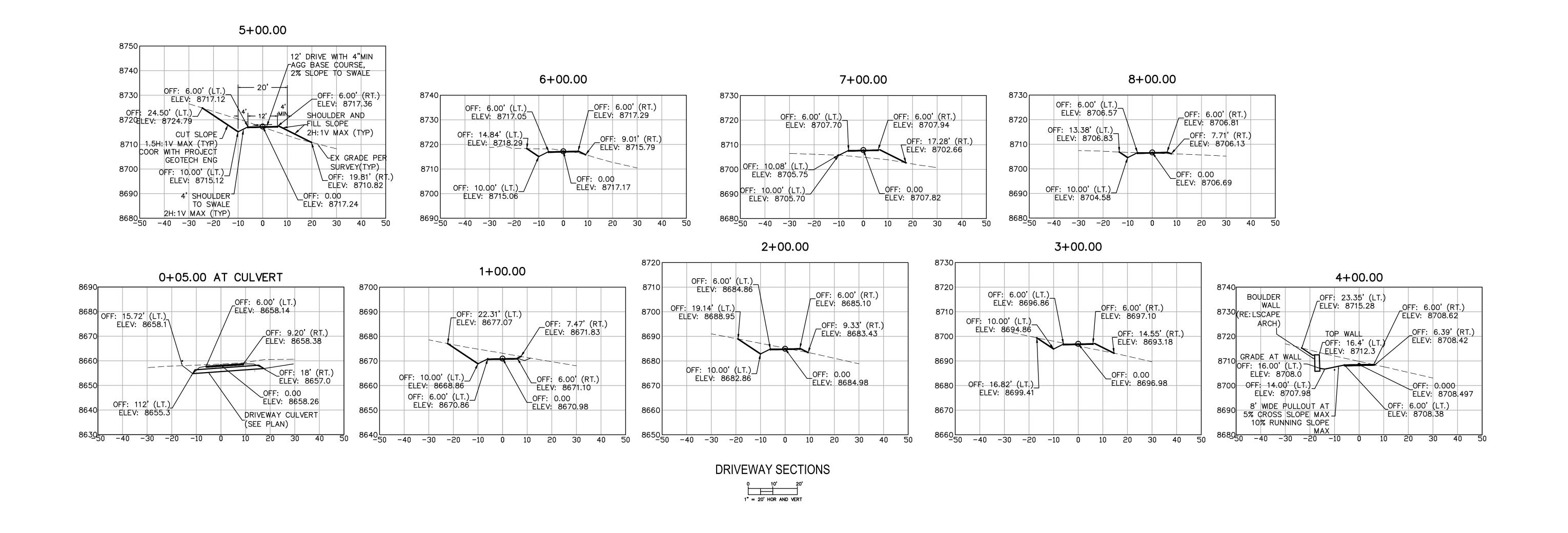




303-358-9043 CHARLIE@THEHAGERCOMPANY.COM



A34



A35



WHISPER MOUNTAIN RANCH LOT 4
11780 GOLD HILL ROAD, BOULDER, COLORADO
DRIVEWAY SECTIONS

DATE SUBMITTAL [
07/15/2024 SITE PLAN REVIEW SUBMITTAL

THE HAGER COMPANY LLC
CIVIL ENGINEERING BOULDER, COLORADO

303-358-9043 CHARLIE@THEHAGERCOMPANY.COM

C1.3

DESCRIPTION

SLOPE SELECTION

PRIVATE ACCESS

STANDARD DRAWING

WHISPER MOUNTAIN RANCH LOT 4

11780 GOLD HILL ROAD, BOULDER, COLORADO

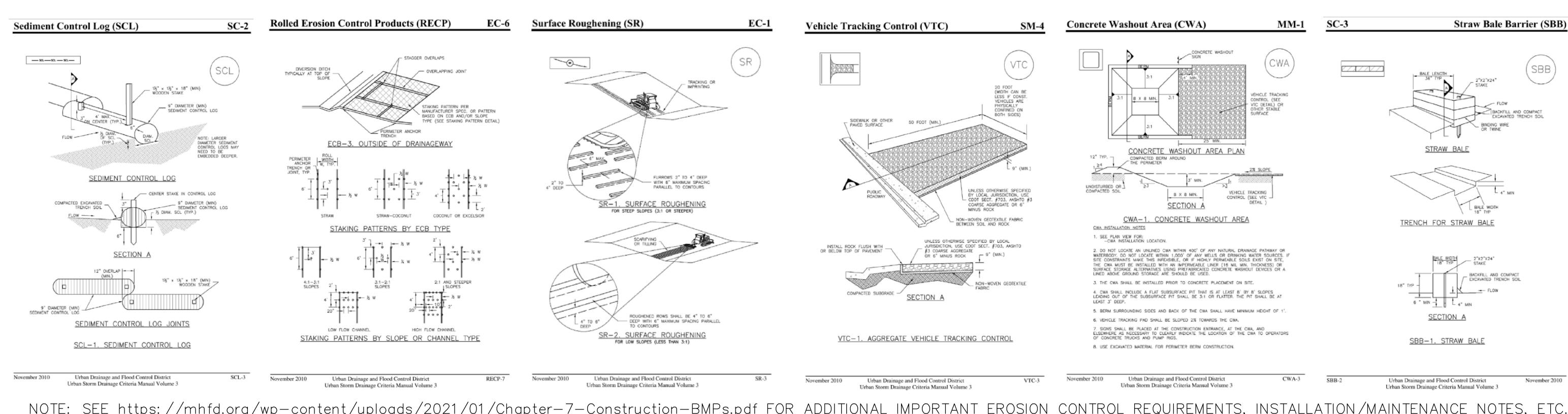
SITE DETAILS

SUBMITTAL

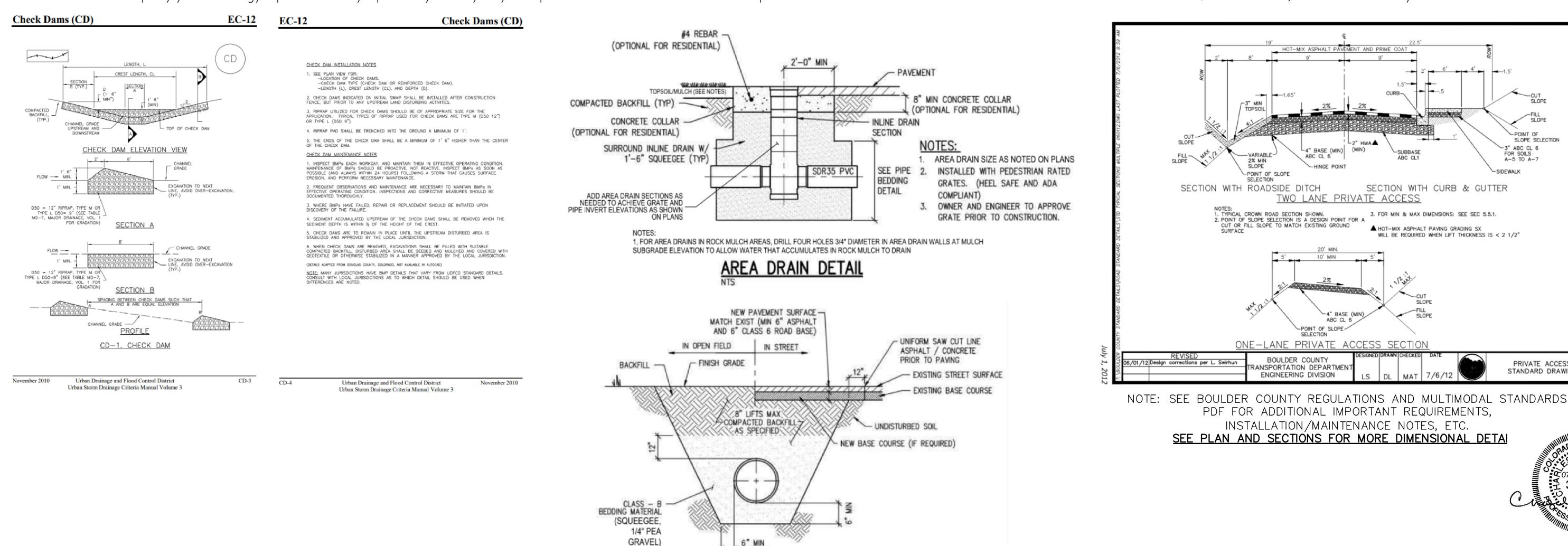
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CIVIL ENGINEERING BOULDER, COLORADO 303-358-9043 CHARLIE@THEHAGERCOMPANY.COM DESCRIPTION



NOTE: SEE https://mhfd.org/wp-content/uploads/2021/01/Chapter-7-Construction-BMPs.pdf FOR ADDITIONAL IMPORTANT EROSION CONTROL REQUIREMENTS, INSTALLATION/MAINTENANCE NOTES, ETC.



CMP/PVC/HDPE PIPE

3. MINIMUM COVER IS 18" BELOW FINISHED GRADE.

SPECIFICATIONS OR AS REQUIRED.

1. IF UNSTABLE MATERIALS ARE FOUND IN TRENCH, OVEREXCAVATE PER

SAFETY OF THE WORKERS AND THE PROTECTION OF OTHER UTILITIES.

2. TRENCH TO BE BRACED OR SHEETED AS NECESSARY FOR THE

STORM SEWER PIPE BEDDING DETAIL

ECOLOGICAL ASSESSMENT

WHISPER MOUNTAIN HOMESTEAD

BOULDER COUNTY, COLORADO



prepared for:

ANDREAS SEPPI & MICHELA BERNARDI SEPPI

11780 GOLD HILL ROAD, BOULDER, CO 80302

prepared by:

BIRCH ECOLOGY, LLC

710 TENACITY DRIVE, SUITE 101, LONGMONT, CO 80504



JULY 2024

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1.0 INTRODUCTION

Andreas and Michela Bernardi Seppi are developing plans to build a single-family home known as Whisper Mountain Homestead on Tract 4 of Whisper Mountain Ranch. The 35.79-acre Tract 4 is located near Gold Hill, Colorado in unincorporated Boulder County. Specifically, it is in Section 10 of Township 1 North and Range 72 West (Figures 1 & 2).

To aid in project planning, Birch Ecology prepared a comprehensive Ecological Assessment for the project site. We collaborated with Sopher Sparn Architects and civil engineers The Hager Company as a part of the design process. Through this collaboration, the team's primary goal was to identify the building site that achieves the project purpose of constructing a single-family home with minimal environmental impact, while adhering to Boulder County Land Use Review Criteria. By combining the provided ecological data with civil engineering slope analysis and road engineering details, our team has identified the development alternative that we believe creates the least disturbance to the land for our client's new home.

In accordance with Boulder County's Land Use Review Criteria, this Ecological Assessment report describes the existing conditions of the project site; it evaluates the site's potential to support rare species tracked by the Colorado Natural Heritage Program (CNHP) and Boulder County; and discusses the mapped resources identified in the Boulder County Comprehensive Plan Update for the project vicinity. In addition, it discusses the potential impacts of the proposed residence and driveway with rationale for selecting the preferred location.

Please note, all Figures are included in Section 9.0; Tables are in Section 10.0; Photos are in Section 11.0. Appendix A contains the U.S. Fish & Wildlife Service's IPAC species report for the project area.

2.0 ENVIRONMENTAL SETTING

The 35.79-acre project site is on the north side of Gold Hill Road, about 1.5 miles west of town (Photos 1 & 2). It is an undeveloped, mountainous tract of land that is bisected by a west-to-east trending ridge. Rock outcrops are common along the ridgetop and in isolated locations throughout the property (Photos 3 & 4). The south-facing slope is characterized by a ponderosa pine savannah, with a patch of Parry's Oatgrass Grassland (Photos 1 & 5). The north-facing slope north of the ridge is defined by a mosaic of aspen forest and mixed conifer forest, and one meadow (Photo 6). Elevations of Tract 4 range from a low of approximately 8,550 ft in the northwest corner, to a high of 8,770 ft on the ridge. The proposed home location is at an approximate elevation of 8,715 ft, just north of the ridge. Tract 4 is surrounded by U.S. Forest Service Land to the north, private lands to the south, and a conservation easement to the east. There are no bodies of water located on this parcel.

3.0 METHODS

In April 2024, Birch Ecology visited Whisper Mountain Homestead to meet with landowners and the architectural and civil team working to design the new driveway and house on the property. During this visit, we reviewed alternate homesite locations and the proposed driveway alignment, and helped the team locate these improvements to the location that

we felt would reduce impacts to the local environment and mapped resources, as discussed in Section 7.5. Birch Ecology returned to Whisper Mountain Homestead on June 7th, 2024, to formally assess the ecological condition of the area, focusing on the proposed location of the 900 LF driveway and home. We mapped and inventoried the vegetation communities within the area of disturbance, and evaluated whether any sensitive or rare plants or plant communities could be present. Additional field reconnaissance was conducted to identify plant species later in the growing season on June 27th.

Birch Ecology prepared this report to address plant communities and species mapped by Boulder County and the Colorado Natural Heritage Program (CNHP); federally listed Threatened, Endangered, and Candidate species listed by The U.S. Fish and Wildlife's Service Information, Planning, and Conservation (IPaC) website (USFWS 2024) accessed on May 22, 2024; the Colorado Wildlife Action Plan for Rare Plants, as well as habitat and resources called out by the Boulder County Comprehensive Plan. Conditions onsite were evaluated to determine if they are consistent with mapping.

4.0 VEGETATION

4.1 Vegetation Communities

The proposed building site includes mountainous terrain with north- and south-facing slopes separated by a ridge with distinctive rock outcrops. The north-facing slope covers about 80% of the tract and is characterized by a mosaic of mixed conifer forest and aspen forest with one meadow near the eastern property line. The south facing slope, which is visible from Gold Hill Road, is characterized by a ponderosa pine savannah, an aspen forest, and a stand of Parry's oatgrass grassland that extends onto the property to the east. Table 1 identifies the plant communities and their mapped areas on the project site, as illustrated by Figure 3. Table 2 lists the vascular plant species identified within the project area during field reconnaissance on June 7 and 27, 2024. Each vegetation community is briefly discussed below.

4.1.1 Mixed Conifer Forest

Mixed conifer forest is the dominant vegetation type on the north side of the ridge, covering approximately 23.4 acres of the project site (Table 1; Figure 3). Ponderosa pine (Pinus ponderosa) and Douglas fir (Pseudotsuga menzsiesii) are the dominant trees, mixed with small pockets of aspen (Populus tremuloides) (Photos 7-9). Other less abundant trees and shrubs in this community include Rocky Mountain juniper (Juniperus scopulorum), limber pine (Pinus flexilis), common juniper (Juniperus communis) and wax currant (Ribes cereum). Some of the common species in the herbaceous understory include the native grass spike fescue (Leucopoa kingii), spreading goldenbanner (Thermopsis divaricarpa), kinnikinnik (Arctostaphylos uva-ursi), pasqueflower (Anemone patens var. multifida), and silvery lupine (Lupinus argenteus). In small canopy openings with gravelly soils, cutleaf daisy (Erigeron compositus) and stonecrop (Sedum lanceolatum) are also common (Photo 10). In addition, a few pockets with pretty draba (Draba streptocarpa) can be found along the rocky outcrops near the ridge.

There are a few large stands of invasive leafy spurge (Euphorbia esula) in the area. This species is a List B noxious weed that should be managed to prevent further spread.

4.1.2 Ponderosa Pine Savannah

The southern facing slope of Tract 4 is dominated by a ponderosa pine savannah with scattered rock outcrops (Photos 1, 5 & 11). This community covers approximately 6.3 acres (Table 1). Large ponderosa pine trees form an open- to moderately-dense canopy, with wax currant and common juniper shrubs below (Figure 3). The herbaceous understory is well-developed in most areas, due to the open canopy layer. Along the lower part of the slope near Gold Hill Road, the introduced grass smooth brome (Bromus inermis) dominates the understory. This area has been disturbed and seeded in the past, and the brome is crowding out more desirable native species. Farther up the slope, the brome has not established and the native graminoids and forbs are common. Geyer's sedge (Carex geyeri), mountain muhly (Muhlenbergia montana), spike fescue, and small amounts of Parry's oatgrass (Danthonia parryi) and western wheatgrass (Pascopyrum smithii) occur in this area. Some of the common forbs in this community include spreading goldenbanner, prairie sage (Artemisia ludoviciana), yarrow (Achillea millefolium), fringed sage (Artemisia frigida), whiskbroom parsley (Harbouria trachypleura), mouse ear chickweed (Cerastium arvense), wild buckwheat (Eriogonum umbellatum), curlycup gumweed (Grindelia squarrosa), silvery lupine, blue flax (Linum lewisii), wholeleaf Indian paintbrush (Castilleja integra), and Nuttall's larkspur (Delphinium nuttallianum). Along the rocky ridge, some small communities of lichen, pretty draba (Draba streptocarpa), and cutleaf daisy (Erigeron compositus) can be found (Photo 12).

State-listed noxious and other significantly problematic weeds are sparse along the south-facing slope. Mullein (Verbascum thapsus), a List C noxious weed, is found in small numbers throughout the ponderosa pine savannah. The side of Gold Hill Road has some yellow sweet clover (Melilotus officinalis), which is not a noxious weed but can become very invasive in disturbed areas.

4.1.3 Aspen Forest

Aspen forests are sparsely represented on the south-facing slope, but they are common on the north-facing slope, where soil moisture is higher (Figure 3). In total, aspen forests are the third most abundant vegetation type covering approximately 5.5 acres (Table 1). On the south facing slope, the aspen forest is located west of the ponderosa pine savannah near a boulder outcrop with wax currant shrubs and a diverse understory of smooth brome, Geyer's sedge, kinnikinnik, spreading goldenbanner, bigflower cinquefoil (Potentilla fissa), and patch of spotted coralroot orchid (Corallorhiza maculata) (Photo 3).

On the north-facing slope, aspen forests are more abundant, grading into the mixed conifer forest and meadow. These areas commonly have an understory that includes Geyer's sedge, abundant kinninnick, smooth brome, spreading goldenbanner, northern bedstraw (Galium boreale), and Solomon's seal (Maianthemum stellatum) (Photos 13 & 14).

4.1.4 Meadow

A meadow community is located north of the ridge on an area of gentle topography, where soil moisture is higher than the surrounding forested landscape, covering approximately 0.3 acre (Photo 15). This meadow is a mixture of native and introduced species. It includes the introduced grass smooth brome (Bromus inermis), growing with native species including Geyer's sedge, and numerous forbs: spreading goldenbanner, hairy false goldenaster (Heterotheca villosa), woolly cinquefoil (Potentilla hippiana), prairie

sage, fringed sage, mouse ear chickweed, Nuttall's larkspur, whole leaf Indian paintbrush (Catilleja integra), sulfur flower (Eriogonum umbellatum), yarrow, wallflower, and rosy pussytoes (Antennaria rosea).

4.1.5 Parry's Oatgrass Grassland

To the east of the Ponderosa Pine Savannah, a stand of Parry's oatgrass grassland covers 0.2 acre of Tract 4 (Figure 3; Photos 16 & 17). This grassland community is classified as a Significant Natural Community by Boulder County. The grassland extends further east onto the adjoining parcel. Common forbs in this community include spreading goldenbanner, Nuttall's larkspur, lamb's tongue groundsel, blue flax, and yarrow.

4.2 Colorado Wildlife Action Plan Rare Plant Species of Boulder County

Appendix A of Colorado's Statewide Wildlife Action Plan includes 117 species of Colorado's most imperiled plant species. Of these, ten species are known to occur in Boulder County, as summarized in Table 2. Four of these species are known to occur in dry montane environments at Tract 4's elevation, the Larimer aletes (Aletes humilus), Front Range milkvetch (Astragalus sparsiflorus), Narrow leaf grape fern (Botrychium lineare), and Rocky Mountain cinquefoil (Potentilla rupincola). None of these species were found during the habitat assessment and they are unlikely to occur at the project site. A summary of their habitat requirements and potential to occur at the site can be found in Table 3.

4.3 Federally Listed Threatened and Endangered Plants

The U.S. Fish & Wildlife Service's Information, Planning and Conservation (IPaC) Website was accessed on May 22, 2024, to identify the federally listed plant species of concern for the project area (Appendix A). These species are addressed in Table 3, and include two plant species, Ute Ladies'-tresses (Spiranthes diluvialis) and Western Prairie Fringed Orchid (Platanthera praeclara). The proposed building site does not offer suitable habitat to these federally listed plants. Ute ladies'-tresses is known to occur in Boulder County. However, its range is restricted to riparian and wetland habitats at elevations below 7,000 ft (Ackerfield 2015). The project site is located above 8,600 ft and does not contain suitable habitat for this species since there are no wetlands. This project would not create water depletions to the South Platte River System and therefore would have no impact on the western prairie fringed orchid, which occurs downstream in Nebraska.

4.4 Colorado Natural Heritage Program (CNHP) Potential Conservation Areas

Colorado Natural Heritage Program's mapped Potential Conservation Areas (PCAs) were reviewed to identify any sensitive plant communities that occur in the project area. Figure 4 illustrates two CNHP PCA's in the area west of Gold Hill. No PCAs were mapped inside of Tract 4; the Gold Hill at Switzerland Trail PCA is located \pm .37 mi away, and the Todd Gulch Fen PCA is \pm .89 mi away, on higher terrain to the west of the project site (Figure 4).

5.0 WILDLIFE

5.1 General Wildlife Habitats

Tract 4 is in a mountainous region west of Gold Hill, with relatively low-density development along Gold Hill Road. Many parcels in the area are occupied by private single-family

homeowners and wildlife movement is relatively unobstructed in the project vicinity. Mule deer, elk, moose, black bear, and wild turkeys are common in the area.

5.2 Federally Listed Wildlife Species

The U.S. Fish & Wildlife Service's Information, Planning and Conservation (IPaC) Website was accessed on May 22, 2024, to identify the federally listed species of concern for the project area (Appendix A). These species are listed in Table 3, and include two fish species, three birds, three mammals, and one insect.

The two fish species and two of the birds are listed because they occur downstream in the Platte River drainage and can be impacted by water depletions. These species include the **greenback cutthroat trout** (Oncorhynchus clarki stomias), **pallid sturgeon** (Scaphirhynchus albus), **piping plover** (Charadrius melodus), and **whooping crane** (Grus americana). This project will not cause water depletions to the South Platte River, and therefore will have no impact on these species.

The **Gray Wolf** (Canis lupis) was reintroduced to Colorado in December of 2023, and as of June 25th, 2024, the range of collared wolves has not extended into Boulder County (Colorado Parks & Wildlife 2024).

The **monarch butterfly** (Danaus plexippus) and Mexican spotted owl (Strix occidentalis lucida) are unlikely to be found at the project site and would not be impacted by the house and driveway construction.

A portion of Tract 4 has been mapped by Colorado Parks & Wildlife as potential **Canada Lynx** (Lynx canadensis) habitat. A brief discussion of Canada Lynx is found below.

5.2.1 Canada Lynx (Lynx canadensis)

Canada lynx are specialized predators that disappeared from Colorado due to trapping, poisoning, and habitat loss by humans, until they were successfully reintroduced by Colorado Parks & Wildlife in the 1990s (Colorado Parks & Wildlife 2014).

Canada lynx are often found in dense high-elevation forests or in willow-rich mountain stream corridors (Colorado Parks & Wildlife 2014), and the majority of their habitat in Colorado occurs between 9,900 – 11,620 ft (Theobald and Shenk, 2011). A large portion of the Canada lynx's diet is composed of the snowshoe hare (Colorado Parks & Wildlife 2014), which is generally present at an elevation range of 8,000 ft -11,500 ft in Colorado (Ellsworth and Reynolds, 2006).

Colorado Parks and Wildlife has mapped a portion of Tract 4 as Potential Lynx Habitat, most likely due to its proximity to the Left Hand Creek riparian corridor and the site elevation (Figure 5). This patch of mapped potential habitat is near the eastern-most extent of its possible range in Colorado (Colorado Parks & Wildlife 2015; Figure 5). Construction of the proposed single-family home and driveway are unlikely to impact Canada lynx.

6.0 BOULDER COUNTY COMPREHENSIVE PLAN RESOURCES

6.1 Countywide Elements

6.1.1 Archaeologically Sensitive Areas

The proposed residence is not located within any Archaeologically Sensitive Areas identified in the 2013 Boulder County ERE update.

6.1.2 Critical Wildlife Habitats & Wildlife Migration Corridors

Figure 6 illustrates the Critical Wildlife Habitats and Wildlife Migration Corridors identified in the 2013 ERE update. The proposed residence is not located within any Critical Wildlife Habitats or Wildlife Migration Corridors designated by Boulder County. The nearest mapped designations are the Peewink Mountain Elk Herd Migration Corridor located ±3.25 mi away, and the Peewink Mountain Wildlife habitat located ±4.78 mi away.

6.1.3 Environmental Conservation Areas

Figure 7 illustrates the Environmental Conservation Areas present in the project region identified in the 2013 ERE update. The proposed residence is not located within an Environmental Conservation Area. The nearest designated areas are Fourmile Creek/Bald Mountain \pm .1 mi to the south, and Walker Mountain \pm .67 mi to the north of Tract 4.

6.1.4 Geologic Hazard & Constraint Areas

The proposed residence is not located within any Geologic Hazard & Constraint Areas identified in the 2013 Boulder County ERE Update.

6.1.5 High Biodiversity Areas

Figure 8 illustrates High Biodiversity Areas from the 2013 ERE update. The Gold Hill at Switzerland Trail High Biodiversity Area is located ±.35 mi to the southwest of Tract 4. However, the proposed residence is not located within any High Biodiversity Areas designated by Boulder County.

6.1.6 Natural Landmarks & Natural Areas

The Natural Landmarks & Natural Areas in the project region are illustrated by Figure 9. The proposed residence is not located within any Natural Landmarks or Natural Areas designated by Boulder County in the 2013 ERE Update. The nearest designated landmark is Sugarloaf Mountain, located ± 2.8 miles to the southeast and the nearest designated natural area is Niwot Ridge, located ± 6.9 mi to the west.

6.1.7 Overland Habitat Connectors

Figure 10 illustrates the Overland Habitat Connectors from the 2013 ERE update present in the vicinity of the project site. Overland Habitat Connectors are defined by Boulder County as "Areas of wildlife movement across relatively unfragmented landscapes which provides connectivity among Environmental Conservation Areas". One north-south oriented overland habitat connector has been mapped to the western edge of the ponderosa pine savannah and into the forest above on Tract 4. Although shown as a single line, email correspondence from Boulder County states the Overland Habitat Connector is approximately a mile-wide and conceptualizes a wildlife migration corridor. The proposed driveway and home are located on the far east end of the tract, in an effort to minimize overlap with the connector. An entry gate will be installed at the driveway, but no

additional fencing will be added, allowing wildlife to move freely around the home and driveway between the Environmental Conservation Areas.

6.1.8 Riparian Habitat Connectors

Figure 10 illustrates the Riparian Habitat Connectors from the 2013 ERE update present in the vicinity of the project site. Riparian Habitat Connectors include relatively unfragmented waterways that provide habitat connectivity among environmental conservation areas for wildlife. No Riparian Habitat Connectors are located on Tract 4. The nearest habitat connector is found ±.35 mi north and runs along Left Hand Creek.

6.1.9 Significant Natural Communities & Rare Plant Areas

The Significant Natural Communities in the project region are illustrated by Figure 8. One mapped Significant Natural Communities polygons overlaps with the northern portion of Tract 4 where the proposed home is located, but outside of the proposed driveway area. An email correspondence to Stephen Sparn from Dana Yelton of Boulder County indicated that this Significant Natural Community was mapped due to the presence of aspen trees (3/4/24 email). However, none of the listed aspen communities on the BCCP List of Species of Special Concern and Significant Natural Communities are present at the project site (Photo 14). In fact, most of these aspen communities listed are associated with riparian habitat, which does not occur on the site. Instead, we believe that the Significant Natural Community was likely mapped due to the BCCP listed Ponderosa Pine / Spike Fescue and Ponderosa Pine / Mountain Muhly communities that were identified during field reconnaissance. It should be noted that we identified an a Parry's Oatgrass grassland, which is listed as a Significant Natural Community in the BCCP, but is not mapped (Photos 16 & 17). The extent of this community is illustrated by Figure 3, and it is described above in Section 4.1.4.

The Rare Plant Areas in the project region are also illustrated by Figure 8. There are no Rare Plant Areas located at the project site. The nearest Rare Plant Area is located ± 2.2 mi to the southwest of Tract 4.

6.1.10 Stream Habitat Connectors

Figure 10 illustrates the Stream Habitat Connectors from Map 4 of the "Goals, Policies, and Maps Element" of the Boulder County Comprehensive Plan. Stream Habitat Connectors are defined by Boulder County include "important corridors along streams providing significant migration routes, hiding cover, and wildlife habitat for a broad range of avian and terrestrial species." No Stream Habitat Connectors are located at Tract 4. The nearest Stream Habitat Connector is found \pm .55 mi north and runs alongside the south side of Left Hand Creek.

6.1.11 View Protection Corridors

Figure 11 illustrates the View Protection Corridors mapped by Boulder County to aid in implementing Policy 1.02.01 of the Open Space Element in the Boulder County Comprehensive Plan: "the county shall avoid, minimize, or mitigate impacts on views from view protection corridors." Gold Hill Road is adjacent to Tract 4 and classified as having a View Protection Corridor Score of "Less than 1." The proposed home location is hidden on the north facing slope behind the ridge overlooking the road, minimizing impacts to the View Protection Corridor at Gold Hill Road.

6.1.12 Wetlands & Riparian Areas

As illustrated in Figure 12, no wetlands from the 2013 ERE update lie within the proposed buildable area. During field reconnaissance on June 7th, no wetland vegetation that would indicate a potential wetland was found. The nearest water body to Tract 4 is an ephemeral stream located to the north, which runs into Lefthand Creek. The ephemeral stream is located far away from the proposed home and driveway and the project would cause no disturbance to wetlands or riparian areas.

7.0 PROPOSED PROJECT

7.1 Project Description

The proposed project will be located north of Gold Hill Road, west of Gold Hill, Colorado, on the 35.79-acre Tract 4 of Whisper Mountain Ranch (Figure 13). The project consists of one 4,544 sq ft single-family home accessed by a \pm 900 LF driveway that leaves the majority of the parcel undisturbed.

The proposed driveway has been designed to minimize grading while working within site constraints to provide safe access to the home in accordance with Boulder County regulations. It will be 12-feet wide, with two-foot shoulders and a road base surface. A motor court/roundabout near the home will provide a safe turn-around for emergency vehicles and one emergency vehicle pull-out will be provided at station 4+00.

Minimal runoff from the home and landscape north of the ridge will be directed to the vegetation or garden beds near the driveway. A 12-inch culvert near Station 7+65 will allow drainage below the driveway to the east slope. South of the ridge, a ditch will be constructed on the uphill side of the road with a 12-inch culvert near the emergency turnout that will direct runoff to the vegetated slope below the road. Below the turnout, runoff will be conveyed to the existing ditch at Gold Hill Road. An 18-inch culvert will be located below the driveway where it connects to Gold Hill Road. For additional details, please refer to the Grading, Revegetation and Erosion Control Plan prepared by The Hager Company (Appendix B).

Repurposed, onsite boulders and native shrub plantings will be used to soften the appearance of road cuts, particularly at the entrance from Gold Hill Road where a retaining wall is proposed.

The residence would have well water, and a septic field would be located to the northeast of the home. The house will have solar electricity as well as an electric service line buried in the driveway. A propane tank will be used for heating.

This project will comply with the Wildfire Zone 1 requirements for building materials, details, and landscape treatment around the structure. Landscaping around the house is intended to be made up of native grasses and shrubs allowable under the wildfire zone requirements.

All exterior lighting at the house and driveway shall be dark sky compliant.

7.2 Impacts to Vegetation Resources

Figure 14 illustrates the home and driveway locations and proposed grading in relation to the vegetation communities mapped onsite. As shown by the figure, the driveway will begin at Gold Hill Road and extend northeast across the hillside through the ponderosa pine savannah. The lower part of the driveway is through the area with a high cover of the introduced grass smooth brome. It passes through a more dense stand of trees, then continues uphill of the Parry's Oatgrass Grassland. The driveway grading was carefully redesigned so it only disturbs 83 square feet of Parry's Oatgrass.

Where it approaches the eastern fence line, the driveway continues north around a rock outcrop and then behind the ridge, leading to the home location. North of the ridge, the driveway crosses a narrow portion of the meadow but was pushed north and east to limit the disturbance to this community.

the homesite will be located between a rocky mounded area, aspen forest, and a small area of the mixed conifer forest (Photos 18-20). This location avoids the Ponderosa Pine / Spike Fescue and Ponderosa Pine / Mountain Muhly communities listed in the BCCP and any of the other Significant Natural Communities.

7.3 Impacts to Wildlife Resources

The proposed project would result in one single family home and one 900 LF driveway on a 35.79-acre tract of mountainous land. There would be a loss of some wildlife habitat within the footprint of these disturbances, however **no significant impacts to sensitive wildlife species are anticipated**.

As summarized in Table 4, the Federally listed wildlife species identified in the IPaC search are unlikely to be impacted by the construction of this single-family home.

The **Gray Wolf** (Canis lupis) was reintroduced to Colorado in December of 2023, and as of June 25th, 2024, the range of collared wolves has not extended into Boulder County (Colorado Parks & Wildlife 2024). The proposed House and driveway construction are unlikely to impact the Gray wolf.

The key component of **monarch butterfly** (Danaus plexippus) habitat is milkweed (Asclepias sp.), which does not occur at the site.

Mexican spotted owls (*Strix occidentalis lucida*) have been recorded in Boulder County, however this was a very uncommon occurrence. The Boulder County Nature Association notes that in November 1983, hundreds of birdwatchers viewed a spotted owl perched in a ponderosa pine tree off the Saddle Rock trail – noting at the time of publishing, it was the first and only clearly documented sighting in Boulder County (BCNA, 2010). Spotted owls are highly unlikely to occur at the project site and the proposed residence should have no impact on this species.

The area is mapped as potential habitat for **Canada lynx**, but they are unlikely to occur at the site which does not have dense high-elevation forests or willow-rich stream corridors which are characteristic of its core habitat. Canada lynx and should not be significantly

impacted by the construction of one single family home and driveway in the proposed location of Tract 4.

No **raptor nests** were found on the project site during field reconnaissance of the proposed homesite. In accordance with the **Migratory Bird Treaty Act**, a nest survey will be conducted prior to any vegetation clearing, if this work is to occur during the nesting season.

Other than an entry gate, there will be **no addition of fencing**, which will allow for wildlife movement through the parcel. Trash will be properly contained in **bear-proof cans** to prevent food conditioning of black bears (*Ursus americanus*). All exterior lighting at the house and driveway shall be **dark sky compliant** to reduce potential impacts to wildlife.

7.4 Impacts to Boulder County Comprehensive Plan Environmental Resources

The construction of the proposed residence would cause minimal to no impact to sensitive environmental resources as identified in the Boulder County Comprehensive Plan 2013 ERE and subsequent updates.

As illustrated in Figure 8 and discussed above in Section 6.1, the proposed home site lies within an area designated as a Boulder County mapped Significant Natural Community. However, during field reconnaissance, we did not identify a Significant Natural Community in the location of the proposed homesite. This mapping was likely completed to map Ponderosa Pine/Spike Fescue and Ponderosa Pine/Mountain Muhly communities, which are listed in the BCCP and were found to occur south of the ridge on the south-facing slope overlooking Gold Hill Road. The home would be constructed on a rocky mounded area with impacts to the adjacent aspen forest and mixed conifer forest. On the south side of the ridge, the driveway skirts above and largely avoids the Parry's Oatgrass Grassland with only 83 square feet of disturbance.

Additionally, as illustrated by Figure 10, there is one north-south oriented overland habitat connector found mapped to the western edge of the ponderosa pine savannah and into the forest above on Tract 4. It is our understanding this connector is intended to represent a one-mile-wide corridor. The proposed driveway and home are located on the far east end of the tract but are within the one-mile-wide corridor, which encompasses the entire property. However, the overall disturbance would be a very small part of this wide corridor. In addition, no fencing is planned, allowing wildlife to move freely around the home and driveway along the connector.

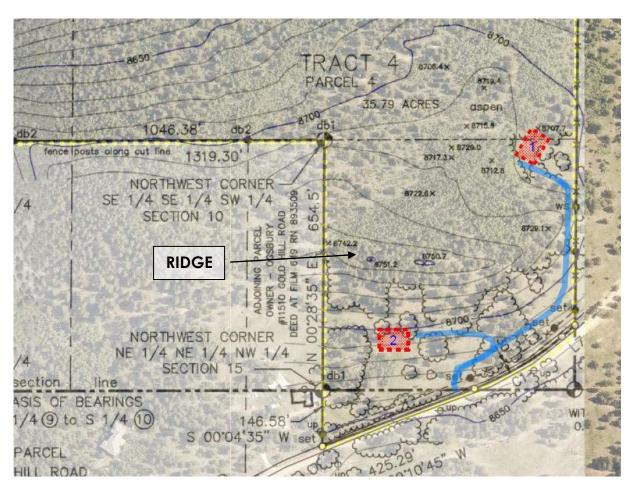
There is a View Protection Corridor (Score of "Less than 1") mapped by Boulder County along Gold Hill Road. The proposed home location is hidden on the north-facing slope behind the ridge, minimizing impacts to the View Protection Corridor at Gold Hill Road. The proposed driveway route avoids an unsightly switchback which would be visible if the home were constructed on the south side of the ridge.

None of Boulder County's mapped Archaeologically Sensitive Areas, Critical Wildlife Habitats, Wildlife Migration Corridors, Natural Landmarks, Natural Areas, Environmental Conservation Areas, Geologic Hazard & Constraint Areas, High Biodiversity Areas, Natural Landmarks & Natural Areas, Rare Plant Areas, Riparian Habitat Connectors, or Stream

Habitat Connectors extend onto Tract 4 of Whisper Mountain Homestead (Figures 6 - 12). These resources would not be disturbed by the proposed project. Finally, no Boulder County-mapped wetlands exist within the buildable area. No stands of wetland or riparian vegetation were identified onsite during field reconnaissance. The proposed project will be located in uplands away from any water bodies.

7.5 Avoidance and Minimization of Environmental Impacts

Birch Ecology met with the landowners and the architectural and civil design team to review two alternative homesite locations and select an option that would minimize impacts to habitat and Boulder County resources. The initial locations are shown below and illustrated in greater detail by Figure 15.



The image above shows the east-west ridge that bisects the property, and the steep south-facing hillside area in the vicinity of **Alternative 2**. As noted by the slope study exhibit, the slopes in the vicinity of this homesite range from 20-45% (Figure 16). The engineering team determined that constructing the residence and the required emergency vehicle turnaround and parking in these steeply sloped regions would necessitate significant soil disturbance, extensive earthwork, and the construction of retaining walls. In addition to the extensive hillside disturbance, building a new home and turnaround in this area would cause substantial visual impacts from Gold Hill Road. Moreover, this is within the Ponderosa Pine / Spike Fescue and Ponderosa Pine / Mountain Muhly vegetation types, which are listed as Significant Natural Communities. While the total driveway distance is shorter, this

alternative has considerable impacts that result from the location on the steep hillside above the road.

The preferred homesite location is in the vicinity of **Alternative 1** shown above. However, it should be noted Birch Ecology worked onsite with the civil and architectural design team to further refine the driveway and home location, to avoid the meadow and higher quality forested habitats; therefore, the image above does not represent the final design.

In the area of **Alternative 1**, the preferred home location makes use of gentle slopes to reduce the need for extensive grading and retaining walls. This hidden location behind the ridge will help maintain the visual character of the area for passersby using Gold Hill Road. Although this alternative requires a longer driveway, it has been carefully designed to minimize earthwork and will incorporate boulder retaining walls to limit grading, with native shrub plantings to soften the visual impact. The section of the driveway from Gold Hill Road to the ridge is aligned to be as short as possible while complying with the Boulder County Multimodal Transportation Standards for maximum access drive slopes, widths, and centerline radius requirements. The alignment was selected to utilize stands of existing trees to screen headlights from neighboring residences, and pulling the driveway uphill as it traverses the hillside results in less than 100 square feet of impact to the Parry's Oatgrass Grassland. To further reduce vegetation impacts to the aspen forest and meadow, the vehicle turnaround was redesigned and reduced in size.

Based on our site investigation, the proposed home location behind the ridge is consistent with the BCCP and reduces environmental impacts by 1) limiting visual impacts to the Boulder County View Protection Corridor along Gold Hill Road, 2) minimizing impacts to Boulder County listed Significant Natural Communities (Parry's Oatgrass Grassland, Ponderosa Pine / Spike Fescue, and Ponderosa Pine / Mountain Muhly) found on the south facing slope, and 3). by limiting grading and routing the driveway through less sensitive areas.

8.0 SUMMARY AND RECOMMENDATIONS

Construction of the proposed single-family residence would be compatible with the surrounding area in terms of the ecological resources addressed in this report.

- The single-family home would not significantly degrade the habitat value and has been strategically placed to cause minimal impacts to vegetation, wildlife, and visual resources.
- The project would not result in an over-intensive use of the land or excessive depletion of natural resources. The home has been strategically placed to minimize disturbance to BCCP listed Significant Natural Communities, minimize impact to the mapped Overland Habitat Connector, and to minimize visual impacts to the Gold Hill Road View Protection Corridor.

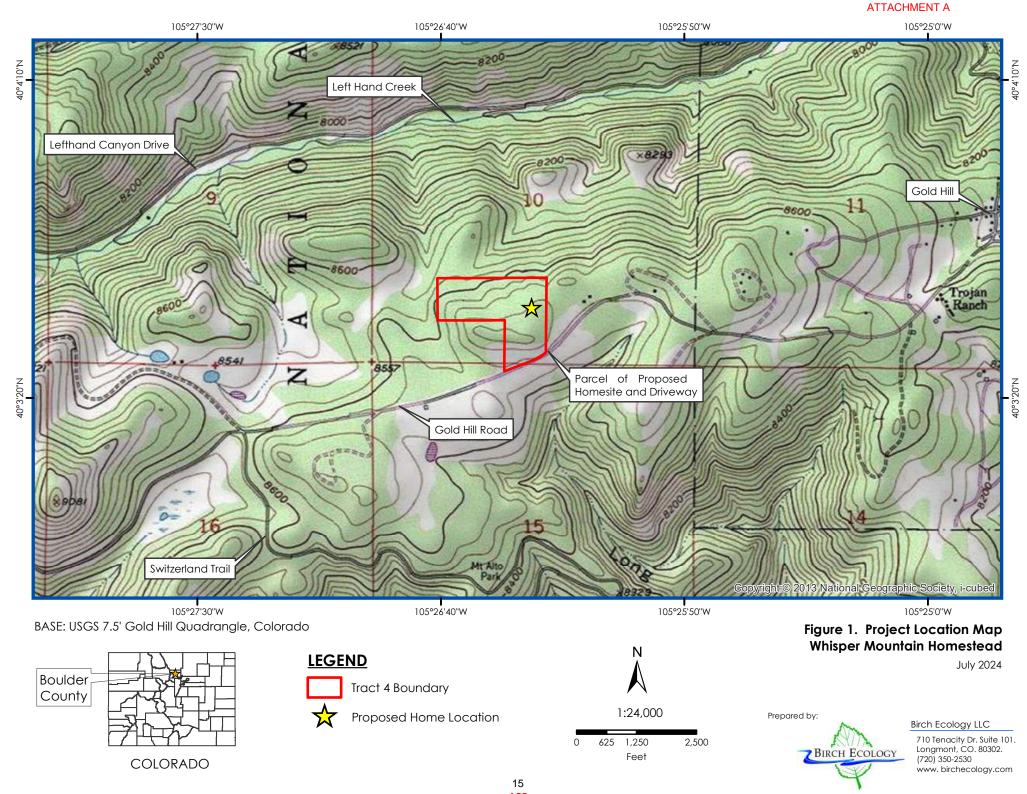
Mitigation measures that are incorporated into this proposed plan include:

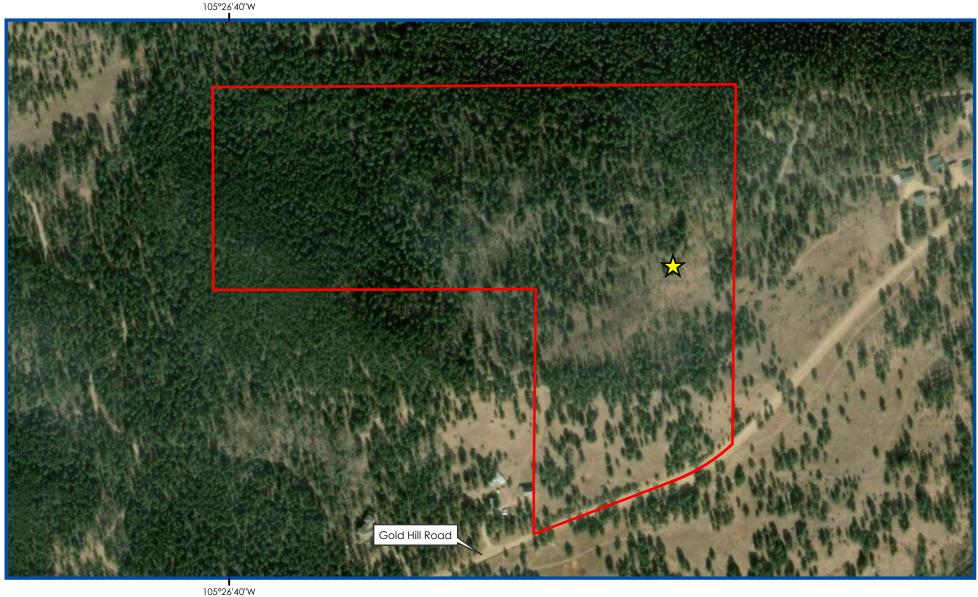
- Careful site selection and alternatives analysis to reduce environmental impacts of the proposed home and driveway.
- Road designed to minimize grading and visual scarring of the south-facing hillside overlooking Gold Hill Road.
- Incorporation of **retaining walls** to reduce grading at the driveway entrance from Gold Hill Road and in the emergency vehicle turnout.
- Salvage and re-use of onsite boulders for retaining walls, planted with native shrubs to soften the look of retaining walls, especially at the driveway entrance near Gold Hill Road.
- Use of Dark Sky Lighting for the home and driveway, which is less disruptive to wildlife.
- Home location behind the ridge protects views along Gold Hill Road view protection corridor.
- Appropriate Revegetation and Erosion Control Plan to limit the potential for water quality impacts.

Additional recommendations for mitigating project impacts:

- Manage weeds before, during, and after construction to protect native habitats and limit further weed dispersal, especially during construction. Use an Integrated Weed Management approach.
- Some of the **priority species for weed management** should include leafy spurge (Euphorbia esula), common mullein (Verbascum thapsus), musk thistle (Carduus nutans ssp. macrolepis), all State-listed noxious weeds, as well as yellow sweet clover (Melilotus officinalis).
- Use **native plants** for home landscaping and restore any disturbed areas with native seed mixes. Include plants that **support local pollinators**.

9.0 FIGURES





BASE: USGS 7.5' Gold Hill Quadrangle, Colorado

Longmont Survey Area Boulder COLORADO

LEGEND



Proposed Home Location

1:5,000 250 Feet

Figure 2. Aerial Photo **Whisper Mountain Homestead**

July 2024



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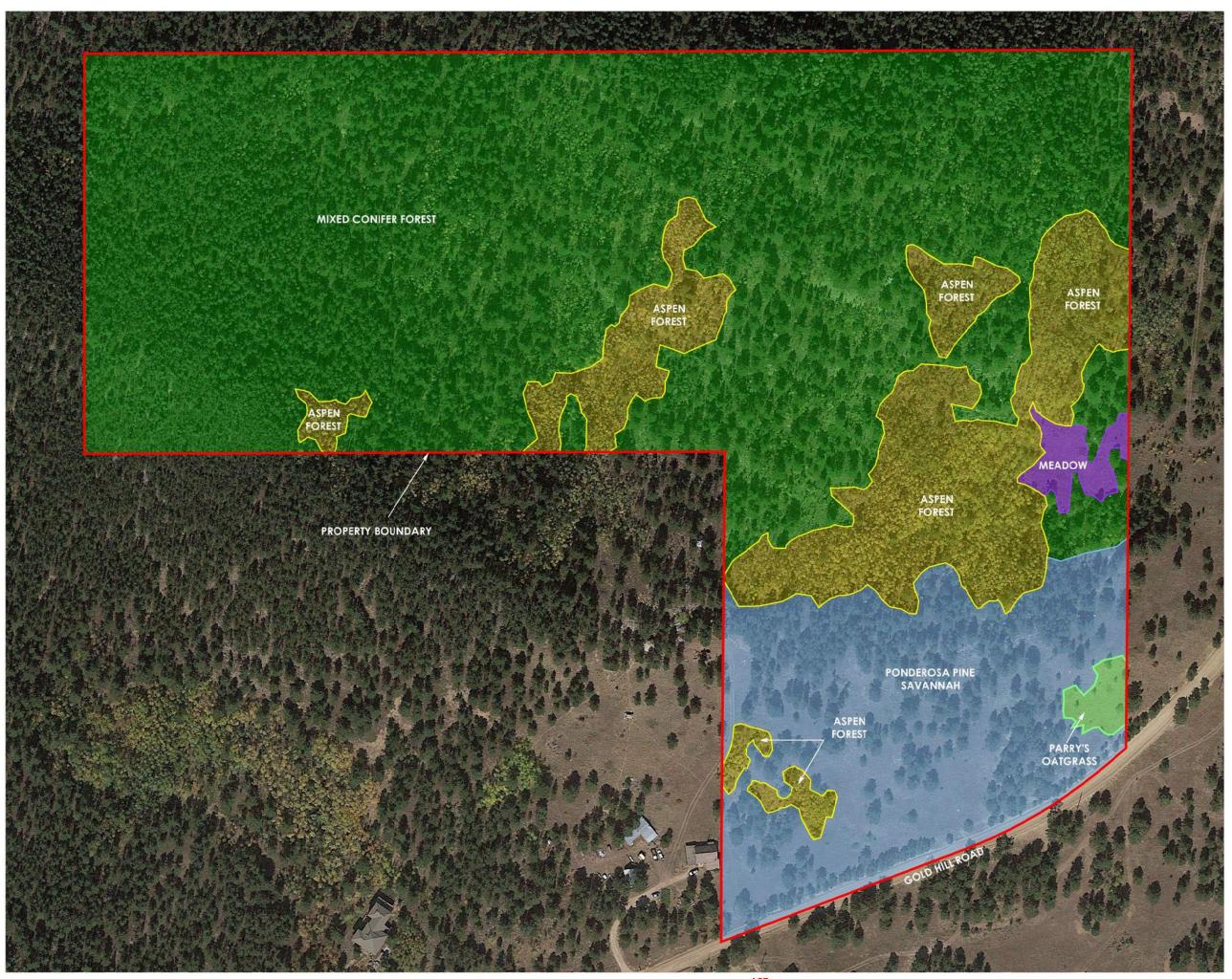


Figure 3. Vegetation Type Map **Whisper Mountain Homestead**

LEGEND:





Date: July 2024 Scale: 1 in = 150 ft

Background Image: Google Earth



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Tract 4 Boundary

Proposed Home Location

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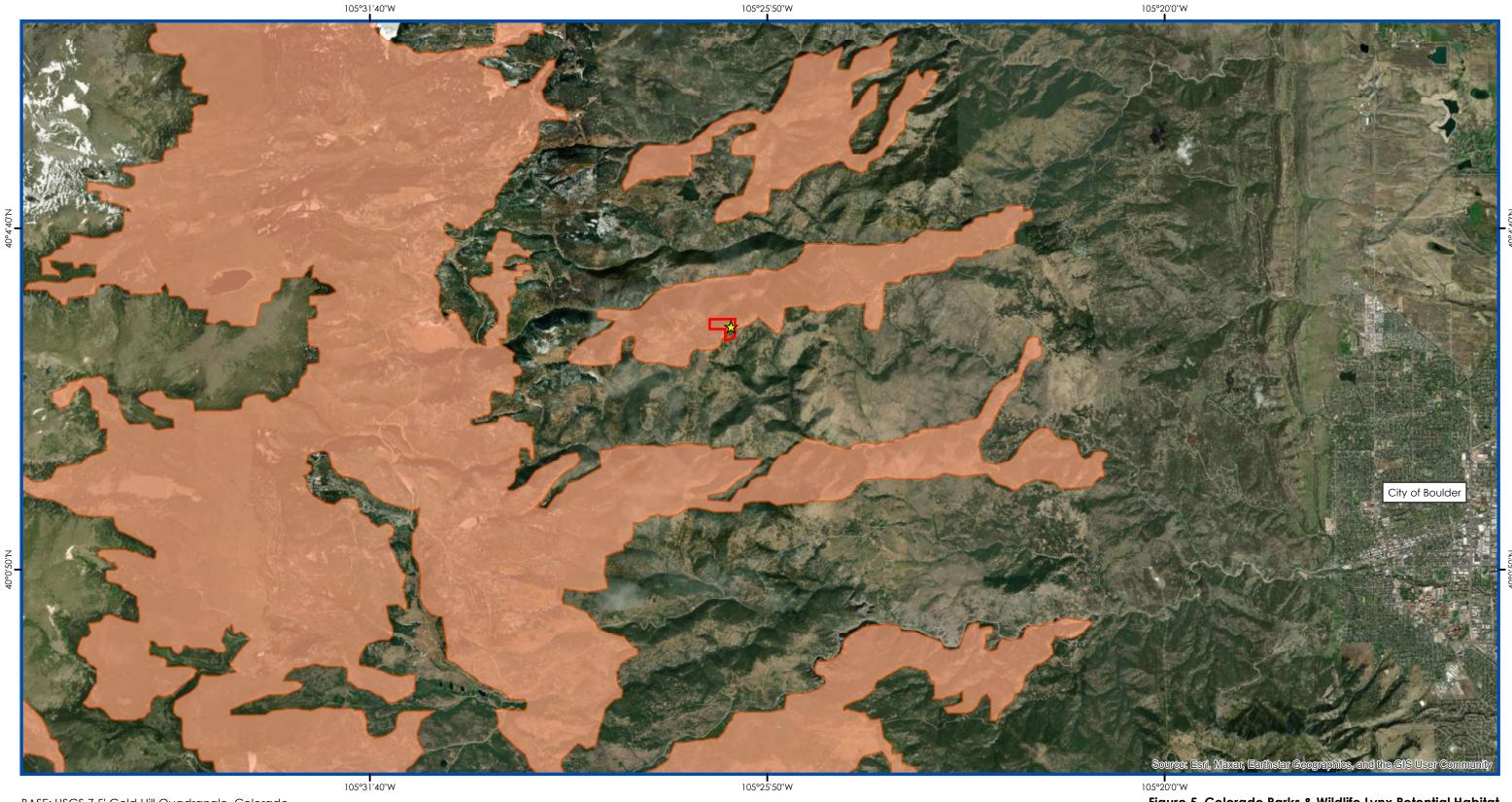
Prepared by:

BIRCH ECOLOGY

ATTACHMENT A

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BASE: USGS 7.5' Gold Hill Quadrangle, Colorado

Figure 5. Colorado Parks & Wildlife Lynx Potential Habitat Whisper Mountain Homestead

July 2024

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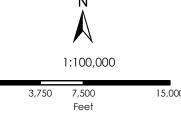
CPW Lynx Potential Habitat



Tract 4 Boundary

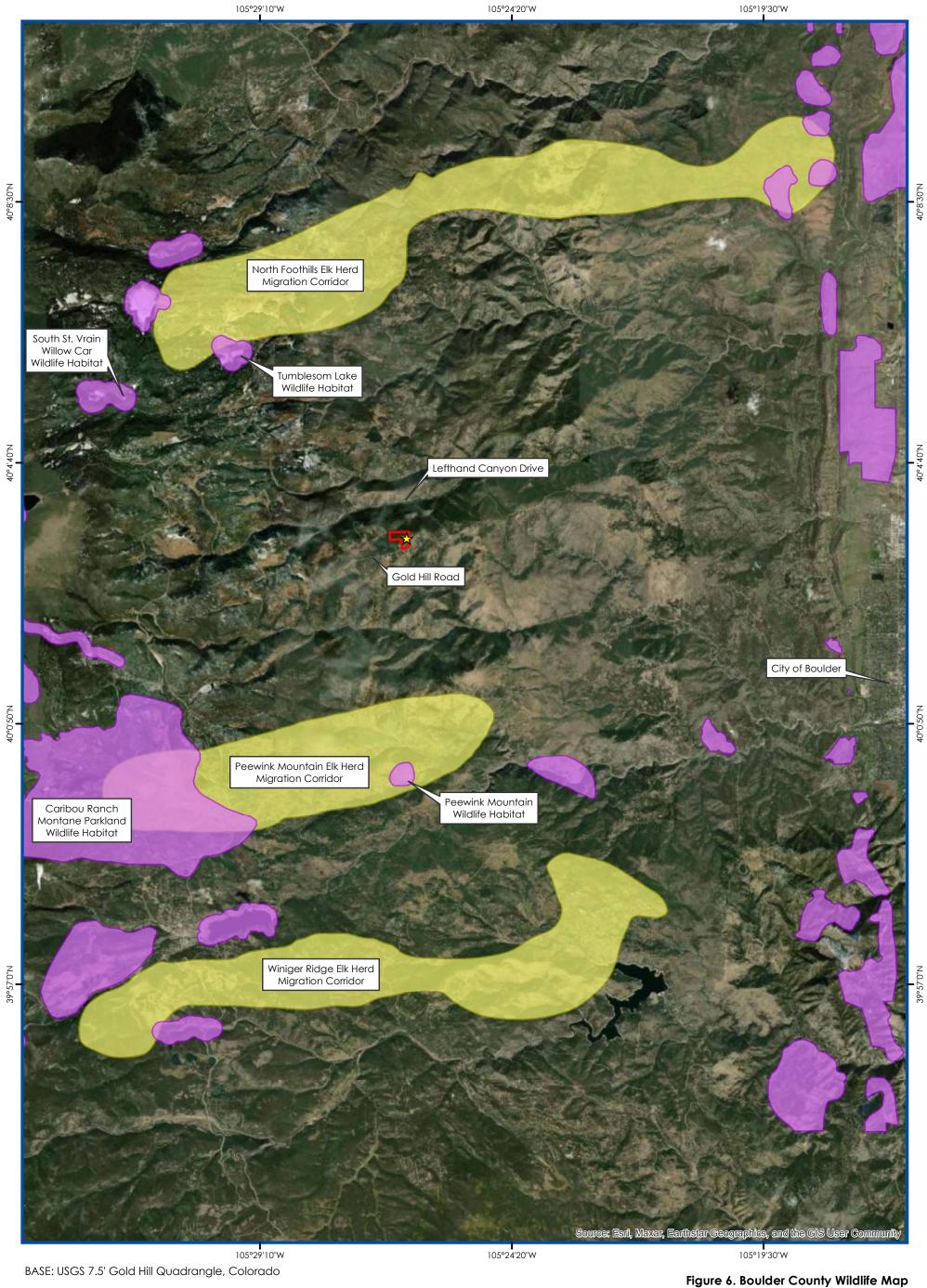


Proposed Home Location





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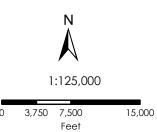
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Boulder County Critical Wildlife Habitats

Boulder County Wildlife Migration Corridors

Tract 4 Boundary

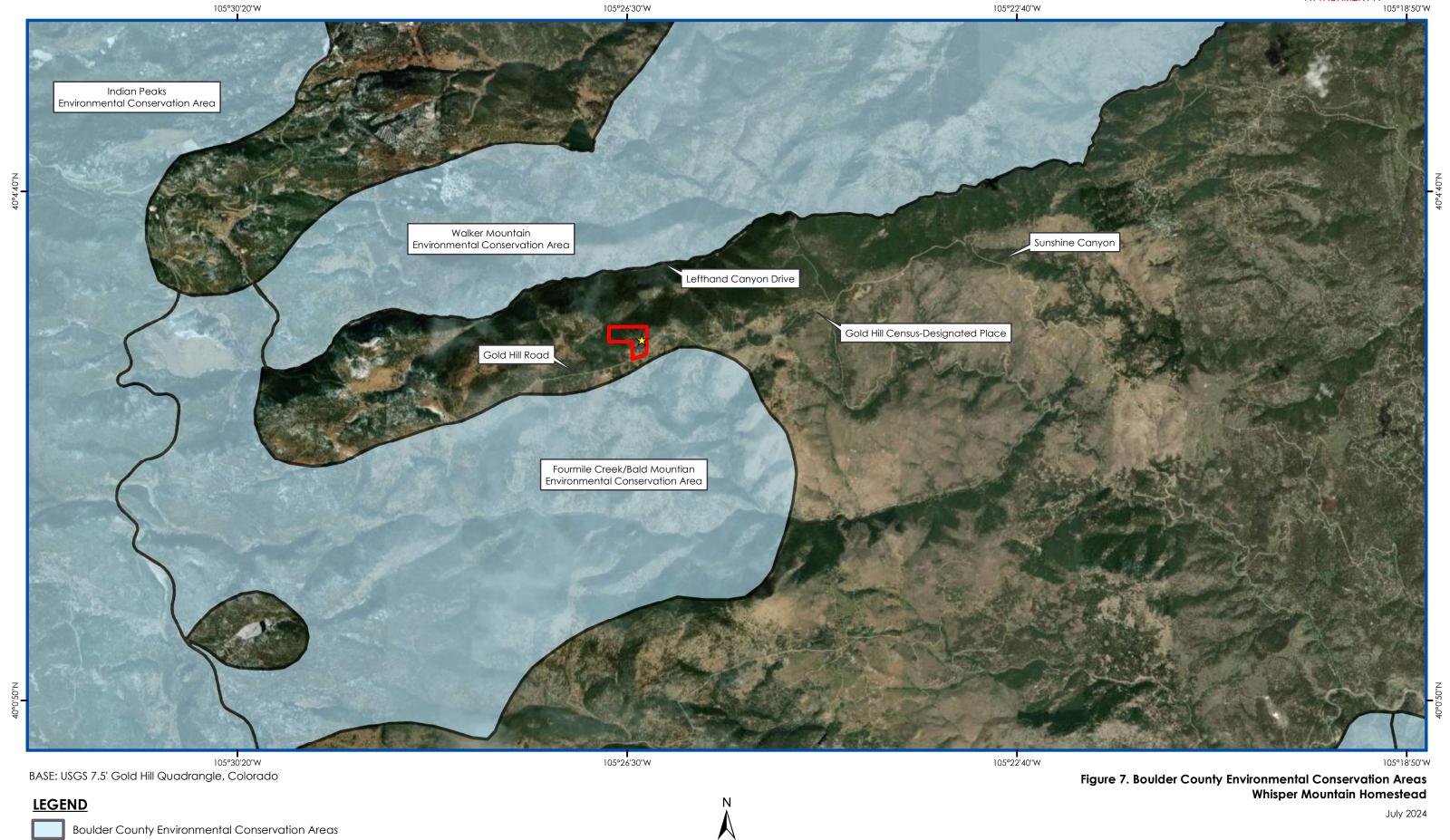
Proposed Home Location



Tigure 6. Boulder County Wildlife Map
Whisper Mountain Homestead

July 2024

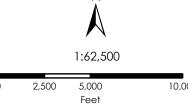




Tract 4 Boundary



Proposed Home Location



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ATTACHMENT A

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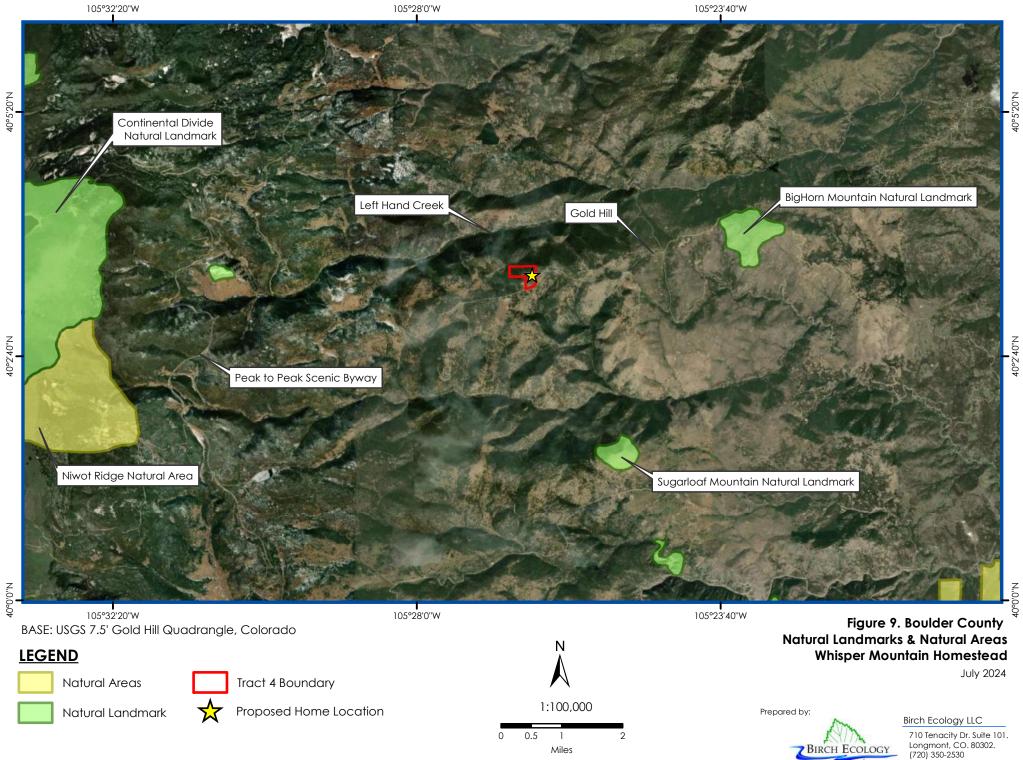
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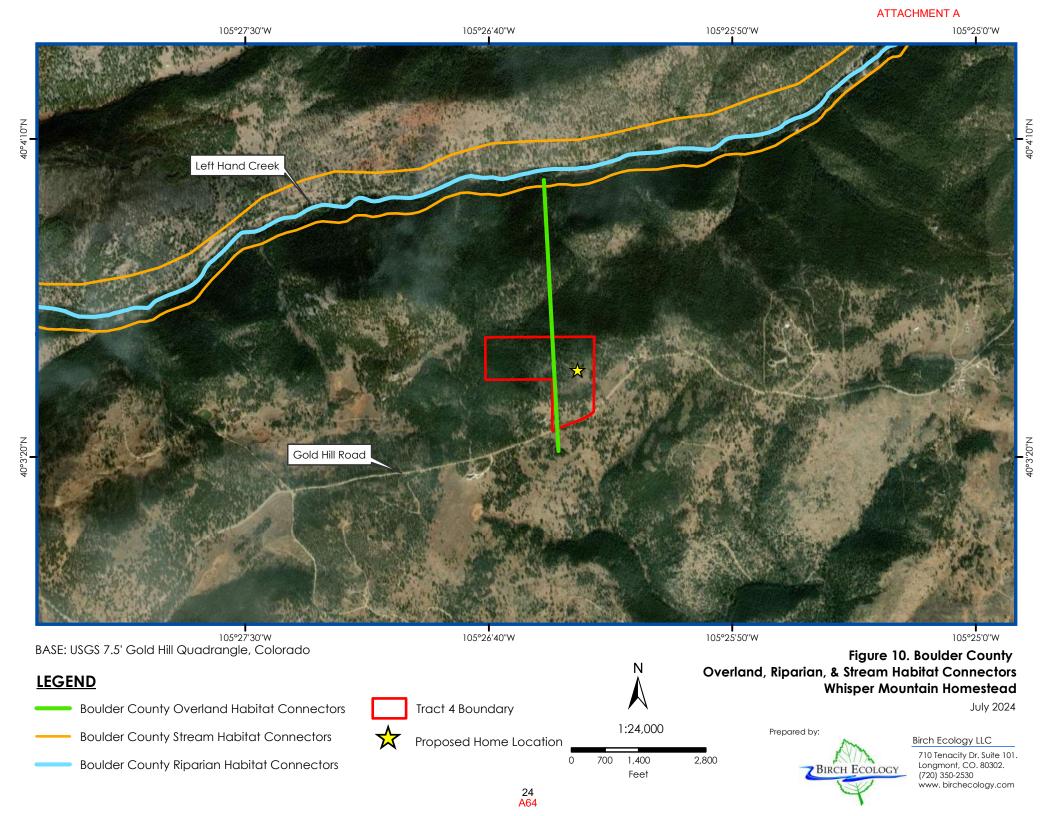
Boulder County Significant Natural Communities

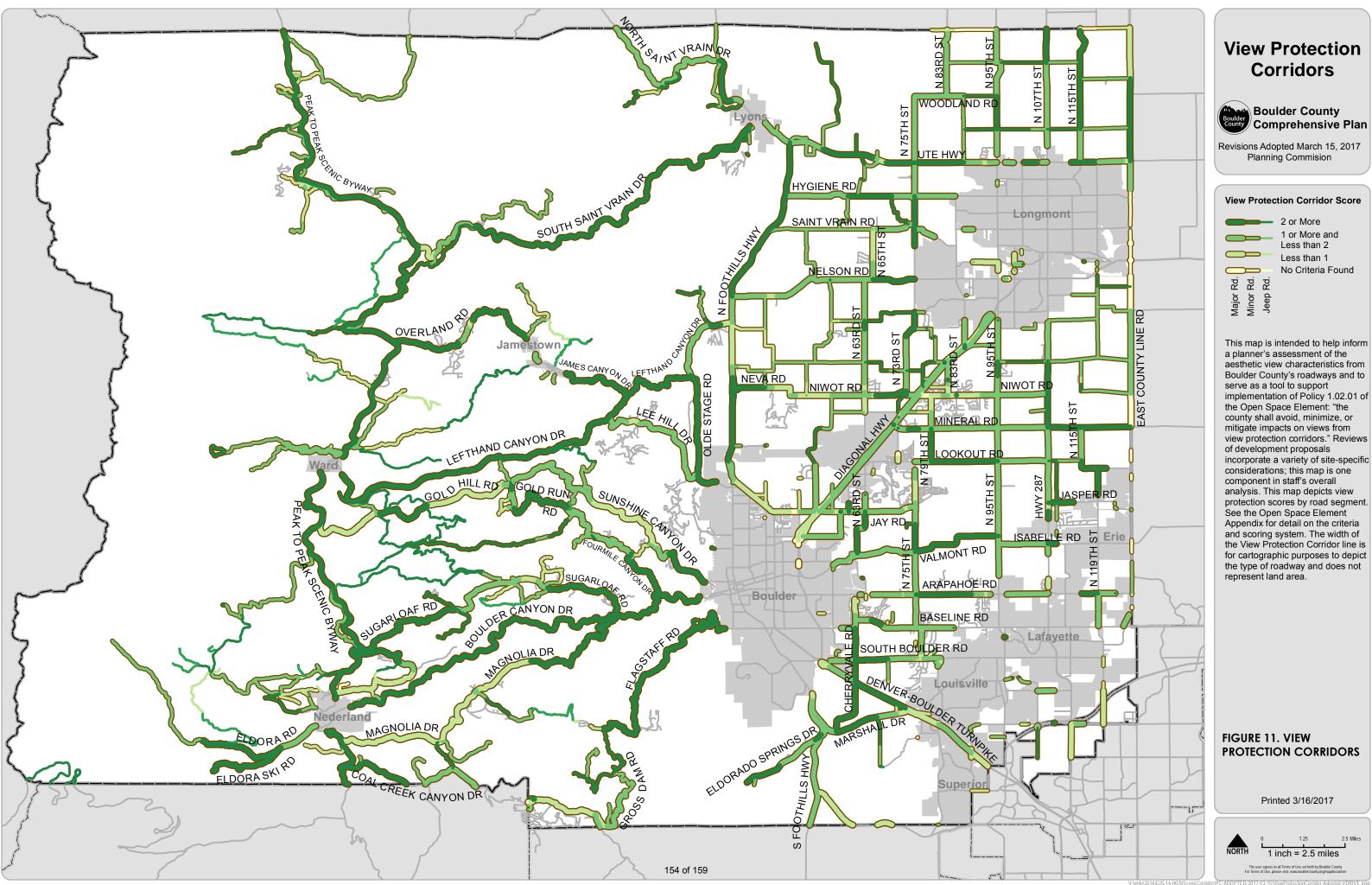
Boulder County Rare Plant Areas

Proposed Home Location

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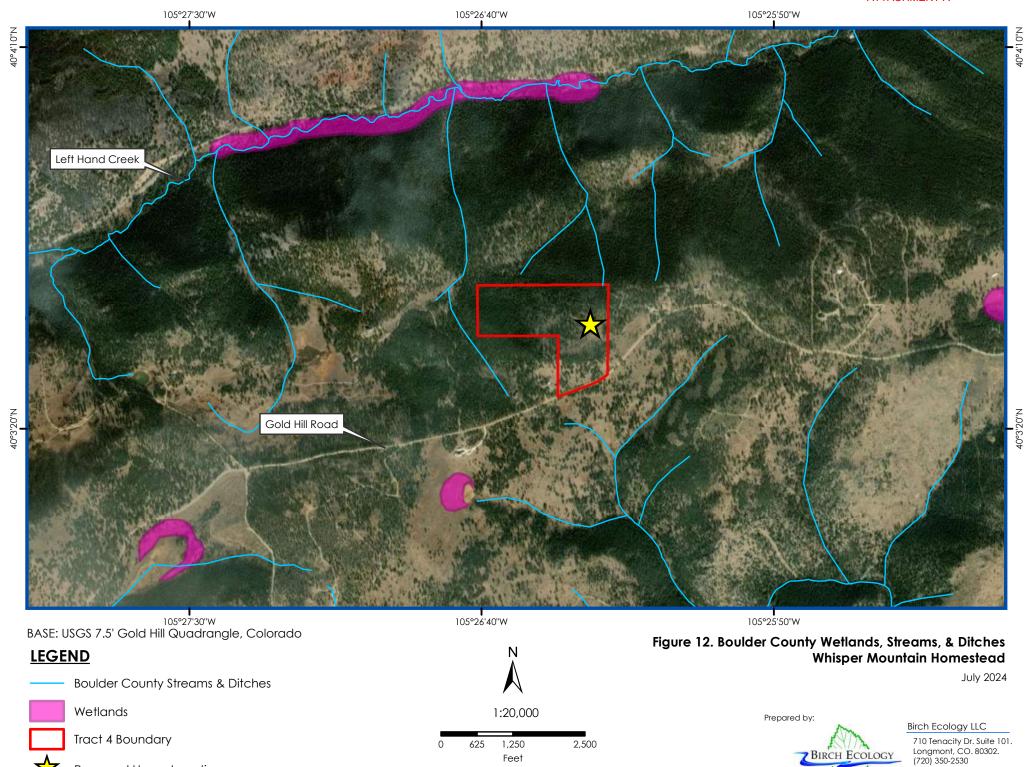






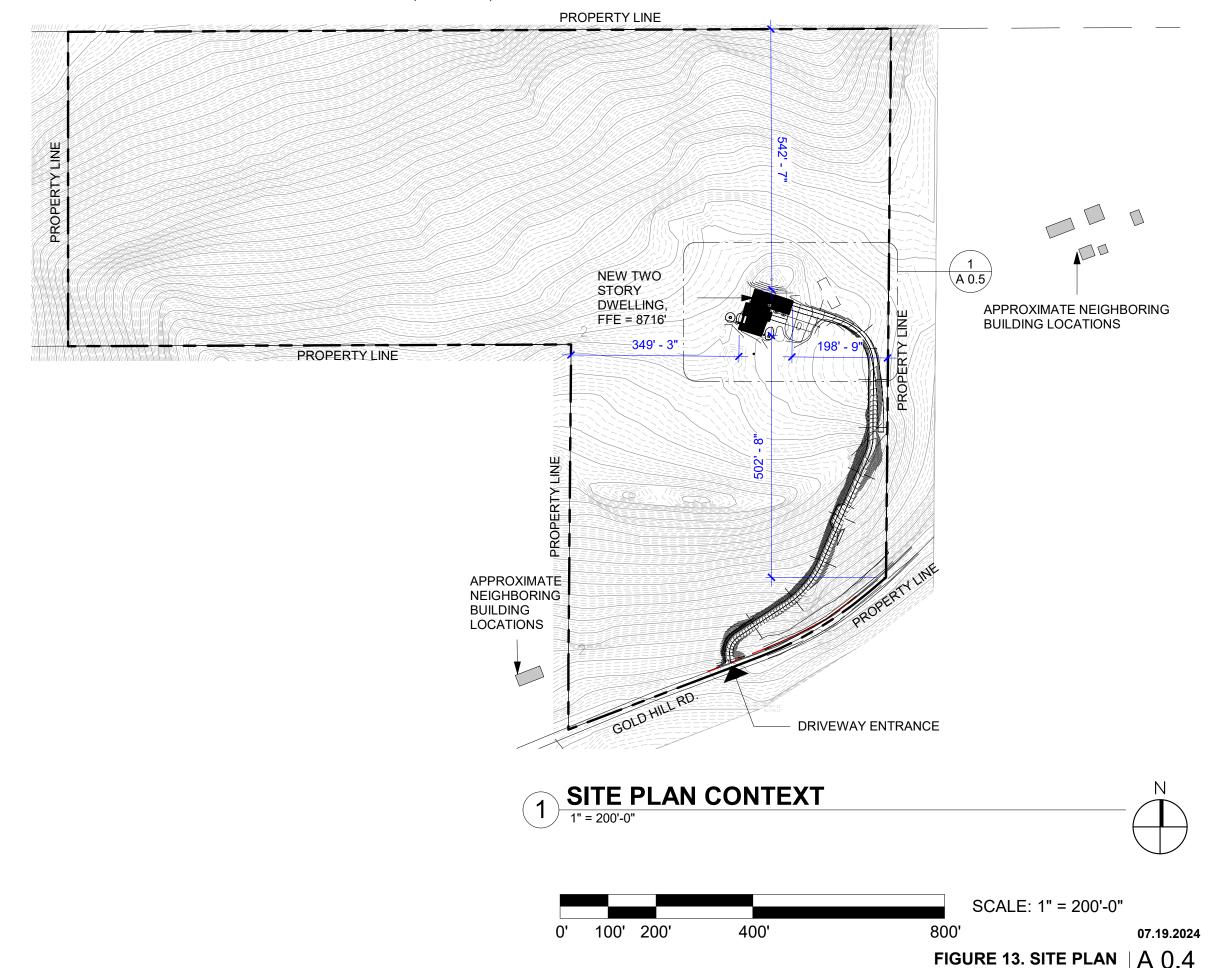
ATTACHMENT A

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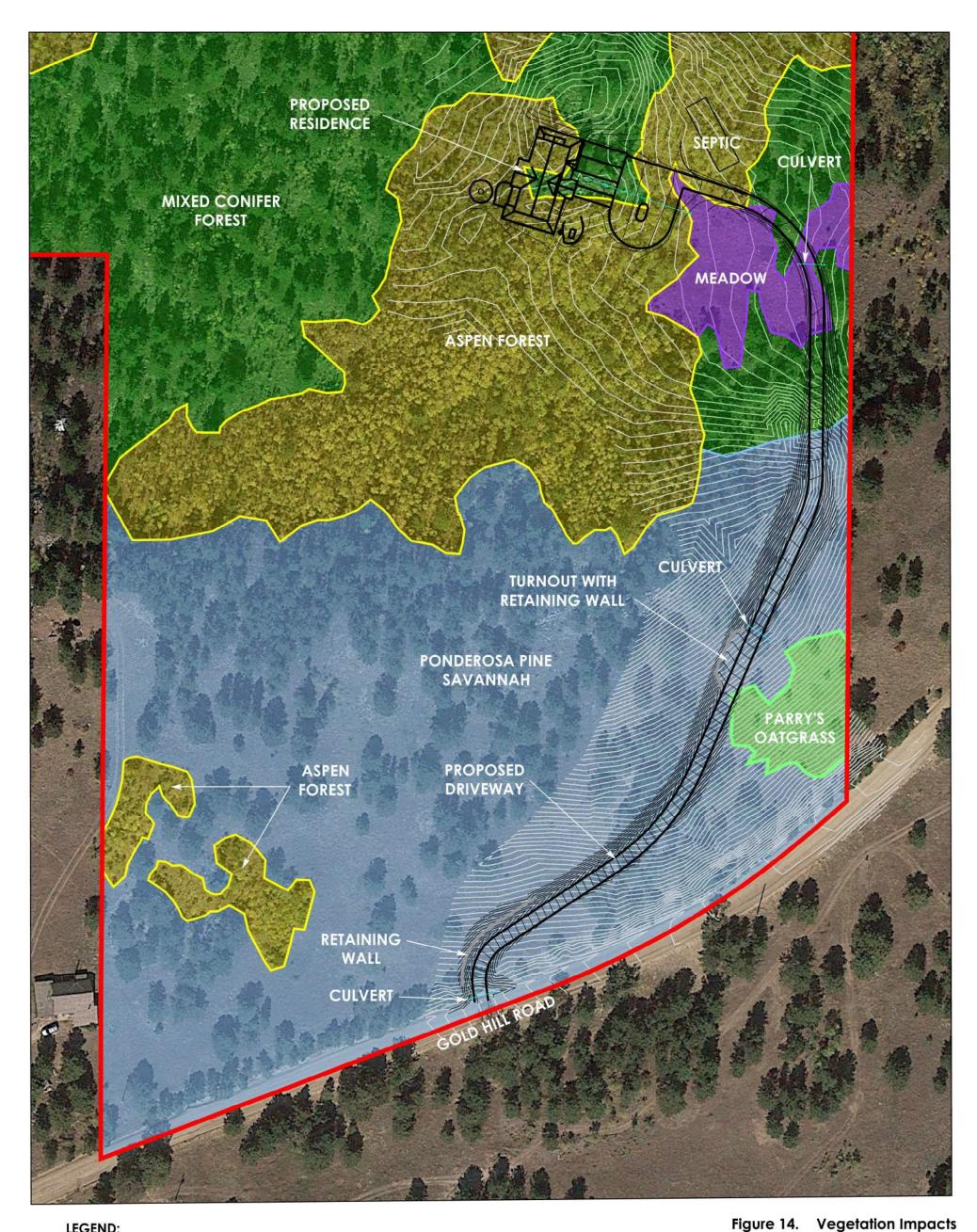


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Proposed Home Location







LEGEND:

Mixed Conifer Forest

Ponderosa Pine Savannah

Aspen Forest

Meadow

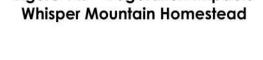
Parry's Oatgrass Grassland

Proposed Culvert

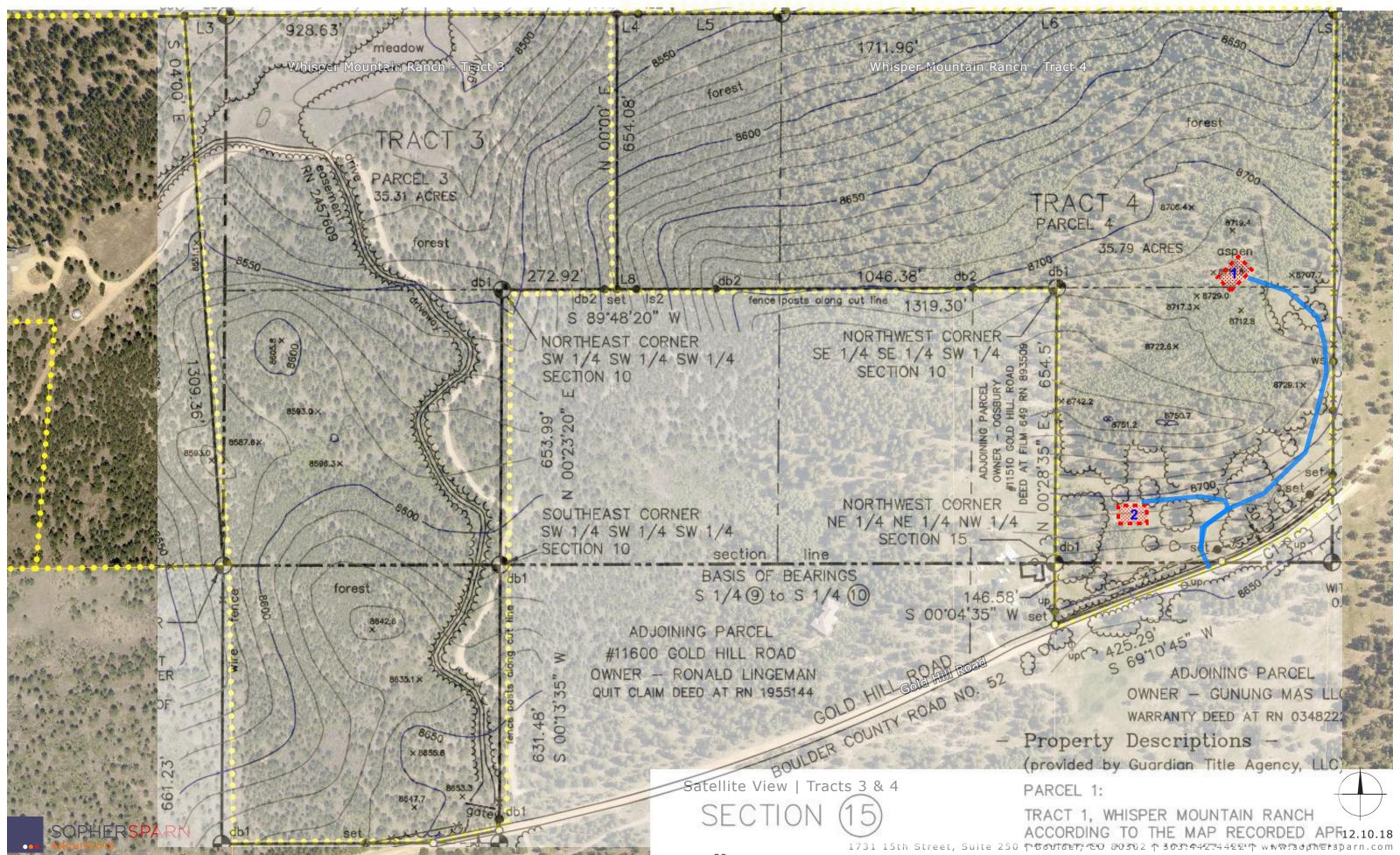
Property Boundary

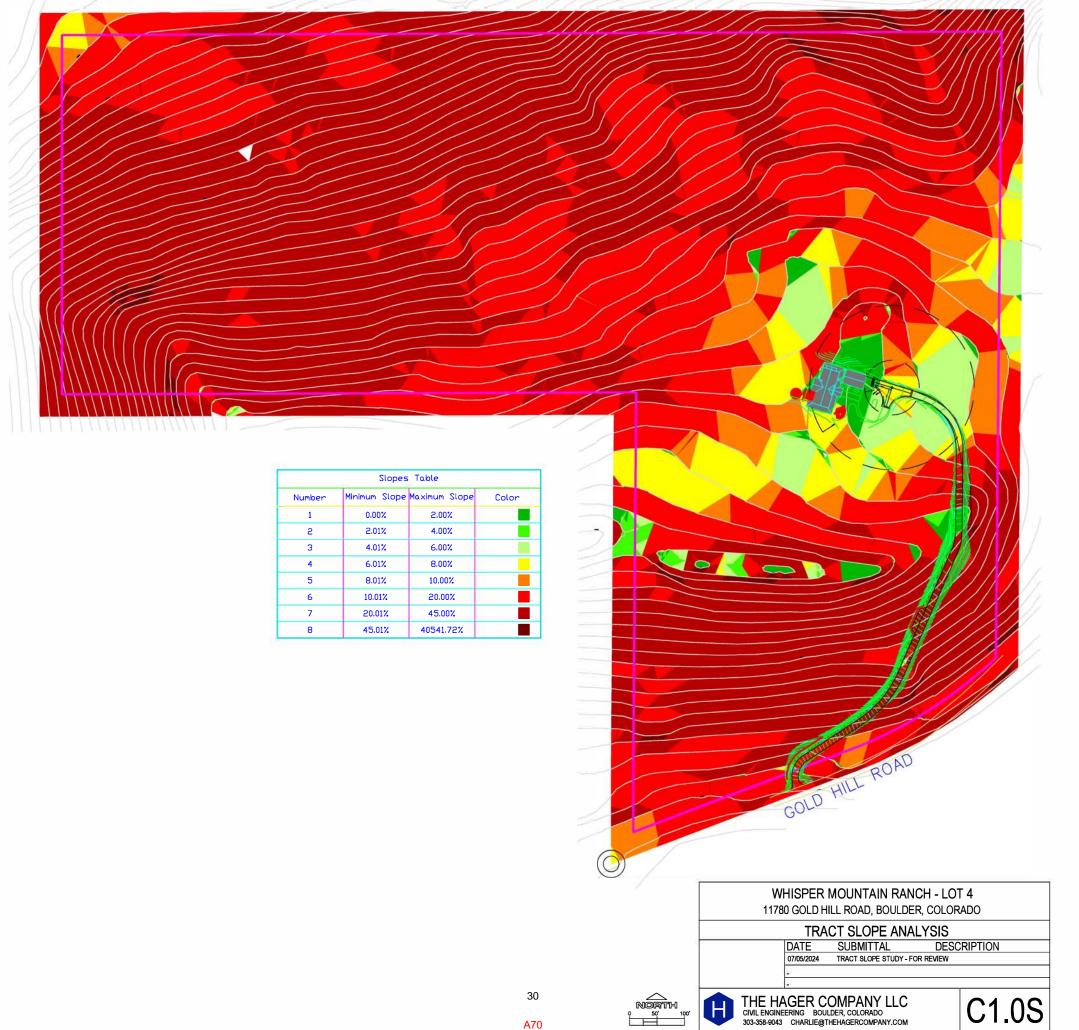
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Background Image: Google Earth









10.0 TABLES

TABLE 1 Vegetation Types Whisper Mountain Homestead

Vegetation Type		Area (ac)	
Mixed Conifer Forest		23.4	
Ponderosa Pine Savannah		6.3	
Aspen Forest		5.5	
Meadow		0.3	
Parry's Oatgrass Grassland		0.2	
	TOTAL	35.8	

TABLE 2 Vascular Plant Species List Whisper Mountain Homestead

Scientific Name	Common Name	<u>Family</u>	<u>Origin</u>	Wetland <u>Status**</u>
Trees				
Juniperus scopulorum Pinus contorta	Rocky Mountain Juniper Lodgepole pine	Cupressaceae Pinaceae	N N	NL FAC
ssp. latifolia				
Pinus flexilis	Limber pine	Pinaceae	N	5.4.011
Pinus ponderosa	Ponderosa pine	Pinaceae	N	FACU
Populus tremuloides	Aspen	Salicaceae	N	FACU FACU
Pseudotsuga menziesii	Douglas fir	Pinaceae	Ν	FACU
Shrubs				
Chrysothamnus viscidiflorus	Green rabbitbrush	Asteraceae	Ν	NL
Jamesia americana	Cliffbush	Hydrangeaceae	Ν	
Juniperus communis ssp. alpina	Common juniper	Cupressaceae	Ν	UPL
Purshia tridentata	Bitterbrush	Rosaceae	Ν	NL
Ribes cereum	Wax currant	Grossulariaceae	Ν	NL
Rosa woodsii	Woods' rose	Rosaceae	Ν	FACU
Shepherdia canadensis	Buffaloberry	Elaeagnaceae	Ν	UPL
Perennial Graminoids				
Bromus inermis	Smooth brome	Poaceae	1	UPL
Carex geyeri	Elk sedge	Cyperaceae	Ν	NL
Carex sp.	Sedge	Cyperaceae		NL
Danthonia parryi	Parry's oatgrass	Poaceae	Ν	NL
Festuca spp.	Fescue	Poaceae	-	=
Koeleria macrantha	Junegrass	Poaceae	Ν	NL
Leucopoa kingii	Spike fescue	Poaceae	Ν	NL
Muhlenbergia montana	Mountain muhly	Poaceae	Ν	UPL
Pascopyrum smithii	Western wheatgrass	Poaceae	Ν	FACU
Perennial Forbs				
Achillea millefolium	Yarrow	Asteraceae	Ν	FACU
Anemone patens var. multifida	Pasque flower	Ranunculaceae	Ν	
Antennaria parvifolia	Smallleaf pussytoes	Asteraceae	Ν	NL
Antennaria rosea	Rosy pussytoes	Asteraceae	Ν	
Apocynum androsaemifolium	Dogbane	Apocynaceae	Ν	
Arctostaphylos uva-ursi	Kinnikinnick	Ericaceae	Ν	FACU
Artemisia frigida	Fringed sage	Asteraceae	Ν	NL
Artemisia ludoviciana	White sage	Asteraceae	N	FACU
Astragalus shortianus	Short's milkvetch	Fabaceae	Ν	NL
Astragalus sp.	Milkvetch	Fabaceae	-	-
Boechera stricta	Drummond's rockcress	Brassicaceae	N	FACU
Castilleja integra	Wholeleaf Indian paintbrush	Scrophulariaceae	N	NL

TABLE 2 Vascular Plant Species List Whisper Mountain Homestead

Scientific Name	<u>Common Name</u>	<u>Family</u>	<u>Origin</u>	Wetland Status**
Cerastium arvense ssp. strictum	Field chickweed	Caryophyllaceae	Ν	FACU
Corallorhiza maculata	Spotted coralroot orchid	Orchidaceae	Ν	UPL
Delphinium nuttallianum	Nuttall's larkspur	Helleboraceae	Ν	FAC
Draba streptocarpa	Pretty draba	Brassicaceae	Ν	NL
Drymocallis fissa	Bigflower cinquefoil	Rosaceae	Ν	NL
Epilobium angustifolium	Fireweed	Onagraceae	Ν	FACU
Erigeron compositus	Cutleaf daisy	Asteraceae	Ν	NL
Erigeron speciosus	Aspen fleabane	Asteraceae	Ν	NL
Erigeron vetensis	Early blue-top fleabane	Asteraceae	Ν	NL
Eriogonum umbellatum	Wild buckwheat	Polygonaceae	Ν	NL
Erysimum capitatum	Western wallflower	Brassicaceae	Ν	NL
Euphorbia brachyceras	Horned spurge	Euphorbiaceae	N	NL
Euphorbia esula	Leafy spurge	Euphorbiaceae	+	NL
Fragaria vesca	Woodland strawberry	Rosaceae	N	FACU
Frasera speciosa	Monument plant	Gentianaceae	N	NL
Gaillardia aristata	Blanket flower	Asteraceae	N	NL
Galium boreale	Northern bedstraw	Rubiaceae	N	FACU
Geranium caespitosum	Rocky Mountain geranium	Geraniaceae	Ν	FAC
Grindelia squarrosa	Gumweed	Asteraceae	Ν	FACU
Harbouria trachypleura	Whiskbroom Parsley	Apiaceae	Ν	NL
Heterotheca villosa	Golden aster	Asteraceae	Ν	NL
Ipomopsis aggregata	Scarlet gilia	Polemoniaceae	Ν	NL
Leucocrinum montanum	Sand Lily	Liliaceae	Ν	NL
Linum lewisii	Blue flax	Linaceae	Ν	NL
Lupinus argenteus	Silvery lupine	Fabaceae	Ν	NL
Maianthemum stellatum (Smilacina stellata)	Starry false Solomon seal	Convallariaceae	Ν	FAC
Mertensia lanceolata	Lanceleaf bluebells	Boraginaceae	Ν	NL
Micranthes rhomboidea	Diamondleaf saxifrage	Saxifragaceae	Ν	FAC
Oenothera sp.	Evening primrose	Onagraceae		NL
Penstemon virens	Blue mist penstemon	Plantaginaceae	Ν	NL
Physaria montana	Mountain bladderpod	Brassicaceae	Ν	NL
Potentilla fissa	Bigflower cinquefoil	Rosaceae	Ν	-
Potentilla hippiana	Woolly cinquefoil	Rosaceae	Ν	FACU
Rudbeckia hirta	Black-eyed susan	Asteraceae	Ν	FACU
Scutellaria brittonii	Britton's scullcap	Lamiaceae	Ν	NL
Sedum lanceolatum	Stonecrop	Crassulaceae	N	NL
Senecio integerrimus	Lambstongue groundsel	Asteraceae	Ν	FACU
Thermopsis divaricarpa	Spreading goldenbanner	Fabaceae	N	FAC
Annual/Biennial Forbs				
Alyssum simplex	Alyssum	Brassicaceae	1	NL

TABLE 2 Vascular Plant Species List Whisper Mountain Homestead

<u>Scientific Name</u>	<u>Common Name</u>	<u>Family</u>	<u>Origin</u>	Wetland <u>Status**</u>
Bahia dissecta	Ragleaf bahia	Asteraceae	Ν	NL
Carduus nutans ssp. macrolepis	Musk thistle	Asteraceae	l+	UPL
Corydalis aurea	Golden smoke	Fumariaceae	Ν	NL
Melilotus officinalis	Yellow sweet clover	Fabaceae	1	FACU
Tragopogon dubius	Salsify	Asteraceae	I	NL
Verbascum thapsus	Great mullein	Scrophulariaceae	+	FACU

^{*} Origin: N = Native; I = Introduced; I+ = Colorado State-Listed Noxious Weed

^{** &}lt;u>Wetland Status:</u> OBL = Obligate Wetland; FACW = Facultative Wetland; FAC = Facultative; FACU = Facultative Upland; UPL = Obligate Upland; NL = No Status in this Region

Appendix A of Colorado's Statewide Wildlife Action Plan includes 117 species of Colorado's most imperiled plant species. Of these, ten species are known to occur in Boulder County. The habitat and potential occurrence of these species is summarized in Table 3 below:

Table 3. Colorado Statewide Wildlife Action Plan Rare Plant Species of Boulder County
Whisper Mountain Homestead

Scientific Name	Common Name	<u>Habitat Description</u>	Potential to Occur in Project Area
Aletes humilus	Larimer aletes	Montane forests, commonly on N or W facing slopes, in crevices and cracks of rock outcrops, coarse-textured soils derived from Silver Plume granite, or occasionally in forest duff of open Ponderosa pine-Douglas fir forests; 6,500 - 8,700 ft	Potentially suitable habitat – Tract 4 is located at the upper-most elevation range of this species, extending above its recorded limit along the rocky ridge. No Larimer aletes was found during the site assessment.
Astragalus sparsiflorus	Front Range milkvetch	Evergreen forests, dry gravelly banks, meadows, open hillsides and sandy canyon bottoms, sometimes on road cuts or natural talus; 5,469 - 9,970 ft	Potentially suitable habitat – No Front Range milkvetch was found during the site assessment. Mature fruits are required for identification.
Botrychium lineare	Narrow leaf grape fern	Varied habitats - mostly at higher elevations in the mountains, but specific habitats have ranged from a meadow dominated by knee-high grass, shaded woods and woodlands, grassy horizontal ledges on a north-facing limestone cliff,	Potentially suitable habitat – No fern species were found during the site assessment.

Table 3. Colorado Statewide Wildlife Action Plan Rare Plant Species of Boulder County Whisper Mountain Homestead

Scientific Name	Common Name	Habitat Description	Potential to Occur in Project Area
		and a flat upland section of a river valley; 3,800 - 11,700 ft.	
		Flora of Colorado (Ackerfield, 2015) treats Botrychium lineare as Botrychium campestre ssp. lineare, and states that the habitat is open subalpine slopes along the Continental Divide and near Bonny Reservoir on the eastern plains.	
Castilleja puberula	Downy Indian paintbrush	Rocky tundra and high peaks of the Continental Divide; 10,725 - 13,018 ft	No suitable habitat
Draba exunguiculata	Clawless draba	Rocky, gravelly slopes and talus, fellfields, usually granitic bedrock; 12,000 - 14,000 ft	No suitable habitat
Oenothera coloradensis ssp. coloradensis (Gaura neomexicana ssp. coloradensis)	Colorado butterfly plant	Sub-irrigated, alluvial soils of drainage bottoms surrounded by mixed grass prairie; 4,859 - 6,378 ft	No suitable habitat
Mimulus gemmiparus	Budding monkey flower	Subalpine species found on granite outcrops with surface seepage water, moist forest soils near seeps and springs; 8,359 - 11,201 ft	No suitable habitat – No seeps, springs, or bodies of water were found during the survey.
Physaria bellii	Bell's twinpod	Front Range foothills, often in shale and	No suitable habitat.

Table 3. Colorado Statewide Wildlife Action Plan Rare Plant Species of Boulder County Whisper Mountain Homestead

Scientific Name	Common Name	Habitat Description	Potential to Occur in Project Area
		limestone soils of the Fountain/Ingleside, Lykins, Niobrara, and Pierre formations. This species is found in association with grassland and shrubland habitats, in rocky areas and road cuts; 5,089 - 6,552 ft	
Potentilla rupincola	Rocky Mountain cinquefoil	Granitic outcrops or thin, gravelly granitic soils with west or north exposure, often with ponderosa pine or limber pine; 6,900 - 10,500 ft	Potentially suitable habitat – No Rocky Mountain cinquefoil was found during the site assessment.
Spiranthes diluvialis	Ute ladies' tresses orchid	Subirrigated alluvial soils along streams and in open meadows in floodplains; 4,528 - 7,753 ft	No suitable habitat.

Table 4. IPAC Federally Listed & Proposed Species of Concern Whisper Mountain Homestead

<u>Species</u>	<u>Status</u>	<u>Habitat Requirements</u>	Potential Impacts
Fishes			
Greenback Cutthroat Trout (Oncorhynchus clarki stomias)	FT	High altitude mountain streams with no non-native salmonids.	None – Suitable habitat not present.
Pallid Sturgeon (Scaphirhynchus albus)	FE	Lower reaches of the Platte River and upper Missouri River.	None – Suitable habitat not present. The project will not cause water depletions to the South Platte River System.
Birds			
Mexican Spotted Owl (Strix occidentalis lucida)	FT	Narrow rocky canyons with trees.	Potentially Suitable Habitat – Spotted owls are unlikely to occur in the project area. The project site does not overlap with the critical habitat designations. The project should have no impact on Mexican spotted owl.
Piping Plover (Charadrius melodus)	FT	Open ground away from water, often on broad exposed sand bars.	None – Suitable habitat not present. The project will not cause water depletions to the South Platte River System.
Whooping Crane (Grus americana) Mammals	FE	Muskeg, prairie pools, marshes.	None – Suitable habitat not present. The project will not cause water depletions to the South Platte River System.
	ГТ		De la california Conidentale a Li colo il cut
Canada Lynx (Lynx Canadensis)	FT	High altitude spruce-fir forests.	Potentially Suitable Habitat – Colorado Parks & Wildlife has mapped a portion of Tract 4 as potentially suitable habitat for Canada Lynx. However, the project site does not overlap with the critical habitat designations. The project should have no impact on Canada Lynx.

Table 4. IPAC Federally Listed & Proposed Species of Concern Whisper Mountain Homestead

<u>Species</u>	<u>Status</u>	<u>Habitat Requirements</u>	Potential Impacts
Gray Wolf (Canis Iupis)	EP	Range of habitats including "temperate forests, mountains, tundra, taiga, grasslands and deserts" (U.S. Fish and Wildlife Service 2024).	Currently None – The Gray Wolf was reintroduced to Colorado in December of 2023, and as of May 21st, 2024, the range of collared wolves have not extended into Boulder County (Colorado Parks & Wildlife 2024).
Tricolored Bat (Periomyotis subflavus)	PE	In the winter, found in caves, abandoned mines, and road culverts. From the spring to the fall, found roosting in deciduous hardwood trees or sometimes in pine trees.	Potentially Suitable Habitat – The project will not impact any mines, caves, or existing road culverts. Impacts on deciduous hardwood trees and pine trees will be minimal and this project should have no impact to the Tricolored Bat.
Insects			
Monarch Butterfly (Danaus plexippus)	CA	Monarch butterflies require flowers for food and milkweed plants (Asclepias spp.) for egg laying (USFWS 2024).	Potentially Suitable Habitat – The project site is not an important habitat to monarch butterflies. No milkweed plants were found during the survey.
Flowering Plants			
Ute Ladies'-tresses orchid (Spiranthes diluvialis)	FT	Subirrigated alluvial soils along streams and in open meadows in floodplains; 4,528 – 7,000 ft	None – Ute Ladies'-tresses orchid is restricted to elevations below 7,000 ft (Ackerfield 2015). The project site is located above 8,600 ft and therefore would have no impact on populations of this plant species.
Western Prairie Fringed Orchid (Platanthera praeclara)	FT	Mesic tallgrass prairies and sedge meadows.	None – The project would not create water depletions to the South Platte River System and therefore would have no impact on this orchid species.

FE = Federally Endangered; FT = Federally Threatened; PE = Proposed Endangered PT = Proposed Threatened; EP = Experimental Population, Non-Essential; CA = Candidate

11.0 PHOTOS



Photo 1. View of the Ponderosa Pine Savannah on the south-facing hillside above Gold Hill Road. (6/7/24).



Photo 2. View south to Gold Hill Road near the location of the driveway entrance. This lower part of the slope is dominated by the introduced grass smooth brome with ponderosa pine in the overstory. (6/7/24).



Photo 3. Aspen forest on the south-facing slope near a rock outcrop, with common juniper in the understory. (6/7/24).



Photo 4. Rock outcrops are common along the ridge top. This area supports ponderosa pine and Douglas-fir, with wax currant in the understory. (6/7/24).



Photo 5. Ponderosa Pine Savannah and Parry's Oatgrass grassland on the south-facing slope overlooking Gold Hill Road. (6/7/24).



Photo 6. Panoramic view of the east end of the meadow with a few scattered ponderosa pine, and Aspen Forest in the background at left. (6/7/24).



Photo 7. View of the back side of the ridge, with rock outcrops and Mixed Conifer Forest with scattered aspen. (6/7/24).



Photo 8. Mixed Conifer Forest along the ridge top with rock outcrops and scattered young aspen. (6/7/24).



Photo 9. Mixed Conifer Forest dominated by Douglas-fir, ponderosa pine and aspen with common juniper in the shrub layer. (6/7/24).



Photo 10. Shallow, gravelly soils result in canopy openings of the Mixed Conifer Forest where cutleaf daisy and stonecrop are common. (6/7/24).



Photo 11. The Ponderosa Pine Savannah on the upper part of the south-facing hillside has a native understory that includes spike fescue, mountain muhly, Geyer sedge, and a diversity of forbs. (6/7/24).



Photo 12. The rocky understory along the ridge top supports pretty draba, cutleaf daisy, pasque flower, and wax currant. (6/7/24).



Photo 13. Panoramic view of the western edge of the meadow where it transitions to Aspen Forest. (6/7/24).



Photo 14. The Aspen Forest west of the meadow and near the proposed homesite with abundant kinninnick and golden banner in the understory. (6/7/24).



Photo 15. View to the west across the Meadow toward the Aspen Forest. (6/7/24).



Photo 16. Parry's Oatgrass Grassland surrounded Ponderosa Pine Savannah on the south-facing hillside. (6/7/24).



Photo 17. Parry's Oatgrass Grassland with golden banner, Nuttall's larkspur and lamb's tongue groundsel. (6/7/24).



Photo 18. Panoramic view to the east across the proposed homesite, with the rocky area, Mixed Conifer Forest, and Aspen Forest in the area of disturbance. (6/7/24).



Photo 19. View to the west across the proposed homesite location, with the rocky area, Mixed Conifer Forest on the right and Aspen Forest on the left. (6/7/24).



Photo 20. View to the north of the Douglas-fir and ponderosa pine trees in the location of the proposed homesite. This is the impacted area of the Mixed Conifer Forest. (6/7/24).

12.0 REFERENCES

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Appendix A. IPaC Trust Resources Report

IPaC

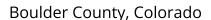
U.S. Fish & Wildlife Service

IPaC resource list

This report is an automatically generated list of species and other resources such as critical habitat (collectively referred to as *trust resources*) under the U.S. Fish and Wildlife Service's (USFWS) jurisdiction that are known or expected to be on or near the project area referenced below. The list may also include trust resources that occur outside of the project area, but that could potentially be directly or indirectly affected by activities in the project area. However, determining the likelihood and extent of effects a project may have on trust resources typically requires gathering additional site-specific (e.g., vegetation/species surveys) and project-specific (e.g., magnitude and timing of proposed activities) information.

Below is a summary of the project information you provided and contact information for the USFWS office(s) with jurisdiction in the defined project area. Please read the introduction to each section that follows (Endangered Species, Migratory Birds, USFWS Facilities, and NWI Wetlands) for additional information applicable to the trust resources addressed in that section.

Location





Local office

Colorado Ecological Services Field Office

(303) 236-4773

(303) 236-4005

MAILING ADDRESS

OT FOR CONSULTATIO

Denver Federal Center P.O. Box 25486 Denver, CO 80225-0486

PHYSICAL ADDRESS

1 Denver Federal Center Bldg 25 Room W1911} Denver, CO 80225-0001

Endangered species

This resource list is for informational purposes only and does not constitute an analysis of project level impacts.

The primary information used to generate this list is the known or expected range of each species. Additional areas of influence (AOI) for species are also considered. An AOI includes areas outside of the species range if the species could be indirectly affected by activities in that area (e.g., placing a dam upstream of a fish population even if that fish does not occur at the dam site, may indirectly impact the species by reducing or eliminating water flow downstream). Because species can move, and site conditions can change, the species on this list are not guaranteed to be found on or near the project area. To fully determine any potential effects to species, additional site-specific and project-specific information is often required.

Section 7 of the Endangered Species Act **requires** Federal agencies to "request of the Secretary information whether any species which is listed or proposed to be listed may be present in the area of such proposed action" for any project that is conducted, permitted, funded, or licensed by any Federal agency. A letter from the local office and a species list which fulfills this requirement can **only** be obtained by requesting an official species list from either the Regulatory Review section in IPaC (see directions below) or from the local field office directly.

For project evaluations that require USFWS concurrence/review, please return to the IPaC website and request an official species list by doing the following:

- 1. Draw the project location and click CONTINUE.
- 2. Click DEFINE PROJECT.
- 3. Log in (if directed to do so).
- 4. Provide a name and description for your project.
- 5. Click REQUEST SPECIES LIST.

Listed species¹ and their critical habitats are managed by the <u>Ecological Services Program</u> of the U.S. Fish and Wildlife Service (USFWS) and the fisheries division of the National Oceanic and Atmospheric Administration (NOAA Fisheries²).

Species and critical habitats under the sole responsibility of NOAA Fisheries are **not** shown on this list. Please contact <u>NOAA Fisheries</u> for <u>species under their jurisdiction</u>.

1. Species listed under the <u>Endangered Species Act</u> are threatened or endangered; IPaC also shows species that are candidates, or proposed, for listing. See the <u>listing status page</u> for more information. IPaC only shows species that are regulated by USFWS (see FAQ).

IPaC: Explore Location resources

2. NOAA Fisheries, also known as the National Marine Fisheries Service (NMFS), is an office of the National Oceanic and Atmospheric Administration within the Department of Commerce.

The following species are potentially affected by activities in this location:

Mammals

NAME **STATUS**

Canada Lynx Lynx canadensis

Threatened

There is **final** critical habitat for this species. Your location does not overlap the critical habitat.

https://ecos.fws.gov/ecp/species/3652

Gray Wolf Canis lupus

EXPN

No critical habitat has been designated for this species.

https://ecos.fws.gov/ecp/species/4488

Tricolored Bat Perimyotis subflavus

Proposed Endangered

Wherever found

No critical habitat has been designated for this species.

https://ecos.fws.gov/ecp/species/10515

Birds

NAME **STATUS**

Mexican Spotted Owl Strix occidentalis lucida

Threatened

Threatened

Wherever found

There is **final** critical habitat for this species. Your location does not overlap the critical habitat.

https://ecos.fws.gov/ecp/species/8196

Piping Plover Charadrius melodus

This species only needs to be considered if the following

condition applies:

• Project includes water-related activities and/or use in the N. Platte, S. Platte, and Laramie River Basins which may affect listed species in Nebraska.

There is **final** critical habitat for this species. Your location does not overlap the critical habitat.

Whooping Crane Grus americana

Endangered

There is **final** critical habitat for this species. Your location does not overlap the critical habitat.

https://ecos.fws.gov/ecp/species/758

Fishes

NAME STATUS

Greenback Cutthroat Trout Oncorhynchus clarkii stomias

Wherever found

No critical habitat has been designated for this species.

https://ecos.fws.gov/ecp/species/2775

Threatened

Pallid Sturgeon Scaphirhynchus albus

Wherever found

This species only needs to be considered if the following condition applies:

• Project includes water-related activities and/or use in the N. Platte, S. Platte, and Laramie River Basins which may affect listed species in Nebraska.

No critical habitat has been designated for this species.

https://ecos.fws.gov/ecp/species/7162

Endangered

Insects

NAME STATUS

Monarch Butterfly Danaus plexippus

Wherever found

No critical habitat has been designated for this species.

https://ecos.fws.gov/ecp/species/9743

Candidate

Flowering Plants

NAME STATUS

Ute Ladies'-tresses Spiranthes diluvialis

Wherever found

No critical habitat has been designated for this species.

https://ecos.fws.gov/ecp/species/2159

Threatened

Western Prairie Fringed Orchid Platanthera praeclara

Threatened

Wherever found

No critical habitat has been designated for this species.

https://ecos.fws.gov/ecp/species/1669

Critical habitats

Potential effects to critical habitat(s) in this location must be analyzed along with the endangered species themselves.

There are no critical habitats at this location.

You are still required to determine if your project(s) may have effects on all above listed species.

Bald & Golden Eagles

Bald and golden eagles are protected under the Bald and Golden Eagle Protection Act¹ and the Migratory Bird Treaty Act².

Any person or organization who plans or conducts activities that may result in impacts to bald or golden eagles, or their habitats³, should follow appropriate regulations and consider implementing appropriate conservation measures, as described in the links below.

Specifically, please review the "Supplemental Information on Migratory Birds and Eagles".

Additional information can be found using the following links:

- Eagle Management https://www.fws.gov/program/eagle-management
- Measures for avoiding and minimizing impacts to birds <u>https://www.fws.gov/library/collections/avoiding-and-minimizing-incidental-take-migratory-birds</u>
- Nationwide conservation measures for birds
 https://www.fws.gov/sites/default/files/documents/nationwide-standard-conservation-measures.pdf
- Supplemental Information for Migratory Birds and Eagles in IPaC
 https://www.fws.gov/media/supplemental-information-migratory-birds-and-bald-and-golden-eagles-may-occur-project-action

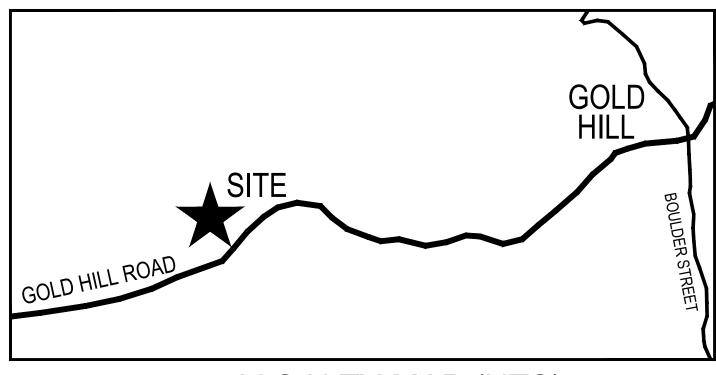
Appendix B. Grading, Erosion Control and Revegetation Plan

WHISPER MOUNTAIN RANCH LOT 4

11780 GOLD HILL ROAD, BOULDER, COLORADO

SITE ACCESS & RESIDENCE

GRADING, EROSION CONTROL & REVEGETATION PLANS



VICINITY MAP (NTS)

SHEET INDEX

C0.0 COVER SHEET
C1.0 GRADING, REVEGETATION & EROSION CONTROL PLAN - SOUTH
C1.1 GRADING, REVEGETATION & EROSION CONTROL PLAN - NORTH
C1.2 DRIVEWAY PROFILE
C1.3 DRIVEWAY SECTIONS
C1.4 SITE DETAILS

GENERAL NOTES:

1. ALL MATERIALS AND WORKMANSHIP SHALL BE IN CONFORMANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF THE BOULDER COUNTY, COLORADO DEPARTMENT OF TRANSPORTATION, LOCAL FIRE AUTHORITY, AND APPLICABLE STATE AND LOCAL STANDARDS AND SPECIFICATIONS. THE CONTRACTOR SHALL HAVE IN POSSESSION AT THE JOB SITE AT ALL TIMES ONE (1) SIGNED COPY OF APPROVED PLANS, STANDARDS AND SPECIFICATIONS. CONTRACTOR SHALL CONSTRUCT AND MAINTAIN EMERGENCY ACCESS ROUTES TO THE SITE AND STRUCTURE AT ALL TIMES PER THE APPLICABLE FIRE DISTRICT REQUIREMENTS. THE CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FOR ANY VARIANCE TO THE ABOVE DOCUMENTS. NOTIFY OWNER AND ENGINEER OF ANY CONFLICTING STANDARDS OR SPECIFICATIONS. IN THE EVENT OF ANY CONFLICTING STANDARD OR SPECIFICATION, THE MORE STRINGENT OR HIGHER QUALITY STANDARD, DETAIL OR SPECIFICATION

2. THE CONTRACTOR SHALL OBTAIN, AT HIS OWN EXPENSE, ALL APPLICABLE CODES, LICENSES, STANDARD SPECIFICATIONS, PERMITS, BONDS, ETC., WHICH ARE NECESSARY TO PERFORM THE PROPOSED WORK, INCLUDING, BUT NOT LIMITED TO A LOCAL AND STATE GROUNDWATER DISCHARGE AND COLORADO DEPARTMENT OF HEALTH AND ENVIRONMENT (CDPHE) STORMWATER DISCHARGE PERMIT ASSOCIATED WITH CONSTRUCTION ACTIVITY.

3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE REQUIRED PARTY (OWNER, OWNER'S REPRESENTATIVE, MUNICIPAL/DISTRICT INSPECTOR, GEOTECHNICAL ENGINEER, ENGINEER AND/OR UTILITY OWNER) AT LEAST 48 HOURS PRIOR TO START OF ANY CONSTRUCTION. PRIOR TO BACKFILLING, AND AS REQUIRED BY JURISDICTIONAL AUTHORITY AND/OR PROJECT SPECIFICATIONS. THE CONTRACTOR SHALL CONTINUE WITH NOTIFICATIONS THROUGHOUT THE PROJECT AS REQUIRED BY THE STANDARDS AND SPECIFICATIONS.

4. THE LOCATIONS OF EXISTING UTILITIES ARE SHOWN IN THE APPROXIMATE LOCATION BASED ON INFORMATION BY OTHERS. NOT ALL UTILITIES MAY BE SHOWN. THE CONTRACTOR SHALL DETERMINE THE EXACT SIZE, LOCATION AND TYPE OF ALL EXISTING UTILITIES WHETHER SHOWN OR NOT BEFORE COMMENCING WORK. THE CONTRACTOR SHALL BE FULLY AND SOLELY RESPONSIBLE FOR ANY AND ALL DAMAGES AND COSTS WHICH MIGHT OCCUR BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES. THE CONTRACTOR SHALL NOTIFY ALL PUBLIC AND PRIVATE UTILITY COMPANIES AND DETERMINE THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO PROCEEDING WITH GRADING AND CONSTRUCTION. ALL WORK PERFORMED IN THE AREA OF UTILITIES SHALL BE PERFORMED AND INSPECTED ACCORDING TO THE REQUIREMENTS OF THE UTILITY OWNER. LIKEWISE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND MAPPING ANY EXISTING UTILITY (INCLUDING DEPTH) WHICH MAY CONFLICT WITH THE PROPOSED CONSTRUCTION, AND FOR RELOCATING ENCOUNTERED UTILITIES AS DIRECTED BY THE ENGINEER. CONTRACTOR SHALL CONTACT AND RECEIVE APPROVAL FROM TOWN OF ERIE, UTILITY OWNER AND ENGINEER BEFORE RELOCATING ANY ENCOUNTERED UTILITIES. CONTRACTOR RESPONSIBLE FOR SERVICE CONNECTIONS, AND RELOCATING AND RECONNECTING AFFECTED UTILITIES AS COORDINATED WITH UTILITY OWNER AND/OR ENGINEER, INCLUDING NON-MUNICIPAL UTILITIES (TELEPHONE, GAS, CABLE, ETC., WHICH SHALL BE COORDINATED WITH THE UTILITY OWNER). THE CONTRACTOR SHALL IMMEDIATELY CONTACT ENGINEER UPON DISCOVERY OF A UTILITY DISCREPANCY OR CONFLICT. AT LEAST 48 HOURS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE UTILITY NOTIFICATION CENTER OF COLORADO (1-800-922-1987, WWW.UNCC.ORG).

5. THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS AT AND ADJACENT TO THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING THE PERFORMANCE OF THE WORK. THE CONTRACTOR SHALL PREPARE A TRAFFIC CONTROL PLAN FOR OWNER AND/OR TOWN APPROVAL AND PROVIDE ALL LIGHTS, SIGNS, BARRICADES, FENCING, FLAGMEN OR OTHER DEVICES NECESSARY TO PROVIDE FOR PUBLIC SAFETY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR AGREES TO COMPLY WITH THE PROVISIONS OF THE TRAFFIC CONTROL PLAN AND THE LATEST EDITION OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES," PART VI, FOR CONSTRUCTION SIGNAGE AND TRAFFIC CONTROL. ALL TEMPORARY AND PERMANENT TRAFFIC SIGNS SHALL COMPLY TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) WITH REGARD TO SIGN SHAPE, COLOR, SIZE, LETTERING, ETC. UNLESS OTHERWISE SPECIFIED. IF APPLICABLE, PART NUMBERS ON SIGNAGE DETAILS REFER TO MUTCD SIGN NUMBERS.

6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ANY GROUNDWATER ENCOUNTERED DURING THE CONSTRUCTION OF ANY PORTION OF THIS PROJECT. GROUNDWATER SHALL BE PUMPED, PIPED, REMOVED AND DISPOSED OF IN A MANNER WHICH DOES NOT CAUSE FLOODING OF EXISTING STREETS NOR EROSION ON ABUTTING PROPERTIES IN ORDER TO CONSTRUCT THE IMPROVEMENTS SHOWN ON THESE PLANS. CONTINUOUS AND POINT DISCHARGE OF STORM FLOWS AND GROUNDWATER TO NEIGHBORING PROPERTIES IS NOT PERMITTED.

7. THE EXISTING AND PROPOSED ELEVATIONS OF SLOPES, FLATWORK, SIDEWALKS, CURBS, PAVING, ETC. AS SHOWN HEREON ARE BASED ON EXTRAPOLATION OF FIELD SURVEY DATA AND EXISTING CONDITIONS. AT CRITICAL AREAS AND SITE FEATURES, CONTRACTOR SHALL HAVE FORMWORK INSPECTED AND APPROVED BY OWNER, OWNER'S REPRESENTATIVE, OR ENGINEER PRIOR TO PLACING CONCRETE. MINOR ADJUSTMENTS, AS APPROVED, TO PROPOSED GRADES, INVERTS, ETC. MAY BE REQUIRED TO PREVENT PONDING OR SLOPE NOT IN CONFORMANCE WITH MUNICIPAL STANDARDS. ALL FLATWORK MUST PREVENT PONDING AND PROVIDE POSITIVE DRAINAGE AWAY FROM EXISTING AND PROPOSED BUILDINGS, WALLS, ROOF DRAIN OUTFALLS, ACROSS DRIVES AND WALKS, ETC., TOWARDS THE PROPOSED INTENDED DRAINAGE FEATURES AND CONVEYANCES.

8. ANY EXISTING MONITORING WELLS, CLEANOUTS, VALVE BOXES, ETC. TO BE PROTECTED AND TO REMAIN IN SERVICE. IF FEATURES EXIST, EXTEND OR LOWER TO FINAL SURFACE WITH LIKE KIND CAP WITH STANDARD CAST ACCESS LID WITH SAME MARKINGS. IN LANDSCAPED AREAS PROVIDE A CONCRETE COLLAR (18"x18"x6" THICK) AT ALL EXISTING AND PROPOSED MONITORING WELLS, CLEANOUTS, VALVE BOXES,

9. ALL SURPLUS MATERIALS, TOOLS, AND TEMPORARY STRUCTURES, FURNISHED BY THE CONTRACTOR, SHALL BE REMOVED FROM THE PROJECT SITE BY THE CONTRACTOR. ALL DEBRIS AND RUBBISH CAUSED BY THE OPERATIONS OF THE CONTRACTOR SHALL BE REMOVED AND THE AREA OCCUPIED DURING CONSTRUCTION ACTIVITIES SHALL BE RESTORED TO ITS ORIGINAL CONDITION, WITHIN 48 HOURS OF PROJECT COMPLETION, UNLESS OTHERWISE DIRECTED BY THE MUNICIPALITY OR OWNER'S REPRESENTATIVE.

10. THE CONTRACTOR IS REQUIRED TO PROVIDE AND MAINTAIN EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH THE LOCAL JURISDICTION, THE STATE OF COLORADO, URBAN DRAINAGE AND FLOOD CONTROL DISTRICT "URBAN STORM DRAINAGE CRITERIA MANUAL VOLUME 3", THE M-STANDARD PLANS OF THE COLORADO DEPARTMENT OF TRANSPORTATION, AND THE APPROVED EROSION CONTROL PLAN. JURISDICTIONAL AUTHORITY MAY REQUIRE THE CONTRACTOR TO PROVIDE ADDITIONAL EROSION CONTROL MEASURES AT THE CONTRACTOR'S EXPENSE DUE TO UNFORESEEN EROSION PROBLEMS OR IF THE PLANS DO NOT FUNCTION AS INTENDED. THE CONTRACTOR IS RESPONSIBLE FOR PROHIBITING SILT AND DEBRIS LADEN RUNOFF FROM LEAVING THE SITE, AND FOR KEEPING ALL PUBLIC AREAS FREE OF MUD AND DEBRIS. THE CONTRACTOR IS RESPONSIBLE FOR RE-ESTABLISHING FINAL GRADES AND FOR REMOVING ACCUMULATED SEDIMENTATION FROM ALL AREAS INCLUDING SWALES AND DETENTION/WATER QUALITY AREAS. CONTRACTOR SHALL REMOVE TEMPORARY EROSION CONTROL MEASURES AND REPAIR AREAS AS REQUIRED AFTER VEGETATION IS AT LEAST 80% ESTABLISHED AND ACCEPTED BY OWNER AND MUNICIPALITY. COORDINATE WITH ENGINEER PLACEMENT OF PERMANENT, APPROPRIATELY—SIZED ROCK AT ALL PIPE OUTFALLS TO DISSIPATE FLOW ENERGY, REDUCE EROSION AND SPREAD FLOWS TO PROVIDE A WIDE, NATURAL SHEETFLOW TO PROPERTY OUTFALL.

11. PROTECT ALL TREES AND VEGETATION THAT ARE NOT IMPACTED BY GRADING EFFORTS. AT TOP OF SLOPE REMOVE AND DISPOSE OF TREES AND ROOTS IF GRADING IS WITHIN TREE DRIPLINE OR ROOT ZONE, AND IF SLOPE GRADING CAUSES TREES TO BE UNSTABLE IN WET AND WINDY CONDITIONS, PARTICULARLY AT AREAS NEAR EXISTING STRUCTURES AND OTHER AREAS AS COORDINATED WITH OWNER. FLAG SPECIFIC TREES FOR REMOVAL FOR OWNER TO APPROVE REMOVAL PRIOR TO CONSTRUCTION. PLACE CONSTRUCTION FENCING AT DRIPLINE OF TREES AND PLANTS NEAR THE WORK ZONE IF NEEDED TO PROHIBIT TRAFFIC WITHIN TREE DRIPLINE.

12. BENCHMARK INFORMATION: PROPERTY LINE AND TOPOGRAPHIC INFORMATION WAS PROVIDED BY ARCHITECT AND FLATIRONS SURVEYING, INC. REFER TO SURVEY FROM OWNER/ARCHITECT FOR ALL BENCHMARK AND HORIZONTAL CONTROL INFORMATION. STAKING OF SITE FEATURES SHALL BE ACCOMPLISHED USING THE ARCHITECTURAL PLANS. COORDINATE AND VERIFY ALL VERTICAL AND HORIZONTAL DATA SHOWN IN SURVEY AND REPORT ANY IRREGULARITIES OR DISCREPANCIES TO ENGINEER PRIOR TO CONSTRUCTION. UTILIZE ARCHITECTURAL PLANS FOR STRUCTURE LAYOUT.

13. THE CONTRACTOR SHALL FURNISH THE OWNER, ARCHITECT, AND ENGINEER OF RECORD A COMPLETE SET OF CONSTRUCTION RECORD DRAWINGS ("AS-BUILTS"), FOR THE CONSTRUCTED IMPROVEMENTS. THE PLANS SHALL SHOW SUFFICIENT DIMENSION TIES TO PERMANENT SURFACE FEATURES FOR ALL BURIED FACILITIES TO ALLOW FOR FUTURE LOCATING. THE PLANS SHALL SHOW FINAL PAVEMENT, FLOW LINE ELEVATIONS, CONTOURS AT POND/DRAINAGE FEATURES (AS SURVEYED AND CERTIFIED BY A COLORADO P.L.S.), MANHOLE, PIPE, AND INLET LOCATIONS, INVERTS, GRATE ELEVATIONS, SIZES OF ALL UTILITIES, AND ANY VARIATIONS FROM THE APPROVED PLAN. ENGINEER WILL PRODUCE FINAL RECORD DRAWINGS.

14. SITE FEATURES SHOWN HEREIN MAY NEED TO BE REVISED BASED ON FINAL ARCHITECTURE PLANS, LANDSCAPE ARCHITECTURE PLANS, ENCOUNTERED SITE CONDITIONS, ETC.. NOTIFY OWNER, ARCHITECT, LANDSCAPE ARCHITECT, AND CIVIL ENGINEER OF ANY ANY DISCREPANCIES AND PLAN REVISIONS PRIOR TO WORK. THESE PLANS ARE FOR GRADING, DRAINAGE AND EROSION CONTROL PURPOSES ONLY. COORDINATE DOWNSPOUT CONNECTIONS AND EXTENSION WITH OWNER AND/OR ARCHITECT, WITH WATER TIGHT CONVEYANCE EXTENSION OR PIPE SYSTEM TO MINIMUM 5' FROM BUILDING OR FURTHER AS REQUIRED BY THE PROJECT GEOTECHNICAL ENGINEER. PROHIBIT DOWNSPOUT OUTFALL TO PEDESTRIAN AREAS, PARTICULARLY ON THE NORTH SIDE OF STRUCTURES WHERE FREEZING IS LIKELY. CONTACT ENGINEER FOR ADDITIONAL SITE DOWNSPOUT PIPING PLANS AS NEEDED.

15. PROVIDE 8" EXPOSED FOUNDATION ABOVE EXTERIOR GRADES. PROVIDE 10% SLOPE AWAY FROM FOUNDATION FOR 10 FEET AS NOTED ON PLANS AND PER GEOTECHNICAL REPORT. SELECT, PLACE AND COMPACT SOIL PER REFERENCED SPECIFICATIONS AND GEOTECHNICAL REPORT. COORDINATE ALL ALL FFEs, TOP FDN ELEVS, CLEARANCE UNDER DECKS, STEPS DOWN FROM THRESHOLDS, PORCHES/STOOPS/PATIOS/STEPS, WINDOW WELLS, WATERPROOFING, ETC. WITH ARCHITECT, STRUCTURAL, AND LANDSCAPE ARCHITECT PLANS PRIOR TO CONSTRUCTION

16. THESE PLANS ARE FOR GRADING, DRAINAGE AND EROSION CONTROL PURPOSES ONLY AND NOT FOR UTILITIES, GROUNDWATER REMEDIATION, BUILDING LAYOUT, SHORING AND/OR WALL DESIGN/CONSTRUCTION. SEE PLANS BY OTHERS FOR LOCATION AND LAYOUT OF SITE FEATURES, UTILITIES, ETC.. WALLS ARE SHOWN FOR ALIGNMENT, GRADING, TOP OF WALL(TW)/BOTTOM OF WALL(BW) ELEVATIONS, AND BUDGETING PURPOSES ONLY. FINAL WALL DESIGN AND ALL DETAILS RELATED TO EXCAVATION, SHORING, AND PROTECTION OF EXISTING ONSITE AND OFFSITE SLOPES/STRUCTURES TO BE PROVIDED BY OTHER GEOTECHNICAL AND SHORING ENGINEERS. COORDINATE EXCAVATION, SHORING, AND SOIL PLACEMENT SPECIFICATIONS WITH PROJECT GEOTECHNICAL ENGINEER AND SHORING/WALL DESIGNER.

REVEGETATION AND EROSION CONTROL NOTES:

REVEGETATION AND PERMANENT STABILIZATION MEASURES:

PERMANENT LANDSCAPING WILL INCLUDE SEEDING, SODDING, TREES, SHRUBS, OR OTHER VEGETATIVE COVER TO OPEN AREAS.

NATIVE PERENNIAL SEEDING WILL BE ESTABLISHED IN NON-IRRIGATED AREAS AND SOD OR OTHER VEGETATIVE COVER WILL BE ESTABLISHED IN IRRIGATED OPEN AREAS WHERE APPLICABLE. PERMANENT STABILIZATION MEASURES ARE SHOWN HEREIN AND MAY BE SUPPLEMENTS BY THE OWNER AND THE MUNICIPALITY, WITH ADDITIONAL LANDSCAPING PLANTINGS, GROUND COVER, AND DETAILS BY THE LANDSCAPE ARCHITECT OR OWNER.

BOULDER COUNTY REGULATION MOUNTAIN SEED MIX 7,000 FEET AND ABOVE ELEVATION

COMMON NAME	SPECIES NAME	VARIETY	% OF MIX	#PLS/ACRE
Blue Grama	Bouteloua gracilis	Native, Alma,or Hachita	20%	0.84
Canada Wildrye	Elymus canadensis	Native	10%	3.03
Thickspike Wheatgrass	Elymus lanceolatus	Critana	25%	5.58
Slender Wheatgrass	Elymus trachycaulus	San Luis	25%	5.48
Junegrass	Koeleria macrantha	Native	10%	0.15
Sandberg's Bluegrass	Poa secunda	Native	10%	0.38
j j		Totals:	100%	15.46

RATES ARE FOR BROADCAST SEEDING, IF USING A SEED DRILL, REDUCE RATES BY HALF. PLS = PURE LIVE SEED.

REFER TO BOULDER COUNTY STANDARDS FOR ADDITIONAL DETAILS:

https://bouldercounty.gov/PROPERTY-AND-LAND/LAND-USE/PLANNING/REVEGETATION/https://assets.bouldercounty.gov/wp-content/uploads/2017/03/p13-revegetation.pdf

https://assets.bouldercounty.gov/wp-content/uploads/2017/03/p11-suggested-native-plants-for-horticultural-use-front-range.pdf

BEST MANAGEMENT PRACTICES FOR STORMWATER MANAGEMENT:

NON STRUCTURAL BMPS WILL BE IMPLEMENTED TO THE MAXIMUM EXTENT POSSIBLE. THE UTILIZATION OF NON STRUCTURAL BMPS WILL BE AN ONGOING PROCESS DIRECTED AT PREVENTING EROSION. THE NON STRUCTURAL BMPS WILL RECEIVE CONTINUOUS EMPHASIS THROUGHOUT CONSTRUCTION BECAUSE THEY MITIGATE ISSUES BEFORE THEY OCCUR AND REDUCE THE NEED FOR STRUCTURAL BMPS. NON STRUCTURAL BMPS WILL CONSIST PRIMARILY OF PRESERVATION OF EXISTING MATURE VEGETATION AND TREES, PLANNING AND SCHEDULING CONSTRUCTION ACTIVITIES AIMED AT ACHIEVING THE GOAL OF MINIMIZING EROSION. FURTHERMORE, CONSTRUCTION PERSONNEL WILL BE INSTRUCTED AND SUPERVISED IN CONSTRUCTION METHODS CONSISTENT WITH EROSION PREVENTION PRACTICES.

PLANNED STRUCTURAL BMPS FOR EROSION AND SEDIMENT CONTROL ARE SHOWN ON THE EROSION CONTROL PLAN.
IMPLEMENTING, SUPPLEMENTING, AND MAINTAINING THESE MEASURES SHOULD MINIMIZE NUISANCE SILT AND SEDIMENTATION
EXITING THE SITE AND PREVENT CLOGGING EXISTING STORM SEWERS AND STREET GUTTERS.

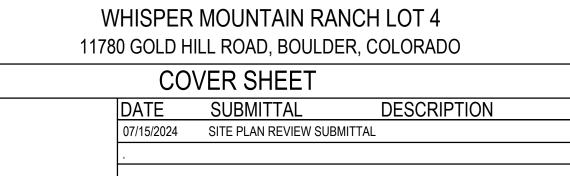
APPLICATION OF THESE BMPS FOR STORMWATER MANAGEMENT ARE FOR CONSTRUCTION PERIODS AND ARE CONSIDERED TEMPORARY. POST—DEVELOPMENT STORMWATER MANAGEMENT IS PROVIDED THROUGH VEGETATED LANDSCAPED AREAS, GRASSED SWALES AND STORM COLLECTION SYSTEM.

THE EROSION CONTROL MEASURES SHOWN HEREIN ARE FOR PERMITTING AND INITIAL COORDINATION PURPOSES ONLY. GIVEN THE DYNAMIC NATURE OF WEATHER AND A CONSTRUCTION SITE, THE CONTRACTOR MUST REVISE AND PROVIDE ADDITIONAL EROSION CONTROL MEASURES AS THE PROJECT CHANGES. COORDINATE THE NEED FOR ADDITIONAL MEASURES WITH THE LOCAL JURISDICTIONAL INSPECTOR. REFER TO WWW.MHFD.ORG FOR ADDITIONAL IMPORTANT EROSION CONTROL REQUIREMENTS, INSTALLATION/MAINTENANCE NOTES, ETC.FOR ADDITIONAL DETAILS AND REQUIREMENTS.

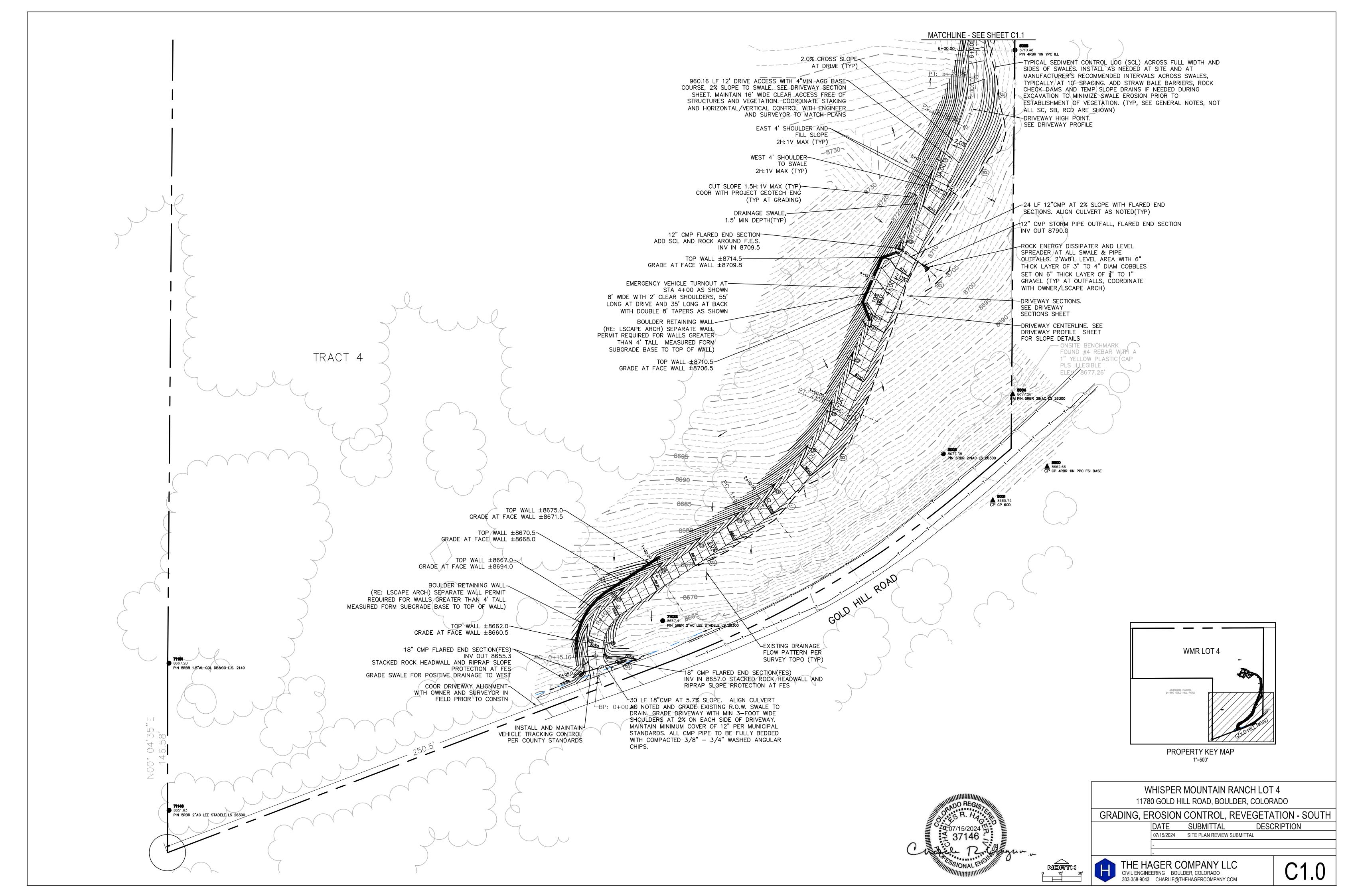
(https://mhfd.org/wp-content/uploads/2021/01/chapter-7-construction-bmps.pdf)

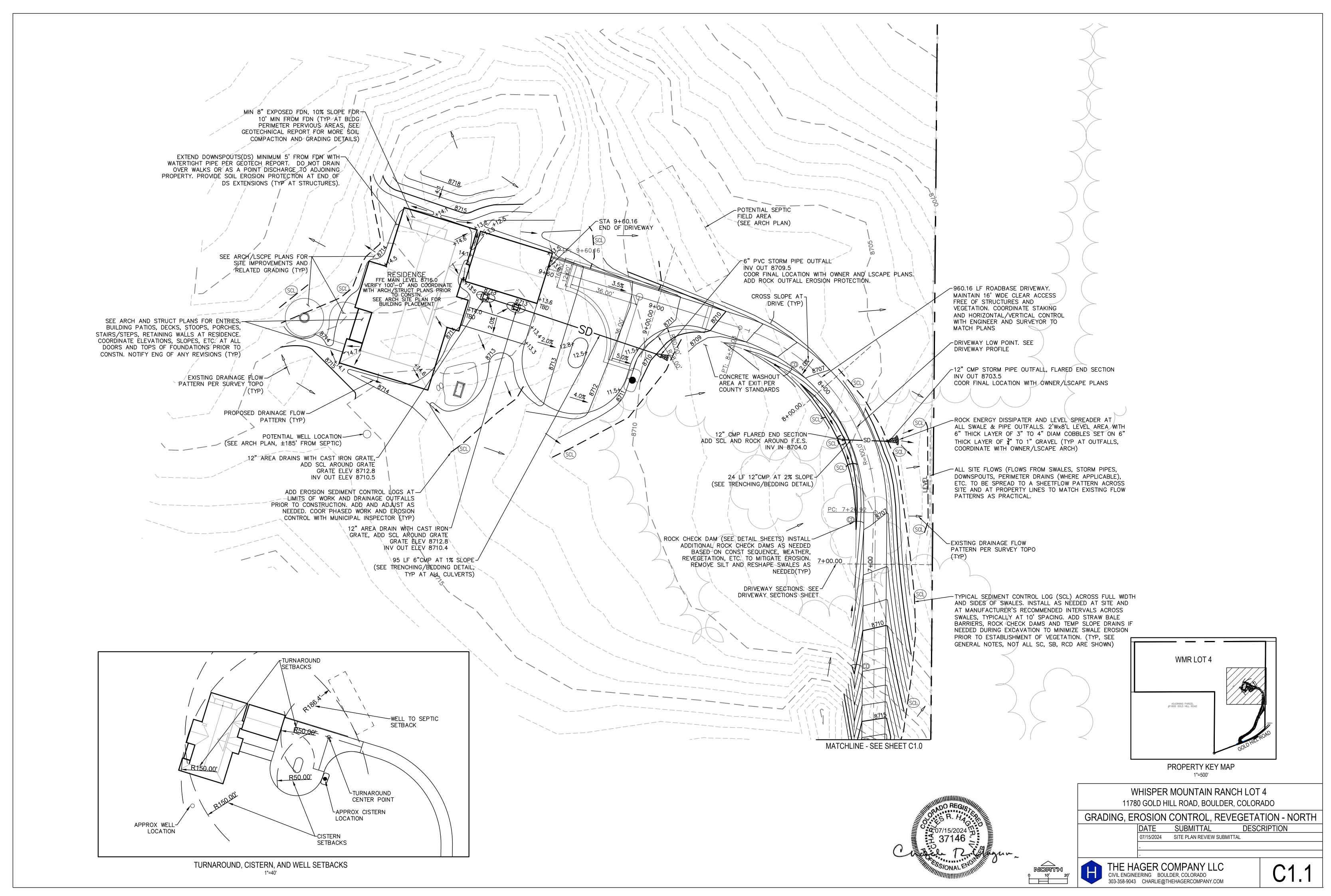


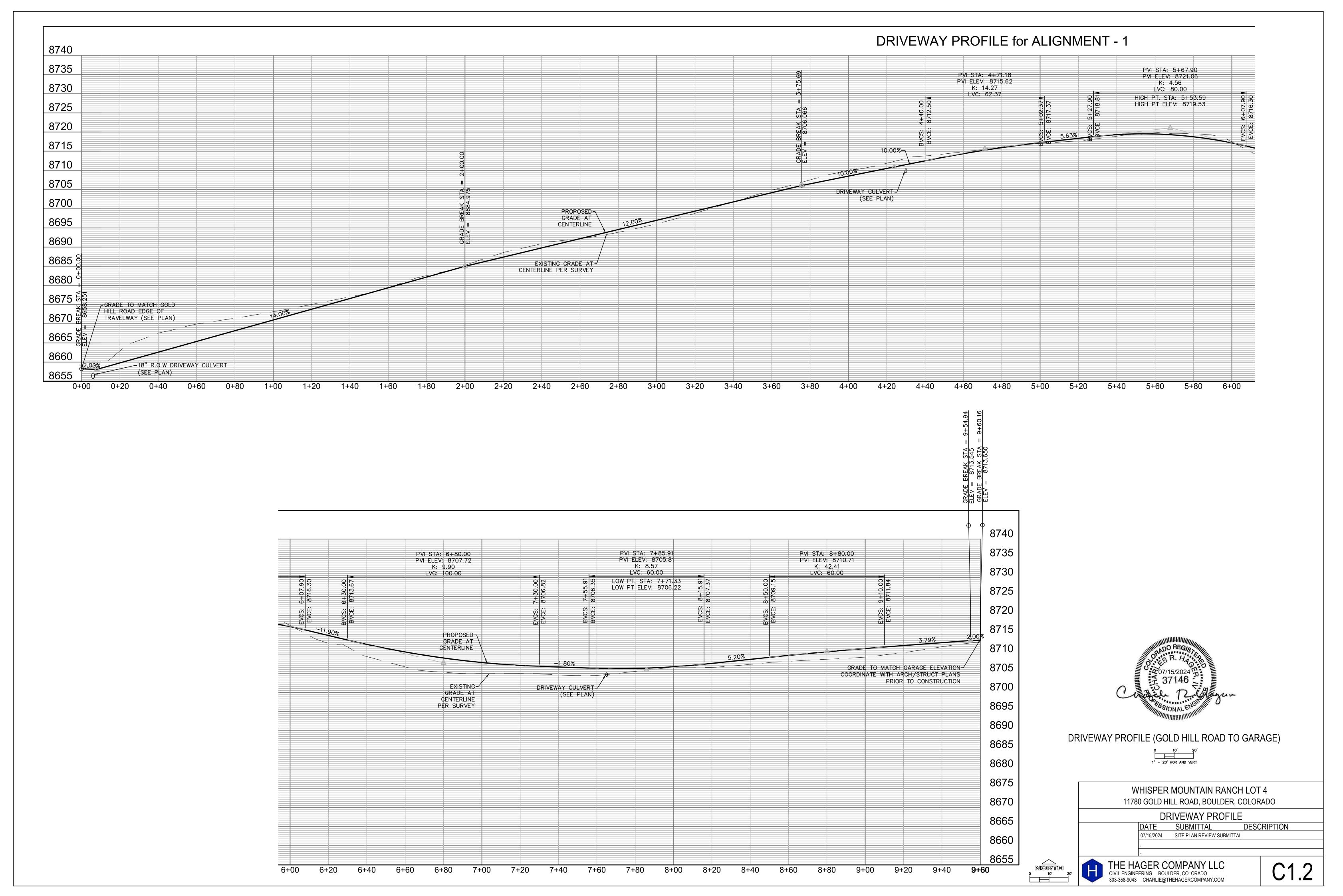




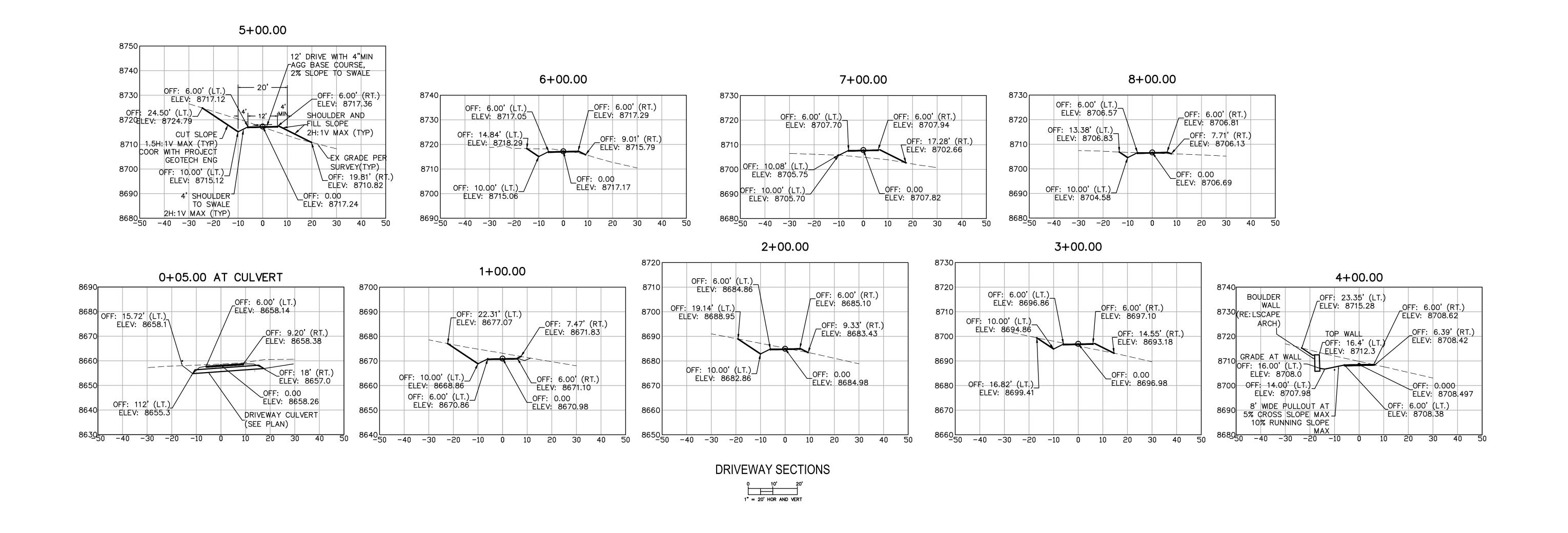




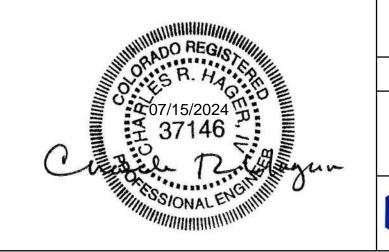




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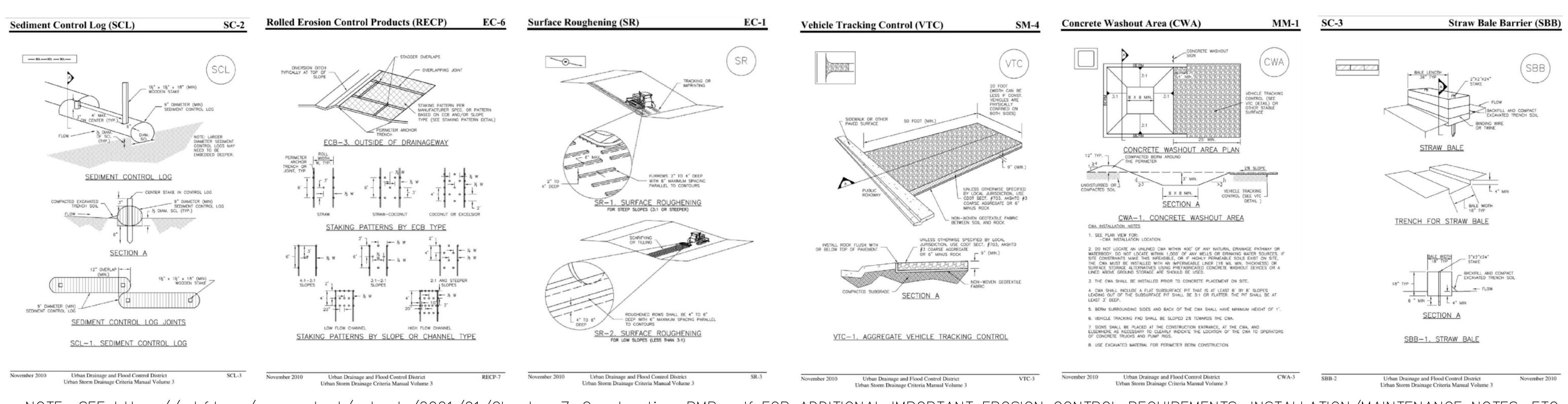


WHISPER MOUNTAIN RANCH LOT 4
11780 GOLD HILL ROAD, BOULDER, COLORADO
DRIVEWAY SECTIONS

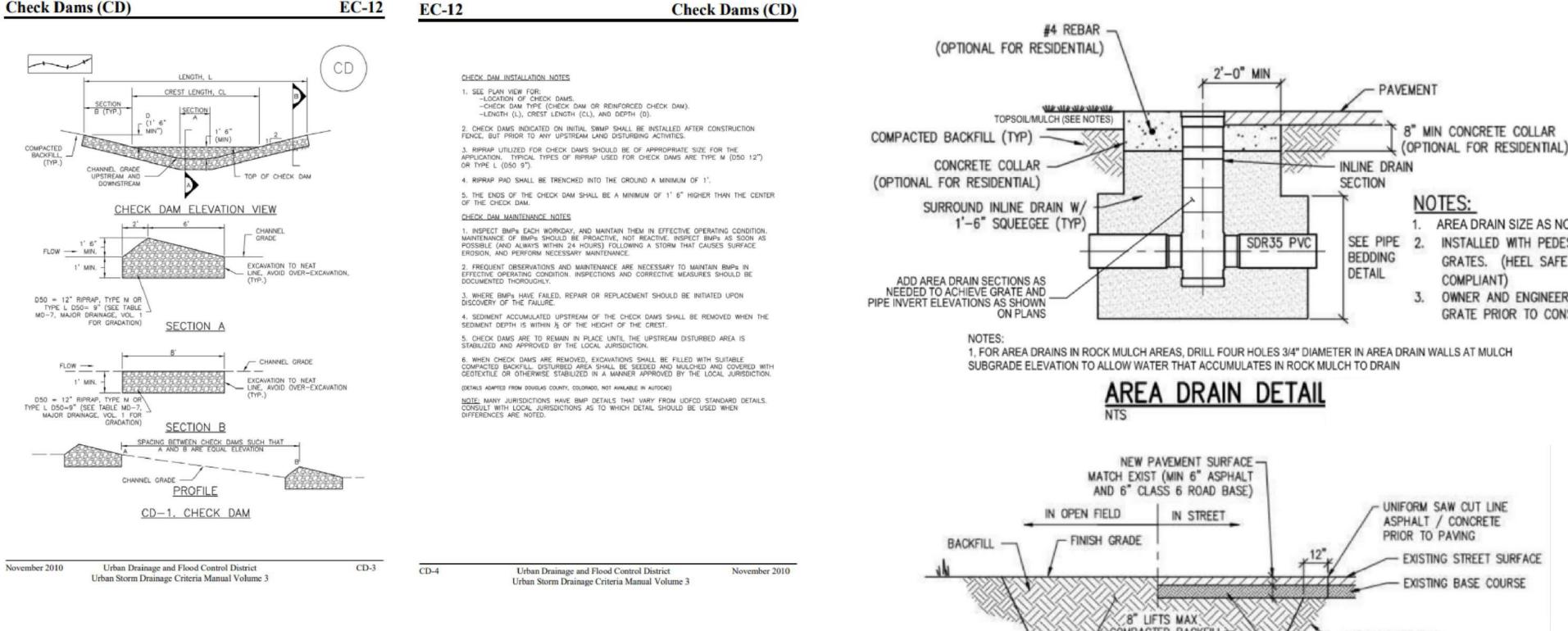
DATE SUBMITTAL DESCRIPTION
07/15/2024 SITE PLAN REVIEW SUBMITTAL

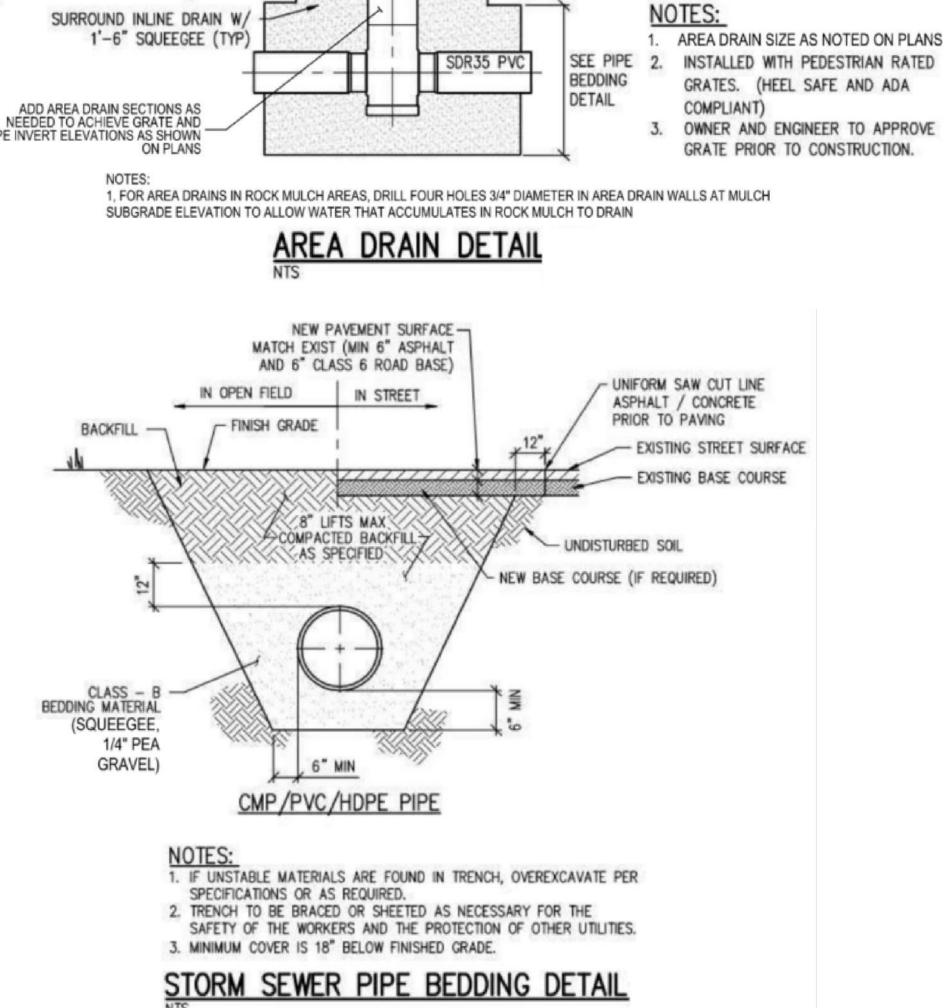
THE HAGER COMPANY LLC
CIVIL ENGINEERING BOULDER, COLORADO
303-358-9043 CHARLIE@THEHAGERCOMPANY.COM

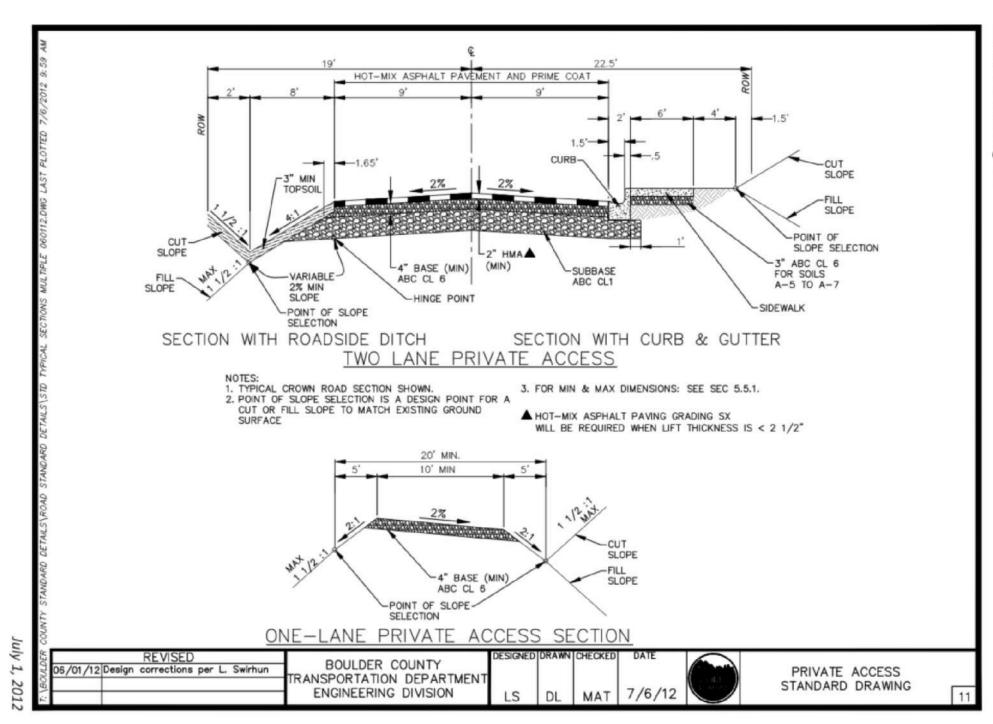
C1.3



NOTE: SEE https://mhfd.org/wp-content/uploads/2021/01/Chapter-7-Construction-BMPs.pdf FOR ADDITIONAL IMPORTANT EROSION CONTROL REQUIREMENTS, INSTALLATION/MAINTENANCE NOTES, ETC.

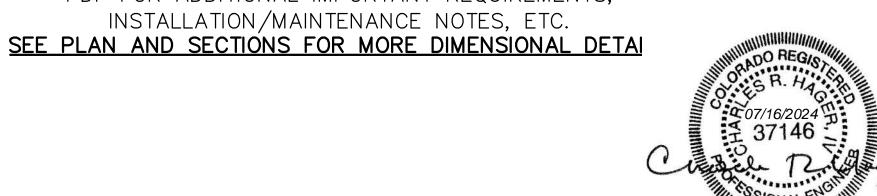




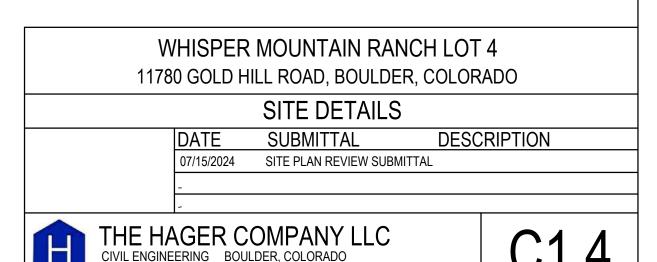


NOTE: SEE BOULDER COUNTY REGULATIONS AND MULTIMODAL STANDARDS PDF FOR ADDITIONAL IMPORTANT REQUIREMENTS,

INSTALLATION/MAINTENANCE NOTES, ETC.







303-358-9043 CHARLIE@THEHAGERCOMPANY.COM

A107



Public Health Environmental Health Division

September 10, 2024

TO: Staff Planner, Community Planning and Permitting

FROM: Jessica Cannon, Environmental Health Specialist

SUBJECT: LU-24-00011/SPR-24-0050: Whisper Mountain Ranch Driveway and Residence

OWNER: WHISPER MOUNTAIN LLC

PROPERTY ADDRESS: 11320 Gold Hill Road

SEC-TOWN-RANGE: 9-1N-72

The Boulder County Public Health – Environmental Health division has reviewed the submittals for the above referenced docket and has the following comments.

OWTS Application Needed:

- 1. An onsite wastewater treatment system (OWTS) permit has not been issued by Boulder County Public Health for this property. The owner or their agent (e.g., contractor) must apply for an OWTS permit, and the OWTS permit must be issued prior to installation and before a building permit can be obtained. The OWTS components must be installed, inspected and approved before a Certificate of Occupancy or Final Building Inspection approval will be issued by Community Planning and Permitting (CP&P).
- 2. Boulder County Public Health must conduct an onsite investigation and review percolation rates, soil conditions and any design plans and specifications prior to OWTS permit issuance. The OWTS absorption field must be located a minimum distance of 100' from all wells, 25' from waterlines, 50' from waterways and 10' from property lines.

This concludes comments from the Public Health - Environmental Health division at this time. For additional information on the OWTS application process and regulations, refer to the following website: www.SepticSmart.org. If you have additional questions about OWTS, please do not hesitate to contact HealthOWS@bouldercounty.org.

Cc: OWTS file, owner, Community Planning and Permitting



Community Planning & Permitting

Courthouse Annex • 2045 13th Street • Boulder, Colorado 80302 • Tel: 303.441.3930 • Fax: 303.441.4856 Mailing Address: P.O. Box 471 • Boulder, Colorado 80306 • www.bouldercounty.gov

Building Safety & Inspection Services Team

M E M O

TO: Sam Walker, Planner II

FROM: Michelle Huebner, Plans Examiner Supervisor

DATE: September 4, 2024

RE: Referral Response, LU-24-0011/SPR-24-0050: Whisper Mountain Ranch Driveway and Residence. Limited Impact Special Review to perform 1,947 cubic yards of non-foundational earthwork for driveway construction, and Site Plan Review to construct a new 4,544 sq. ft. residence on a 37.2 acre parcel.

Location: 11320 Gold Hill Road

Thank you for the referral. We have the following comments for the applicants:

1. **Building Permit.** A building permit, plan review, inspection approvals, and a Certificate of Occupancy ("C.O.") are required for the proposed residence, the grading must be included with the building permit for the residence. Separate building permits are required for the fire pits shown on the plans.

Please refer to the county's <u>adopted 2015 editions of the International Codes and code amendments</u>, which can be found via the internet under the link:

2015 Building Code Adoption & Amendments, at the following URL: Amendments to Boulder County Building Code effective June 6, 2022

Each of the **fireplace** must be offset with on-site or off-site renewable energy per section N1103.14 of the Boulder County Building Code Amendments.

- Automatic Fire Sprinkler System. Under the 2015 International Residential Code ("IRC") as adopted by Boulder County, all new one- and two-family dwellings and townhouses are required to be equipped with an automatic fire sprinkler system that is designed and installed in accordance with NFPA 13D or IRC Section P2904.
- 3. **BuildSmart.** Please refer to the county's adoption and amendments to Chapter 11 of the IRC, the county's "BuildSmart" program, for the applicable requirements for energy conservation and sustainability for residential additions and new residential buildings. Please be aware that there are energy related requirements of this code that may require the use of renewable energy systems (such as rooftop solar systems) that will also need to be approved by your electric utility provider. In some

Claire Levy County Commissioner Marta Loachamin County Commissioner Ashley Stolzmann County Commissioner

cases, there may be limitations on the size of on-site systems allowed by your utility provider that could constrain the project design. We strongly encourage discussions between the design team and the utility company as early in the process as possible in order to identify these constraints.

- 4. **Design Wind and Snow Loads.** The design wind and ground snow loads for the property are 170 mph (Vult) and 55 psf, respectively.
- 5. Grading Permit. The grading permit must be submitted with the building permit for the dwelling. The inspections approvals are required for the proposed nonfoundational grading. Please refer to the county's <u>adopted 2015 editions of the</u> <u>International Codes and code amendments</u>, including IBC Appendix Chapter J for grading.
- **6. Observation Reports.** The design professional responsible for the design or a similarly qualified Colorado-licensed design professional is to observe the grading and submit a stamped report to Building Safety & Inspection Services for review and approval. The final report is to state that the work has been completed in substantial conformance with the approved engineered plans.
- 7. **Ignition-Resistant Construction and Defensible Space.** Please refer to Section R327 of the Boulder County Building Code for wildfire hazard mitigation requirements, including ignition-resistant construction and defensible space.
- 8. **Plan Review.** The items listed above are a general summary of some of the county's building code requirements. A much more detailed plan review will be performed at the time of building permit application, when full details are available for review, to assure that all applicable minimum building codes requirements are to be met. Our Residential Plan Check List and other Building Safety publications can be found at: Building Publications, Applications and Forms Boulder County

If the applicants should have questions or need additional information, we'd be happy to work with them toward solutions that meet minimum building code requirements. Please call (720) 564-2640 or contact us via e-mail at building@bouldercounty.org

Walker, Samuel

From: Carden, Timothy

Sent: Friday, September 13, 2024 8:37 AM

To: Walker, Samuel

Cc: Northrup, Elizabeth (Liz)

Subject: RE: Referral Packet for Docket LU-24-00011/SPR-24-0050: Whisper Mountain Ranch

Driveway and Residence at 11320 Gold Hill Road

Hi Sam,

Thank you for the opportunity to review LU-24-0011/SPR-24-050. I have completed my review of the referral packet and as proposed this project should not conflict with the terms of the adjacent conservation easement.

Best,

Tim Carden | Conservation Easement Stewardship Specialist
Boulder County Parks & Open Space
Pronouns: he/him/his
5201 St. Vrain Road
Longmont, CO 80503
303-413-7533 (office)
tcarden@bouldercounty.gov
Boulder County Open Space Website

From: Morgan, Heather hmorgan@bouldercounty.gov

Sent: Tuesday, September 3, 2024 10:04 AM

To: !LongRange <longrange@bouldercounty.gov>; #WildfireMitigation <WildfireMitigation@bouldercounty.org>; #AssessorReferral <AssessorReferral@bouldercounty.gov>; #CAreferral <CAreferral@bouldercounty.gov>; #CEreferral <CEreferral@bouldercounty.gov>; Oehlkers, Jason <joehlkers@bouldercounty.gov>; #TreasurerAll <TreasurerAll@bouldercounty.gov>; Kiepe, Bob <bkiepe@bouldercounty.gov>; McKeehan, TJ <timckeehan@bouldercounty.gov>; Kelly, Allison kelly, Allison kelly, keehan, TJ
<timckeehan@bouldercounty.gov>; Kelly, Allison keehan, TJ
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<ti><timckeehan@bouldercounty.gom</p>
; healthwater@gamail.com
; ghtmsecretary@gamail.com
; ghtmsecretary@gamail.com
; ghtmvicechair@gamail.com
; healthwater@state.co.us
; townadmin kory.gov
; healthwater@uality-EnvironmentalBP LU kory.gov; Huebner, Michelle mhuebner@bouldercounty.gov; Morgan, Heather

chmorgan@bouldercounty.gov>; Sanchez, Kimberly <ksanchez@bouldercounty.gov>; Skufca, Erika
<eskufca@bouldercounty.gov>; Transportation Development Review <TransDevReview@bouldercounty.gov>; West,
Ron <rowest@bouldercounty.gov>

Cc: Walker, Samuel <swalker@bouldercounty.gov>; Duchi, Trevor <tduchi@bouldercounty.gov> **Subject:** Referral Packet for Docket LU-24-00011/SPR-24-0050: Whisper Mountain Ranch Driveway and Residence at 11320 Gold Hill Road

Please see attached for the public notice and <u>click here</u> for the referral packet for Docket **LU-24-00011/SPR-24-0050**: **Whisper Mountain Ranch Driveway and Residence** at **11320 Gold Hill Road**.

Please return responses and direct any questions to <u>Sam Walker</u> by **September 18, 2024.** (Boulder County internal departments and agencies: Please attach the referral comments in Accela.)

Heather Morgan | Lead Administrative Technician – Planning Division Boulder County Community Planning & Permitting

P.O. Box 471, Boulder, CO 80306 | Courthouse Annex—2045 13th St., Boulder, CO 80302 hmorgan@bouldercounty.gov | (720) 864-6510 | www.boco.org/cpp My working hours are Tuesday – Friday from 6:00 a.m. to 4:30 p.m.



September 16, 2024

Sam Walker, Planner II

Boulder County Community Planning & Permitting Transmission via email: swalker@bouldercounty.gov

Re: LU-24-0011/SPR-24-0050, Whisper Mountain Ranch Driveway and Residence

11320 Gold Hill Road, Boulder, CO, 80302

Pt. SW1/4 & SW1/4 SE1/4 of Sec. 9, Twp. 1 N, Rng. 72 W, 6th P.M.

Water Division 1, Water District 5 & 6

Dear Mr. Walker:

We have reviewed the above-referenced Site Plan Review to construct a new 4,544-square foot residence on a vacant, approximately 37.2-acre parcel and Limited Impact Special Use Review to perform 1,947 cubic yards of non-foundational earthwork for driveway development. The submitted material does not appear to qualify as a "subdivision" as defined in section 30-28-101(10)(a), C.R.S. Therefore, pursuant to the State Engineer's March 4, 2005 and March 11, 2011 memorandums to county planning directors, this office will only perform a cursory review of the referral information and provide comments regarding the proposed water supply. The comments will not state an opinion on the adequacy of the water supply or the ability of the water supply plan to satisfy any County regulations or requirements, and cannot be used to guarantee the physical availability of water.

The proposed source of water supply for the subject property is a well to be constructed. Conflicting acreages of either 37.2 acres and 35.79 acres are used to describe the subject property in the referral packet. In both cases, the property would be greater than 35 acres in size, therefore it is anticipated that this office could issue a permit to construct a new well on the parcel that could be used for fire protection, ordinary household purposes inside not more than three single-family dwellings, the watering of poultry, domestic animals and livestock on a farm or ranch, and the irrigation of not more than one acre of home gardens and lawns.

Well permit number 28161 issued July 21st, 1966 is mapped to the parcel in our database, but a review of the permit file indicates that the location of this well may be spotted in error. A final determination of both the ability of the lot owner to obtain a permit to construct a new well and the allowed use of the well will be made at the time a well permit application is received by this office.

This office has no concerns with the proposed Site Plan Review and Limited Impact Special Review. Should you or the applicants have any questions regarding this matter, please contact Keian Freshwater of this office at 303-866-3581 ext. 8237 or keian.freshwater@state.co.us.



Whisper Mountain Ranch Driveway and Residence LU-24-0011/SPR-24-0050

September 16, 2024 Page 2 of 2

Sincerely,

Kate Fuller, P.E.

K. Fuller

Water Resources Engineer

Cc: Applicant (Whisper Mountain, LLC, <u>michelabernardi@outlook.com</u>)

Agent (Sopher Sparn Architects, smalony@sophersparn.com)

Referral file no. 32478 Well permit file no. 28161



Right of Way & Permits

1123 West 3rd Avenue Denver, Colorado 80223 Telephone: **303.571.3306** Facsimile: 303.571.3284 donna.l.george@xcelenergy.com

September 17, 2024

Boulder County Community Planning and Permitting PO Box 471 Boulder, CO 80306

Attn: Sam Walker

Re: Whisper Mountain Ranch Driveway and Residence

Case # LU-24-00011 and SPR-24-0050

Public Service Company of Colorado's (PSCo) Right of Way & Permits Referral Desk has reviewed the limited impact special review and site plan for **Whisper Mountain Ranch Driveway and Residence**. PSCo has no concerns with the special review purposes.

The property owner/developer/contractor must complete the application process for any new electric service via xcelenergy.com/InstallAndConnect. It is then the responsibility of the developer to contact the Designer assigned to the project for approval of design details.

If additional easements need to be acquired by separate PSCo document (i.e. transformer), a Right-of-Way Agent will need to be contacted by the Designer.

As a safety precaution, PSCo would like to remind the developer to contact Colorado 811 for utility locates prior to construction.

Donna George Right of Way and Permits

Public Service Company of Colorado dba Xcel Energy

Office: 303-571-3306 - Email: donna.l.george@xcelenergy.com



Community Planning & Permitting

Courthouse Annex • 2045 13th Street • Boulder, Colorado 80302 Mailing Address: P.O. Box 471 • Boulder, Colorado 80306 303-441-3930 • www.BoulderCounty.gov

Wildfire Mitigation Team

MEMO

TO: Sam Walker, Planner II

FROM: Kyle McCatty, Senior Wildfire Mitigation Specialist Supervisor

DATE: September 18, 2024

RE: Referral Packet for Docket LU-24-00011/SPR-24-0050: Whisper

Mountain Ranch Driveway and Residence at 11320 Gold Hill Road

Thank you for the referral. We have the following comments for the applicants:

Decades of catastrophic wildfires, research, and case studies have shown that extreme wildfires are inevitable in the forests of Boulder County and across the Western US. Still, the loss of life and homes does not have to be inevitable. The conditions that principally determine if a house ignites occur within 100 feet of the house, including the house itself. That is why Boulder County has such strong wildfire mitigation requirements in our Land Use and Building Code. Boulder County encourages all homeowners to voluntarily take responsibility to mitigate their own home's risk of igniting in a wildfire through Wildfire Partners.

Wildfire Mitigation is required; the proposed project is in <u>Wildfire Zone 1</u> (the foothills or mountains—approximately west of highways 7, 36, or 93) of the unincorporated portion of Boulder County. The Boulder County Wildfire Mitigation requirements are composed of site location, ignition-resistant materials and construction, defensible space, emergency water supply, and emergency vehicle access.

Site Location

A Boulder County Wildfire Mitigation Specialist has reviewed the site location as part of the Site Plan Review process, and no conflicts have been identified.

Ignition-Resistant Materials and Construction

Since the proposed development is located within a potentially hazardous area, all exterior building materials (including any proposed decking) must be ignition-resistant construction or better.

For additional ignition-resistant construction information, please contact the Building Safety & Inspection Services Team at 303-441-3926. Refer to the Boulder County publication: <u>Building with Ignition Resistant Materials</u> for specific requirements. All exterior materials must be clearly noted on the building plans and must be reviewed and approved as "ignition resistant" by the Building Safety & Inspection Services Team.

Claire Levy County Commissioner

Marta Loachamin County Commissioner

Ashley Stolzmann County Commissioner

Defensible Space

Adequate defensible space is required around all existing and new structures to prevent the spread of fire to and from structures. This requires limbing and/or removal of trees and shrubs to provide necessary vertical and horizontal fuel separation within a minimum of 100 ft. from the home and within 30 ft. along both sides of a driveway. Where the property boundary limits Zone 2 (at least 100 feet from structures), Zone 1 (a buffer of at least 30 feet free of conifer trees and other highly combustible vegetation immediately surrounding the home, including all attachments and accessory structures within 30 feet) may need to begin at the home's dripline. More information can be found by referring to the Colorado State Forest Service publication <u>Protecting Your Home from Wildfire: Creating Wildfire-Defensible Zones – 2012 Quick Guide</u>.

Follow the Colorado State University <u>Low-Flammability Landscape Plants – 6.305</u>, <u>Fire-Resistant Landscaping – 6.303</u>, and Colorado State Forest Service <u>Protecting Your Home from Wildfire: Creating Wildfire-Defensible Zones – 2012 Quick Guide</u> publications when choosing plants and designing revegetation and landscaping.

Emergency Water Supply

An emergency water supply is required to aid in the defense of the structures from a wildfire and assist in firefighting efforts. The Gold Hill Fire Protection District typically requires an individual cistern in lieu of contributing to a community cistern fund. Contact Bret Gibson, Acting Chief of the Gold Hill Fire Protection District for their individual cistern requirements at Chief@Fourmilefire.org; 303-579-1821. If the Fire Protection District does not have its own installation standards, follow the Boulder County publication: Emergency Water Supply for Firefighting.

Emergency Vehicle Clearance

Emergency vehicle clearance is required to allow for safe ingress and egress of emergency vehicles. Emergency personnel try their best to respond to calls in a timely manner, often while negotiating difficult terrain. Planning for access by emergency vehicles improves safety for homeowners and their families by providing for a more efficient response by firefighters and other emergency personnel arriving on the scene. This is especially important in rural and mountainous areas where response times may be considerably longer than in cities, where emergency services are closer by. Refer to the Boulder County publication: Driveway Access for Emergency Vehicles for specific clearance-related requirements.

Timeline

After applying for, but prior to issuance of any permits, a Boulder County Wildfire Mitigation Specialist will contact you to schedule a Wildfire Partners or Regulatory Wildfire Mitigation assessment and defensible space marking. Based upon the

compliance path selected, either a Wildfire Partners Assessment report or a Wildfire Mitigation Plan will be created to describe the wildfire mitigation requirements.

Before scheduling rough framing inspections, the plan's defensible space and water supply portion must be implemented and inspected by the Community Planning & Permitting Department. All trees marked for removal must be cut, and all slash, cuttings, and debris must be removed and/or properly disposed of. The Fire Sprinkler or Fire
Cistern Approval Form must be submitted to the Boulder County Building Safety & Inspection Services at ezbp@bouldercounty.gov (or P.O. Box 471, Boulder, Colorado, 80306) after the fire protection district completes the applicable portion of the form. If an individual cistern was required, it must be located on-site in an appropriate location (subject to approval by the fire protection district), fitted with an appropriate dry hydrant connection, and be filled, and tested by the local fire protection district.

At the time of final inspection, all remaining required items in the Wildfire Partners Assessment report or the Wildfire Mitigation Plan are to be fully implemented and inspected. Ground surfaces within three feet of both existing and new structures, and at least 2 feet beyond the driplines of decks, bay windows, and other eaves and overhangs, must be covered with an allowable non-combustible ground cover over a weed barrier material. The driveway vertical and horizontal vegetation clearance must be in place and conform to the Parcel Access Design Standards in the Boulder County Multimodal Transportation Standards.

If the applicants should have questions or need additional information, we'd be happy to work with them toward solutions that meet minimum land use and building code requirements. I can be reached at 720-564-2625 or via e-mail at kmccatty@bouldercounty.gov.



Community Planning & Permitting

Courthouse Annex • 2045 13th Street • Boulder, Colorado 80302 Mailing Address: P.O. Box 471 • Boulder, Colorado 80306 • Tel: 303-441-3930 • www.BoulderCounty.gov

September 23, 2024

TO: Sam Walker, Planner II; Community Planning & Permitting, Development

Review Team - Zoning

FROM: Anita Riley, Principal Planner; Community Planning & Permitting,

Development Review Team – Access & Engineering

SUBJECT: Docket # LU-24-0011/SPR-24-0050: Whisper Mountain Ranch Driveway and

Residence – 11320 Gold Hill Road

The Development Review Team – Access & Engineering has reviewed the above referenced docket and has the following comments:

- 1. The subject property is accessed from Gold Hill road, a gravel Boulder County owned and maintained right-of-way (ROW) with a Functional Classification of Collector. Legal access has been demonstrated via adjacency to this public ROW.
- 2. An Access Permit will be issued for the new access point at Gold Hill Road at the time of Building Permit review. No special application procedure is necessary, the Access Permit will be issued concurrently with the Building Permit.
- 3. The access is located on an inside curve. However, the sight distance to east, the direction with most limited sight distance, is approximately 270 feet which exceeds the design stopping distance 115 feet for a speed limit of 20 MPH.
- 4. The proposed driveway must comply with the <u>Boulder County Multimodal Transportation Standards ("the Standards")</u>, including without limitation:
 - a. Table 5.5.1 Parcel Access Design Standards (1-Lane Mountain Access)
 - b. Section 5.3.2 Typical Cross Section Design
 - c. Section 5.3.3 Geometric Standards
 - d. Standard Drawings 11 Private Access
 - e. Standard Drawing 14 Access with Roadside Ditch
 - f. Standard Drawing 15 Access Profiles Detail
 - g. Standard Drawing 16 Access Grade & Clearance
 - h. Standard Drawing 17 Access Pullouts
 - i. Standard Drawing 18 Access Turnaround
 - j. Standard Drawing 19 Typical Turnaround & Pullout Locations
- 5. The proposed driveway design generally meets the requirements of the Standards with the following exceptions:
 - a. The access approach transitions from a -2% grade to a 14% grade, where a 6% grade for 10 feet or through the curve, whichever is greater, is required.
 - b. The tapers for emergency vehicle pullout are noted as being 8 feet in length. This is likely a typographical error as the overall length of the pullout suggests the tapers are the required 10 feet.

- *At building permit,* submit plans that comply with the Boulder County Multimodal Transportation Standards.
- 6. The plans indicate retaining walls that will exceed four feet in height from top of wall to bottom of footing. Per the Standards, designs for retaining walls over four feet tall must be signed and sealed by a qualified Colorado-licensed Professional Engineer. Calculations must be submitted for any retaining walls over six feet in height.
 - At building permit, submit engineered designs for the retaining walls.
- 7. Cut slopes of 1.5:1 have been proposed per coordination with the geotechnical engineer.
 - At building permit, submit a geotechnical report supporting the use of 1.5:1 cut slopes.
- 8. Construction near the east property line could increase drainage flows to the adjacent property above historic rates. While, the drainage is designed to sheetflow, a drainage letter must be provided to demonstrate historic drainage rates have been maintained. A drainage letter will also be required for the Stormwater Quality Permit noted below.
 - At building permit, submit a drainage letter that, in addition to demonstrating historic drainage at the east property line, meets the requirements of the attached memo from the County Engineer, dated November 9, 2021 and titled "Allowance of the Use of Drainage Letter on Private Development and Public Capital Projects."
- 9. The plans submitted indicate at one acre of disturbance. As a part of Boulder County's water quality protection and Municipal Separate Storm Sewer System (MS4) Construction Program, a Stormwater Quality Permit (SWQP) is required for this project based on the disturbance illustrated in the submitted materials. Information regarding the Stormwater Quality Permit may be viewed on the Boulder County Stormwater Quality Permit website: https://www.bouldercounty.org/transportation/permits/stormwater-quality-permit/ Contact stormwater@bouldercounty.gov to review the project and requirements.
 - At building permit, provide a complete SWQP submittal to stormwater@bouldercounty.gov.
- 10. As an administrative note, there appears to be a typographical error for the grade at face wall elevation at approximately Station 0+50. It is noted at 8694.0 but is likely 8664.0

This concludes our comments at this time.



Public Works

2525 13th Street • Boulder, Colorado 80304 • Tel: 303-441-3900

MEMORANDUM

November 9, 2021

Subject: Allowance of the use of Drainage Letters on Private Development and

Public Capital Projects

At the discretion of the County Engineer, proposed projects may be allowed to utilize a drainage letter to satisfy the requirements of Section 204 of the Boulder County Storm Drainage Criteria Manual (SDCM), adopted November 2016. All other requirements that are not otherwise addressed by the Drainage Letter are still in force. The elements of the letter shall include, at a minimum, the following:

- Description of property location with size of property; alternately, include a vicinity map, with North arrow and nearby waterway features.
- Description of the proposed project
- Site plan showing entire property, with North arrow, scale, property size, disturbance area, and distance to waterways shown.
- Identify and address effects on adjacent or nearby major drainage features or waterways
- Existing (dashed) and proposed (solid) contours with tie-ins shown (2-foot or better resolution), and contour intervals and major contours clearly identified
- Proposed flow directions for current and proposed conditions
- Peak discharge calculations for the minor and major storm events as identified in the SDCM
- Peak flow rates to determine the sizing of drainage infrastructure, including, but not limited to, swales, inlets, storm drains, culverts, and any other infrastructure affected by the site development
- Infrastructure sizing calculations and supporting documentation
- Demonstration that detention is not required by applying one or more of the exemptions listed in SDCM section 1203.1
- Identification of potential impacts to adjacent down-gradient properties, proposed mitigation features, and certification that the project will not adversely affect downstream structures or infrastructure
- For projects that disturb an acre or more and are located within the County's MS4
 permitted area, an explanation of stormwater management facilities (SWMFs) is required.
 The explanation may include calculations for proposed SWMF or documentation that such measures are not required.
- Lots that are within a subdivision that have an approved drainage report may reference and supply the approved drainage report as well as a statement that the lot conforms to the original drainage report criteria.

Matt Jones County Commissioner Claire Levy County Commissioner Marta Loachamin County Commissioner

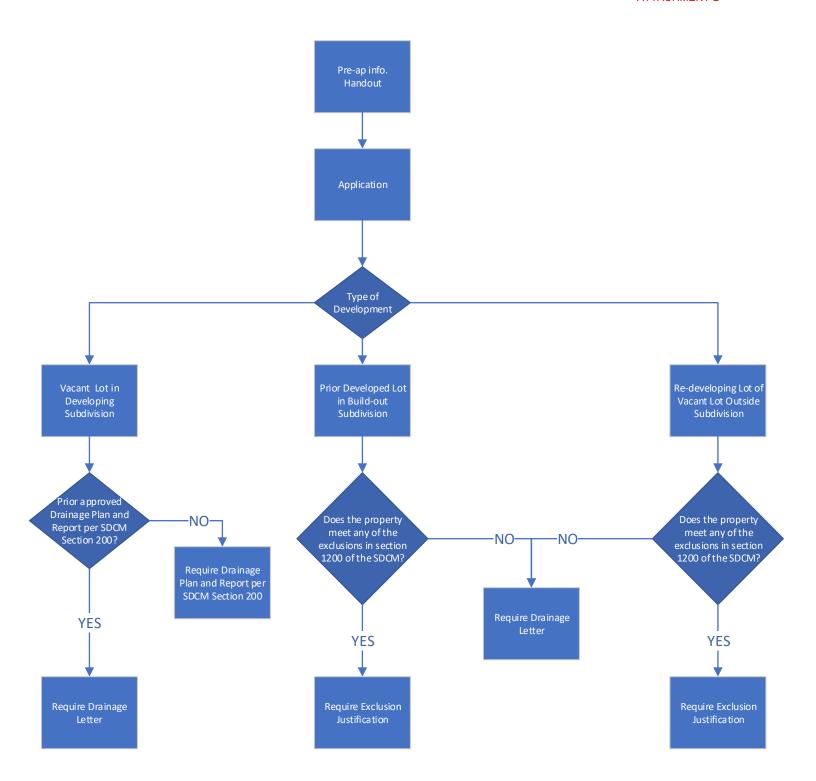
- Letter must be stamped and signed by a Colorado registered Professional Engineer in a related field
- Any other information that is necessary to satisfy drainage analysis and design for the site based on the judgement of the County Engineer.

After review of the initial letter submittal, the County Engineer may require additional information deemed necessary for adequate and appropriate drainage analysis on the site.

By: _____ Michael A. Thomas, P.E.

County Engineer, Boulder County Public Works

Effective Date: November 17, 2021





Parks & Open Space

5201 St. Vrain Road • Longmont, CO 80503 303-678-6200 • POSinfo@bouldercounty.org www.BoulderCountyOpenSpace.org

TO: Sam Walker, Community Planning & Permitting Department

FROM: Ron West, Natural Resource Planner

DATE: September 23, 2023

SUBJECT: Docket LU-24-0011/SPR-24-0050, Whisper Mountain Ranch, 11320 Gold

Hill Road

Site Conditions

Staff has reviewed the submitted materials, and has visited the locale many times in the past. Current conditions on the 36-acre parcel are extensively described in the Ecological Assessment and will not be repeated here.

County Comprehensive Plan Designations

The parcel has the following designations in the Boulder County Comprehensive Plan, or from other resource inventories.

- Plant Community of County and Statewide Concern Parry's oatgrass grassland
- View Protection Corridor associated with Gold Hill Road
- Adjacent to Public Lands US Forest Service, on north
- Overland Habitat Connector

Discussion

The Ecological Assessment is well done, and staff agrees with most of its discussions. Comments on the overall application follow.

Parry's oatgrass grassland (*Danthonia parryi*) is a county-listed community of concern -- as noted in the assessment -- but it is also tracked by CSU's Natural Heritage Program (CNAP), with a ranking of "G3/S3" – a vulnerable community type with an estimated 40 to 60 total occurrences (NatureServe). It only occurs in Colorado and Wyoming. Yet, ironically, it is comparatively common in Boulder County across the northern, mid-elevational foothills and lower montane. Since it was mapped on-site by the assessment team, staff strongly recommends that the site be reported to CNHP so this data can contribute to its long-term conservation, and/or its possible "downlisting" if it is more common than known.

Staff also notes that this grassland's occurrence on the parcel is small -- only 0.2 acres, or 8712 square feet (though it continues off-site to the east). Its proposed physical disturbance is to be 83 square feet. Staff recommends that the assessment team work with the contractor *on-site* to protect and minimize any disturbance. It is unclear, for example, if the limits of disturbance include construction access downslope of the fill slopes, as well as downslope of the culvert and outfall protection discussed below under Drawing C1.0.

The Narrative states that "landscape terracing" will be used on cut or fill slopes along the driveway. This is not shown on the drawings, and it may increase the overall area needed for the slopes. Are they to be used or not, and if so where? Additionally, some cut slopes are to be 1.5:1, and some fill slopes are to be 2:1. Cut slopes are up to 14 feet in height, and fill slopes are up to 11 feet in height.

Any slopes at or steeper than 2:1 will require matting. Given the drawings, this will be an extensive total area – many thousands of square feet. The revegetation grass seed mix on Drawing C0.0 is acceptable, though incorporating native forb seeds could be considered. The latter is recommended in the ecological assessment, for supporting local pollinators.

For the driveway and house foundation combined, there would be 1365 cubic yards of excess cut that would have to be hauled from the site. Using a ten-cubic-yard dump truck, this would entail about 136 trucks, or 272 one-way trips.

The ecological assessment states that View Protection Corridor score for Gold Hill Road at this site is less than one. This is correct, and the actual score of 0.89 is shown on the Comprehensive Plan pre-application map. The lower driveway cut and fill slopes, and the initial retaining wall, would be visible from Gold Hill Road, but the house would not be visible.

The assessment states that there will be solar electricity. If the panels are to be ground-mounted, then the location of these should be included with the current SPR. Staff questions how a 4500-square-foot, 29.5-foot-tall, cubic structure can "blend seamlessly into the landscape," although agrees that it would not result in significant negative visual impacts.

Would the well be drilled only after the driveway is constructed? It is very likely that the well permit will limit well water use to inside the residence only, hence any landscaping or gardening would need a different source.

Drawings

C1.0

There is a 24-foot culvert just above the emergency turn-out, near Station 4+00. The outfall for this appears to flow directly into the Parry's oatgrass area, which is a community of concern. Even with "standard" outfall protection, staff has repeatedly seen erosional gullies form below culvert outfalls, given the erosion-prone, granitic soils in the mountains. The pipe and dissipator seem excessively distant from the road edge, both vertically and horizontally. There is also no detail drawing of the outfall in the application. Staff questions whether this is an adequate design to protect the oatgrass meadow.

Also near Station 4+00, there is no shoulder or drainage swale shown on the east side. Staff believes the swale might not be needed here since the east side appears to be at existing grade, but would there be no shoulder here? Above the turnout, the drawing shows "west four foot shoulder to swale," but the road appears to show as 12-feet-wide here, with no shoulder.

The ecological assessment states that the driveway would have two-foot shoulders, but C1.0

calls for four-foot shoulders. There would also be added disturbance "width" from burying the electrical line on the edge of the driveway.

One of the lower retaining wall elevations shows as 8694; staff believes this should be 8664, assuming the wall is 3 feet tall at this location.

C1.1

Shows a sediment control log (SCL)on the west side of the montane meadow near the house. However, the meadow should not be used for any purposes, and particularly not for construction staging. In addition to the SCL, a construction fence must be erected around the entire edge of the meadow near the house, and on either side of the driveway where it crosses the small piece of meadow.

C1.4

Shows a detail for a straw bale barrier, yet they do not show in any of the drawings. If they are to be used, then they must be made from certified weed-free straw. Hay cannot be used.

Recommendations

- In addition to native species used, the Revegetation Plan needs an explanation of how topsoils will be stockpiled and reused, mapped delineation of all disturbance areas (this includes construction staging areas, utility lines, and septic system with access), and matting requirements.
- A Weed Control Plan is required that includes the mapping of county-listed, noxious weed species *on the entire parcel*, with their intended control techniques specified. The county-listed noxious weed, leafy spurge, is on-site. As a B-listed state noxious species, leafy spurge must be "contained and suppressed" in all years.
- A construction fence must be erected around the entire edge of the meadow near the
 house, and on either side of the driveway where it crosses the small piece of meadow.
 The meadow cannot be used for any activities. This fence must be installed prior to
 ground disturbance, and inspected by the county.
- As recommended in the ecological assessment, a bird nest survey, in accordance with the Migratory Bird Treaty Act, must be completed prior to any ground disturbance if the work is to occur during the nesting season.
- Bear-proof garbage containers must be used.
- Hydroseeded is not recommended; it has a poor success record in our climate. On the other hand, hydromulching is fine, after seeding is complete.
- Staff does not support the inclusion of an entry gate at Gold Hill Road; it is certainly not in character with the rural development of the county's mountain planning area.
- Staff also does not support the inclusion of a "motor court/roundabout." As shown in the drawings, this would require a disturbance footprint about as large as the main house structure itself, and it is unnecessary disturbance. A hammerhead turnaround is already "incorporated" in the drawings.

• If boundary or other fencing is proposed in the future, it must be of a wildlife-friendly design.

From: LU Land Use Planner

Sent: Wednesday, September 18, 2024 8:16 AM **To:** Berkley I. Freeman, Jr.; LU Land Use Planner

Subject: RE: [EXTERNAL] Comments on Docket # LU-24-0011/SPR-24-0050 - Whisper Mtn Ranch

Good morning Berkley,

Thank you for your comments, they have been added to the project file and are now a part of the public record for the proposal. Your comments have been reviewed by staff, and will be forwarded to the applicants and the Board of County Commissioners for their consideration as part of the Staff Recommendation packet that will be issued one week prior to the scheduled hearing.

You can find more information on the <u>linked docket webpage</u>.

I was unaware of any viewshed easements that might impact the proposal, can you provide a copy of the easement or a reference for where it could be found? Based on my visit to the site last week I don't anticipate much in the way of visual impacts, but I'm happy to come out to the SMA property (with your/the owners' consent) to conduct a height pole study and get a better sense. I would need to come out on Monday next week at the latest.

Sam Walker

Planner II | Boulder County Community Planning & Permitting 2045 13th Street, Boulder, CO 80302

Ph: 720-564-2738

swalker@bouldercounty.gov

From: Berkley I. Freeman, Jr. <bifreeman@yahoo.com>

Sent: Tuesday, September 17, 2024 5:09 PM

To: LU Land Use Planner <planner@bouldercounty.gov>

Subject: [EXTERNAL] Comments on Docket # LU-24-0011/SPR-24-0050 - Whisper Mtn Ranch

Please accept the attached Comments for in put into the hearing set for October 1, 2024. Berkley I. Freeman, Jr., Esq.

Berkley I. Freeman, Jr. Attorney at Law 8494 West Fork Road Boulder, CO 80302-9321 Phone: 303-245-8574

eFax: 303-496-0001

Comments From Truth Consciousness d/b/a Sacred Mountain Ashram 10668 Gold Hill Road

Boulder Colorado 80302-9716

(Docket #: LU-24-0011/SPR-24-00590:

Whisper Mountain Ranch Driveway and Residence)

Dear Boulder County Planning,

These comments are submitted by the IRC 501 (c) (3) religious, non-profit exempted organization, Truth Consciousness which owns and operates the adjoining property as an ashram to the east of the property seeking review known as Whisper Mountain Ranch.

These comments are submitted by the Authorized Agent and attorney for Sacred Mountain Ashram (hereinafter "SMA"), Berkley I. Freeman, Jr., Reg. No. 11799 CBA.

SMA objects to the planned project concerning this docketed proposal.

- 1. The proposed construction will impede the current view easement of the ashram permanently obstructing mountain views looking west toward the continental divide which will significantly diminish the value of the ashram property as it currently exists.
- 2. The building of this proposed large structure on a promontory high above Left Hand Canyon will create additional high wind volume and velocity for the ashram property as the prevailing winds are from West to East and the ashram property is due east of the proposed construction site. This increases the risk of property damage, erosion, fire danger as well as increase the destruction of wildlife habitat in the area.
- 3. Building a large residential structure at the elevation and location suggested will create heightened lightning probabilities with resulting increased risk of forest wildfire in the area.
- 4. Vehicular lights from the use of the proposed driveway at night will disturb local wildlife and be a distraction for residents on the SMA property since the light would negatively impact the quiet use and enjoyment of the property by its residents.
- 5. The placement of the proposed structure would diminish and deteriorate the use of the SMA property as a wildlife habitat.
- 6. The proposed driveway to the proposed large residential building would require a steep incline in its construction and cause problems with erosion of adjoining land as well as create a visible scar on the land at the location diminishing the beauty and pristine quality of the surrounding area.

From: Berkley I. Freeman, Jr.

bifreeman@yahoo.com>

Sent: Sunday, September 22, 2024 4:39 PM

To: LU Land Use Planner

Subject: [EXTERNAL] Sam Walker visit to Sacred Mountain Ashram 9-23-2024

This email is addressed to Sam Walker, Staff Planner, concerning Docket #: LU-24-0011/SPR-24-0050: Whisper Mountain Ranch Driveway and Residence Dear Sam.

I reviewed closing documents and real property documents of Sacred Mountain Ashram from the 70's to present and found no documented easement grant for view from the property owner to the eastern property adjoining the property under review in this case. In any event the property owner most affected by the site plan would like you to have an on site visit to see the land use impact the proposed construction would have on the property adjoining and to the east of the proposed construction. Sita Stuhlmiller is the contact person and on the Bd. of Trustees of the owner of the property. Phone # 303-447-1637. She could meet you anytime tomorrow at the Ashram or at the adjoining property known as Sevlaya. Pleas call me at 303-245-8574 if you need any further assistance.

Thank you.

Berkley Freeman

Berkley I. Freeman, Jr. Attorney at Law 8494 West Fork Road Boulder, CO 80302-9321 Phone: 303-245-8574

eFax: 303-496-0001

From: Chuck Ogsbury <chuck.ogsbury@gmail.com>

Sent: Tuesday, September 24, 2024 1:54 PM

To: Walker, Samuel

Subject: [EXTERNAL] Fwd: 11320 Gold Hill Road

Hello Boulder County Commissioners,

My name is Charles Ogsbury. I have owned the property, 11510 Gold Hill Road, just to the West of Whisper Mountain Ranch, 11320 Gold Hill Road, since 1969. This area is incredibly beautiful and one of the most special places in the Boulder County mountains.

Overall, I approve of the location of the proposed new home at 11320, At the same time, I am concerned about the huge amount of earthwork needed to be done, some 2,200 cubic yards, cut into the virgin hillside for the driveway.

I am also concerned that the 30' high house with a significant amount of glass on the west side, will be an eyesore for miles around, for decades to come. If this house were lower, namely one story rather than two, , the visual impact of this house would be much less and much appreciated for a very long time.

In addition to a one story house having much less visual impact, it will also be much less exposed to the 100+ mph winds that are common in that exposed location. It would also be more energy efficient and more user friendly. The intense wind in that exposed location is a major consideration for liveability........

Thank you for your careful consideration of this very special place.

Charles S. Ogsbury 720-480-2066

Grading Calculation

Cut and fill calculations are necessary to evaluate the disturbance of a project and to verify whether or not a Limited Impact Special Review is required. Limited Impact Special Review is required when grading for a project involves more than 500 cubic yards (minus normal cut/fill and backfill contained within the foundation footprint).

If grading totals are close to the 500 yard trigger, additional information may be required, such as a grading plan stamped by a Colorado Registered Professional Engineer.

Earth Work and Grading

This worksheet is to help you accurately determine the amount of grading for the property in accordance with the Boulder County Land Use Code. Please fill in all applicable boxes.

Note: Applicant(s) must fill in the shaded boxes even though foundation work does not contribute toward the 500 cubic yard trigger requiring Limited Impact Special Use Review. Also, all areas of earthwork must be represented on the site plan.

Earth Work and Grading Worksheet:

	Cut	Fill	Subtotal	
Driveway and Parking Areas	1423 CY	780 CY	2,203CY	
Berm(s)	0 CY	0 CY	0 CY	
Other Grading	0 CY	0 CY	0 CY	
Subtotal	1423 CY	780 CY	2,203CY Box 1	
* If the total in Box 1 is greater than 500 cubic yards, then a Limited Impact Special Review is required.				
	Cut	Fill	Total	
Foundation	719 CY	6 CY	725 CY	
	719 CY			

Excess Material will be Transported to the Following Location: 07/15/2024

Excess Materials Transport Location: Excess material will be transported to an approved local site to be
determined by the project contractor at time of construction.

Narrative

application, including discussion regarding any factors (listed in Article 4-806.2.b.i) used to demonstrate that the presumptive size limitation does not adequately address the size compatibility of the proposed development with the defined neighborhood. If room is needed, feel free to attach a separate sheet.				

Use this space to describe any special circumstances that you feel the Land Use Office should be aware of when reviewing your

Is Your Property Gated and Locked?

Note: If county personnel cannot access the property, then it could cause delays in reviewing your application.

Certification

I certify that the information submitted is complete and correct. I agree to clearly identify the property (if not already addressed) and stake the location of the improvements on the site within four days of submitting this application. I understand that the intent of the Site Plan Review process is to address the impacts of location and type of structures, and that modifications may be required. Site work will not be done prior to issuance of a Grading or Building Permit.

Signature Sun May	Print Name Sean Malo	ney Pate 9/16/2024
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September 16, 2024
Boulder County Land Use Department
P.O. Box 471
Boulder, Colorado 80306

Supplemental Grading Information – Whisper Mountain Homestead

Sam,

At your request, we are providing our analysis and information regarding alternate road designs we considered which led to our team's selected road design. To recap, our team walked the Whisper Mountain – Tract 4 and identified two potential building sites. Site 1 (north site) is in the meadow behind the property ridge on the northern portion of the site. Site 2 (south site) is located on the sunny side of hill about 75 yards uphill from Gold Hill Road.

Site 2 (south site) Analysis – Our civil engineer looked at two optional road designs to reach Site 2. The first road design access point (2a) uses the access created for Site 1 (north site) and continues up the hill and requires a second switchback to reach the home. The second road design access point (2b) was further east to allow a straighter line cut across the hill to access the site. What we learned from this exercise was that access to Site 2, while shorter than Site 1, typically resulted in more disturbance on the property when considering cut/fill, tree removal and visibility to Gold Hill Road. Road design 2b has less disturbance than 2a but still had more disturbance than Site 1 (north site) when considering cut/fill, tree removal and visibility to Gold Hill Road which is a View Protection Corridor.

Included with this narrative are the following supplemental documents:

- Evaluation Matrix of road designs considered.
- Hager & Company Roadway Cut / fill analysis for alternate road options.

Sincerely,

SOPHER SPARN ARCHITECTS, LLC

Stephen Sparn, AIA Principal Architect

WHISPER MOUNTAIN ROAD COMPARISON MATRIX 9/16/2024				
Review Criteria	Site #1 (North Site)	Site #2A (South site, driveway option 1)	Site #2B (South site, driveway option 2)	
Cut / fill totals for driveway and parking area construction	2203 cy	4887 cy	3863 cy	
Cut / fill totals for Foundation construction	725 cy	1625-1900 cy (estimated)	1625-1900 cy (estimated)	
Impacts to landscape	See Ecological Report for more detailed information. Minimizes impacts to Significant Natural Communities identified by Boulder County: Parry's Oatgrass Grassland, Ponderosa Pine / Spike Fescue, and Ponderosa Pine / Mountain Muhly.	See Ecological Report for more detailed information. Requires significant grading within Ponderosa Pine / Spike Fescue, and Ponderosa Pine / Mountain Muhly. Locations of grading also significantly impacts tree groves visible from Gold Hill Rd.	See Ecological Report for more detailed information. Requires significant grading within Parry's Oatgrass Grassland, Ponderosa Pine / Spike Fescue, and Ponderosa Pine / Mountain Muhly. Locations of grading also significantly impacts tree groves visible from Gold Hill Rd.	
Visual impacts to neighbors	House is out of view from all neighbors. Road has been oriented to avoid headlights from shining directly into homes to the East.	Driveway and cuts into hillside would be in full view from Gold Hill Rd. Home location would be visible from neighbor to the west, especially during winter when deciduous trees lose their foliage. Building on a steeper site will leave more house / foundation exposed to view.	Driveway and cuts into hillside would be in full view from Gold Hill Rd. Home location would be visible from neighbor to the west, especially during winter when deciduous trees lose their foliage. Building on a steeper site will leave more house / foundation exposed to view.	
Visual impacts from road	Only the driveway entrance would be visible from Gold Hill Rd, protecting the View Protection Corridor. Driveway climbs out of view shortly after first turn.	Driveway and cuts into hillside would be in full view from Gold Hill Rd which falls within the View Protection	Driveway and cuts into hillside would be in full view from Gold Hill Rd which falls within the View Protection Corridor . This option includes	
Client Concerns	This is the preferred option based on privacy, minimizing impact to the landscape, and views from the site.	less privacy for final home location. More costly construction for home foundation.	less privacy for final home location. More costly construction for home foundation. More costly road construction.	



September 16, 2024

Mr. Stephen Sparn, AIA, Principal Architect Sean Maloney, AIA, LFA, LEED GA, Associate Sopher Sparn Architects LLC 2505 Walnut Street, Suite 200 Boulder, CO 80302

RE: Whisper Mountain Ranch Lot 4

Site 2 (South Site) Access Design Summary Letter

Dear Sopher Sparn Architects,

The purpose of this letter is to summarize the access design issues and design considerations for Site 2 (South Site) of the Whisper Mountain Ranch Lot 4 (WMR4). As requested by the property owner and Sopher Sparn Architects (Architect), The Hager Company LLC (Engineer) has completed an analysis of the existing conditions and proposed access improvements to show that Site 1 (North Stie) is the appropriate location for the new residence. Reference is made to the Whisper Mountain Ranch Lot 4 1320 Gold Hill Road Site Access & Residence Grading, Erosion Control & Revegetation Plans (Plans) dated 7/30/2024. Excerpts for the proposed south home location are provided herein.

Current Plan - Site 1 (North Site):

Please refer to the previously-submitted design narratives for full descriptions of the current site's selection process and design considerations. In summary, the previously-submitted overall site topographic survey and slope study exhibit, the majority of the site features slopes ranging from 25% to over 100%. An east-west ridge exists above the steep, south-sloping hillside area along Gold Hill Road. The current Site 1 (North Site) plan with the house on the north side of the southern slope was developed to place the home in an area with slopes in the 1% to 5% with very minimal land disturbance around the house and minor cut/fill slopes on either side of the driveway. The alignment avoids trees and environmentally sensitive areas to the greatest extent possible. Additionally, the driveway alignment is designed to reduce headlight pollution, minimizing the amount of light that will spill in the direction of the neighbor's home. The current plan avoids large earthwork scarring and disturbed areas that would be visible from Gold Hill Road if the home were placed south of the ridge.

Alternate Plan - Site 2 (South Site):

During your recent site observation meeting with Boulder County staff there was a request made to provide a summary of our analyses and information related to placing the new house on the south slope. As requested, we are providing access and earthwork studies information used to determine the impacts to the south slope based on the proposed Site 2 (South Site) house and garage location.

Two alternate access drive studies were developed. The first access study alignment (**Access Alignment 2A**) utilized the same entry point along Gold HIII Road as the current plan. Instead of following the slope to the northwest per the current plan, Alignment 2A requires a switchback curve into the uphill slope to direct the access to the west toward the alternate south house location. A screen capture of the Alignment 2A is provided below.

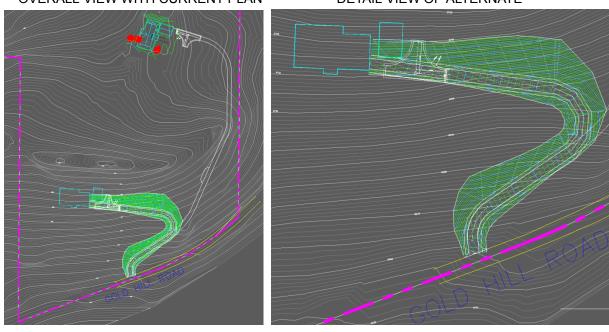


A second access study alignment (**Access Alignment 2B**) was prepared based on a driveway connection to Gold Hill Road closer to the southeast corner of WMR4. This alignment would provide a straighter driveway to the proposed south slope hose location without a switchback. Below is a screen capture of Alignment 2B.

ACCESS ALIGNMENT 2A

OVERALL VIEW WITH CURRENT PLAN

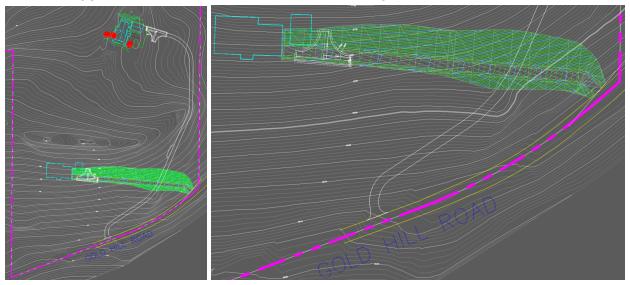




ACCESS ALIGNMENT 2B

OVERALL VIEW WITH CURRENT PLAN

DETAIL VIEW OF ALTERNATE





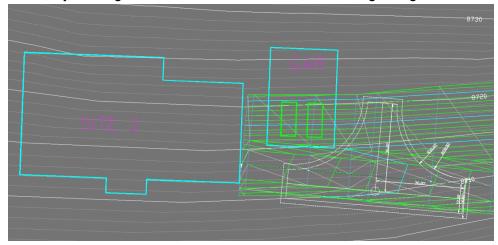
Conclusions:

The following are our conclusions of the alternate plan studies for Site 2 (South Site).

Earthwork: The grading studies show that the earthwork Site 2 (South Site) are significantly more than the current Site 1 plan. Below is a summary of the driveway and other non-foundational earthwork quantities in cubic yards:

LOCATION of DRIVEWAY:	CUT:	FILL:	SUM:
Current Site 1 (North Site)	1,423	780	2,203
Alignment 2A	4,475	412	4,887
Alignment 2B	3,440	423	3,863

Below is a detailed view of a required emergency vehicle turnaround layout. The final grading is not shown; however, it can be seen by the contours that constructing a turnaround across a steep slope will require significant cut slopes up the hillside or walls as high as 12' to support the grade above the turnaround. The 2A and 2B amounts above include an estimated 400 cubic yards of cut and 400 cubic yards of fill for grading in the parking area and vehicle turnaround at the house. The "foundational" grading for Site 2 is estimated to be approximately 900 to 1,200 cubic yards higher than the current Site 1 foundation grading.



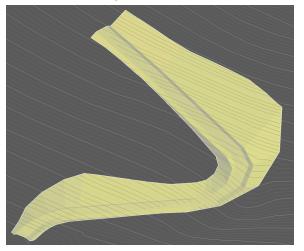
By comparison, note the minimal amount of grading required at the current plan house location:



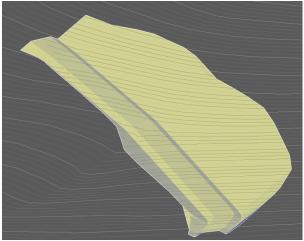


Driveway Disturbed Area: To meet Boulder County standards for maximum driveway slopes, the two driveway alignments require deep "trough" cuts through the hillside, instead of a typical, simple cut-to-fill cross-section along the driveway per the Boulder County Standard Drawing No.11. In other words, the majority of the driveway will be in a graded valley section with disturbed cut slopes at either side of the driveway. Below are 3D model views of the two south slope alignments. It is very evident that this type of man-made landform and the amount of disturbed area and earthwork, particularly when visible from Gold Hill Road, is not acceptable.

ALIGNMENT 2A - SOUTH SLOPE MODEL VIEW



ALIGNMENT 2B - SOUTH SLOPE MODEL VIEW



Geotechnical Issues: Constructing a residence, driveway and the required emergency vehicle turnaround and parking areas in these steeply sloped regions would necessitate significant soil disturbance, extensive earthwork, and the construction of retaining walls. The owner would bear considerable, unnecessary additional costs and geotechnical risk if required to place their home on this sloped area. Given the rock outcroppings at the site, which indicate shallow bedrock, the amount of required excavation for the driveway and house foundation may not be achievable. Constructing a home into a hillside requires a robust, expensive fountain wall/foundation drainage system to support and protect the portion of the crawlspace and upper living space walls that are buried in the upper hillside.

Visual Impacts: In addition to the extensive hillside disturbance, building a new home and turnaround in this area would cause substantial visual impacts to the public and to Gold Hill Road. This Site 1 (North Site) was selected for the new home and turnaround to minimize visual impacts, disturbance to the native perimeter areas, and the volume of earthwork required. Homes built on cross-slopes similar to Site 2 typically have unattractive, tall exposed foundation walls, high decks with tall support posts at the downhill side of the home.

In summary, the current plan as submitted for Boulder County approval is the most appropriate plan for this site due to many factors. The earthwork volumes have been minimized to the greatest extent practical with the current design of the home and driveway. The submitted plans provide a well-designed home location and driveway access plan that minimizes disturbed areas and protects steep areas, trees, and environmentally sensitive areas.



Please let us know if you have any questions.

O US ...

Sincerely,

The Hager Company LLC

Charles R. Hager IV P.E.

Principal, Civil Engineering

From: Stephen Sparn <ssparn@sophersparn.com>
Sent: Friday, September 20, 2024 4:36 PM

To: Walker, Samuel; Sean Maloney

Subject: [EXTERNAL] New Sheets - LU-24-0011/SPR-24-0050 Discussion

Attachments: A 0.4 SITE PLAN.pdf; A 0.6 SITE SECTION EXHIBIT.pdf; Berkley Freeman - Truth

Consciousness[75].pdf

Importance: High

Hello Sam,

Thank you for providing the referral information and the neighbor letter (attached). We have carefully reviewed the neighbor letter and do not believe their assertions are correct. To respond to the nature of their concerns we have updated drawing A 0.4 to show an exact distance to the neighboring cabin. Additionally, we created a new A 0.6 which illustrates the vertical relationship between proposed residence and the existing neighboring cabin by showing a section of the terrain in between and beyond. We would like to request that the updated A 0.4 be substituted, and the new A 0.6 be included in our record submission.

- Sheet A 0.4 shows specific dimensions between the neighbors' cabins and the proposed residence. It also shows the dense forest that separates the cabins from the proposed residence.
- Sheet A 0.6 shows that the vertical relationship between the proposed residence and neighbors' cabins. The graphics illustrate two things; 1) you cannot see the proposed residence from the cabins and 2) there is a hill directly behind the residence showing that no continental divide views are being obstructed. The proposed residence does not impede their views.
- Regarding their comments about road construction and vehicular lights, the road was carefully engineered
 so that auto lights do not shine on these cabins. The road design meets or exceeds all Boulder County
 Transportation Standards.

And lastly, my client who lives near their site, ran into an acquaintance who lives in one of these cabins at the Gold Hill store. She said that she was not aware of this project and is a renter of one of the four cabins on the adjacent property. The property appears to be non-owner occupied.

lease	let me	know if y	ou have	any c	uestions.
	lease	lease let me l	lease let me know if y	lease let me know if you have	lease let me know if you have any c

Thanks,	
Stephen	
Stephen Sparn AIA Principal Architect	

SOPHER SPARN ARCHITECTS, LLC

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From: Walker, Samuel <swalker@bouldercounty.gov> **Date:** Wednesday, September 18, 2024 at 3:35 PM

To: Sean Maloney <smaloney@sophersparn.com>, Stephen Sparn <ssparn@sophersparn.com>

Subject: LU-24-0011/SPR-24-0050 Discussion

Sean & Stephen,

Thank you for meeting with me this afternoon. As we discussed, I've included several pieces of information below.

You can view all public-facing documents related a property through the county's <u>Citizen Access Portal</u>. You'll want to click the "Search" button, select the appropriate link on the following page, and then search for the address using the "Street No." and "Street Name" fields. After searching, you'll see a list of available dockets or permits toward the bottom of the page (depending on what type of search you selected). Once you've clicked a link for the record you'd like to view, look for the drop-down menu titled "Record Info", click it, and then select "Documents". It will likely take a few minutes to load, but a list of all available documents will populate at the bottom of the page. For some reason the 1975 Subdivision Exemption application on the adjacent property isn't showing up in the docket search, so I've attached the file to this email. You can also use this portal to find documents related to active dockets, like the one we've submitted. All of the referral responses I've attached are available if you search for "LU-24-0011" in the docket search.

Also attached is the public comment I received this morning. The file includes the original email and attachment as well as my response.

And finally, I've attached copies of all of the written referral responses I've received so far. Of note, I received a response from our Wildfire Mitigation team shortly before our meeting but didn't see it until after we'd ended. I just wanted to mention it since it's included here but I stated that I hadn't received it during our meeting.

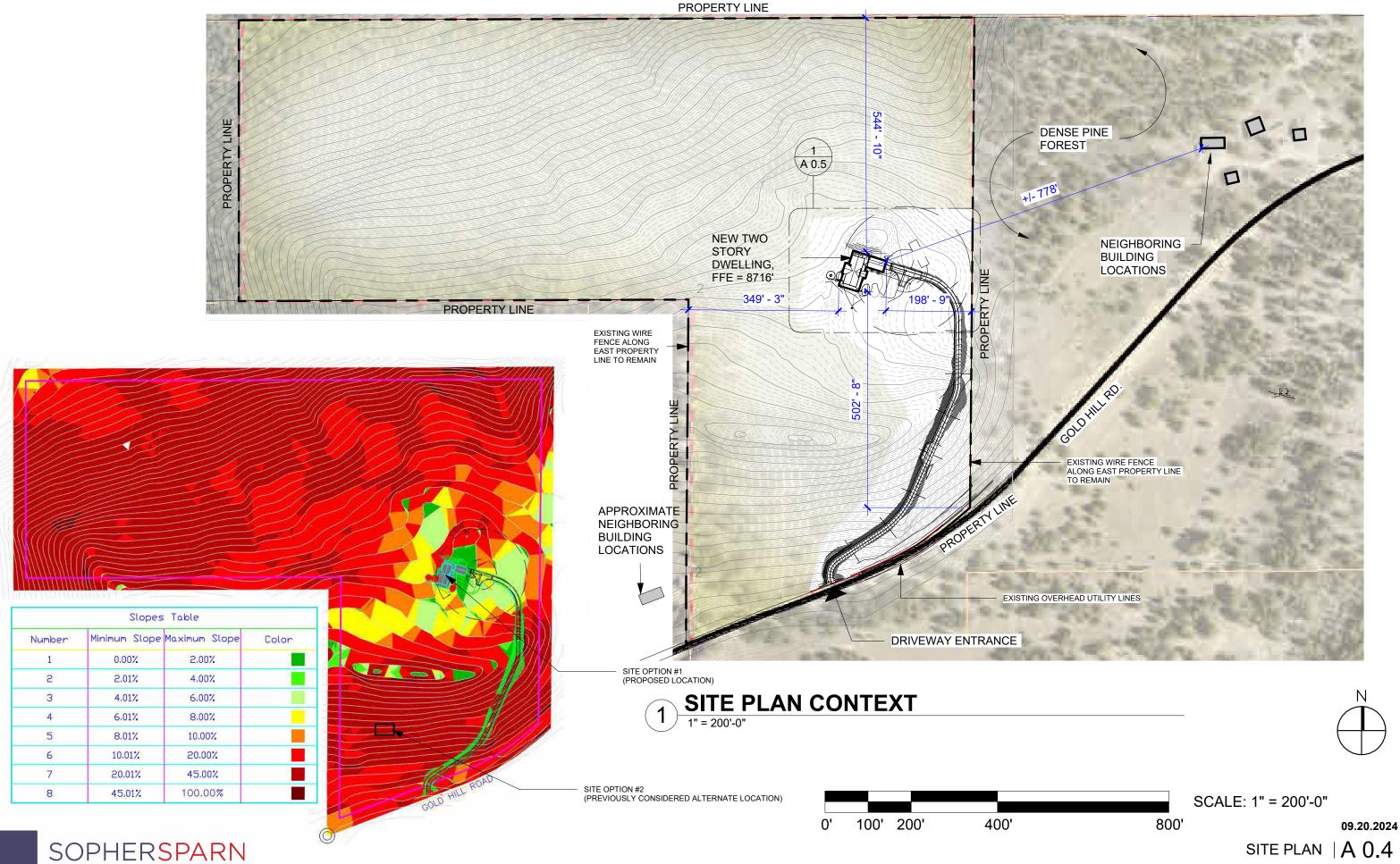
Sam Walker

Planner II | Boulder County Community Planning & Permitting 2045 13th Street, Boulder, CO 80302

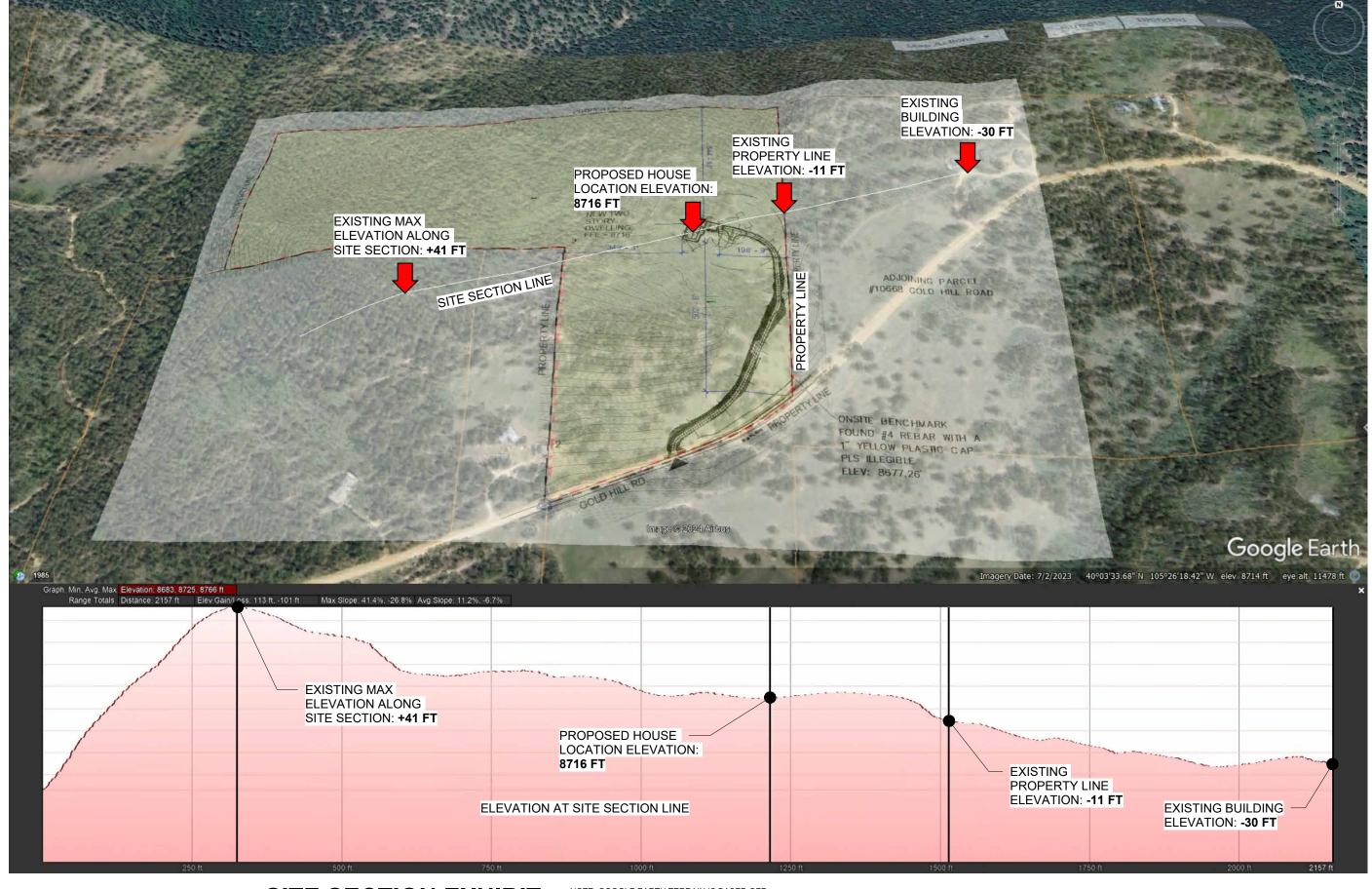
Ph: 720-564-2738

swalker@bouldercounty.gov

WHISPER MOUNTAIN HOMESTEAD | 11320 GOLD HILL RD, BOULDER, CO 80302



ARCHITECTS LLC







ARCHITECTS LLC

1 SITE SECTION EXHIBIT

Not To Scale

NOTE: GOOGLE EARTH TERRAIN IS BASED OFF SATELLITE MEASUREMENTS AND DOES NOT ACCOUNT FOR FINE GRADING CHANGES.

09.20.2024

SITE SECTION EXHIBIT | A 0.6

From: LU Land Use Planner

Sent: Wednesday, September 18, 2024 8:16 AM **To:** Berkley I. Freeman, Jr.; LU Land Use Planner

Subject: RE: [EXTERNAL] Comments on Docket # LU-24-0011/SPR-24-0050 - Whisper Mtn Ranch

Good morning Berkley,

Thank you for your comments, they have been added to the project file and are now a part of the public record for the proposal. Your comments have been reviewed by staff, and will be forwarded to the applicants and the Board of County Commissioners for their consideration as part of the Staff Recommendation packet that will be issued one week prior to the scheduled hearing.

You can find more information on the <u>linked docket webpage</u>.

I was unaware of any viewshed easements that might impact the proposal, can you provide a copy of the easement or a reference for where it could be found? Based on my visit to the site last week I don't anticipate much in the way of visual impacts, but I'm happy to come out to the SMA property (with your/the owners' consent) to conduct a height pole study and get a better sense. I would need to come out on Monday next week at the latest.

Sam Walker

Planner II | Boulder County Community Planning & Permitting 2045 13th Street, Boulder, CO 80302

Ph: 720-564-2738

swalker@bouldercounty.gov

From: Berkley I. Freeman, Jr. <bifreeman@yahoo.com>

Sent: Tuesday, September 17, 2024 5:09 PM

To: LU Land Use Planner <planner@bouldercounty.gov>

Subject: [EXTERNAL] Comments on Docket # LU-24-0011/SPR-24-0050 - Whisper Mtn Ranch

Please accept the attached Comments for in put into the hearing set for October 1, 2024. Berkley I. Freeman, Jr., Esq.

Berkley I. Freeman, Jr. Attorney at Law 8494 West Fork Road Boulder, CO 80302-9321 Phone: 303-245-8574

eFax: 303-496-0001

Comments From Truth Consciousness d/b/a Sacred Mountain Ashram 10668 Gold Hill Road

Boulder Colorado 80302-9716

(Docket #: LU-24-0011/SPR-24-00590:

Whisper Mountain Ranch Driveway and Residence)

Dear Boulder County Planning,

These comments are submitted by the IRC 501 (c) (3) religious, non-profit exempted organization, Truth Consciousness which owns and operates the adjoining property as an ashram to the east of the property seeking review known as Whisper Mountain Ranch.

These comments are submitted by the Authorized Agent and attorney for Sacred Mountain Ashram (hereinafter "SMA"), Berkley I. Freeman, Jr., Reg. No. 11799 CBA.

SMA objects to the planned project concerning this docketed proposal.

- 1. The proposed construction will impede the current view easement of the ashram permanently obstructing mountain views looking west toward the continental divide which will significantly diminish the value of the ashram property as it currently exists.
- 2. The building of this proposed large structure on a promontory high above Left Hand Canyon will create additional high wind volume and velocity for the ashram property as the prevailing winds are from West to East and the ashram property is due east of the proposed construction site. This increases the risk of property damage, erosion, fire danger as well as increase the destruction of wildlife habitat in the area.
- 3. Building a large residential structure at the elevation and location suggested will create heightened lightning probabilities with resulting increased risk of forest wildfire in the area.
- 4. Vehicular lights from the use of the proposed driveway at night will disturb local wildlife and be a distraction for residents on the SMA property since the light would negatively impact the quiet use and enjoyment of the property by its residents.
- 5. The placement of the proposed structure would diminish and deteriorate the use of the SMA property as a wildlife habitat.
- 6. The proposed driveway to the proposed large residential building would require a steep incline in its construction and cause problems with erosion of adjoining land as well as create a visible scar on the land at the location diminishing the beauty and pristine quality of the surrounding area.